

Planning Applications Report

**Planning Committee
14th April 2022**

**Bolton
Council**

Bolton Council has approved a Guide to Good Practice for Members and Officers Involved in the Planning Process. Appendix 1 of the Guide sets down guidance on what should be included in Officer Reports to Committee on planning applications. This Report is written in accordance with that guidance. Copies of the Guide to Good Practice are available at www.bolton.gov.uk

Bolton Council also has a Statement of Community Involvement. As part of this statement, neighbour notification letters will have been sent to all owners and occupiers whose premises adjoin the site of these applications. In residential areas, or in areas where there are dwellings in the vicinity of these sites, letters will also have been sent to all owners and occupiers of residential land or premises, which directly overlook a proposed development. Copies of the Statement of Community Involvement are available at www.bolton.gov.uk

The plans in the report are for location only and are not to scale. The application site will generally be in the centre of the plan edged with a bold line.

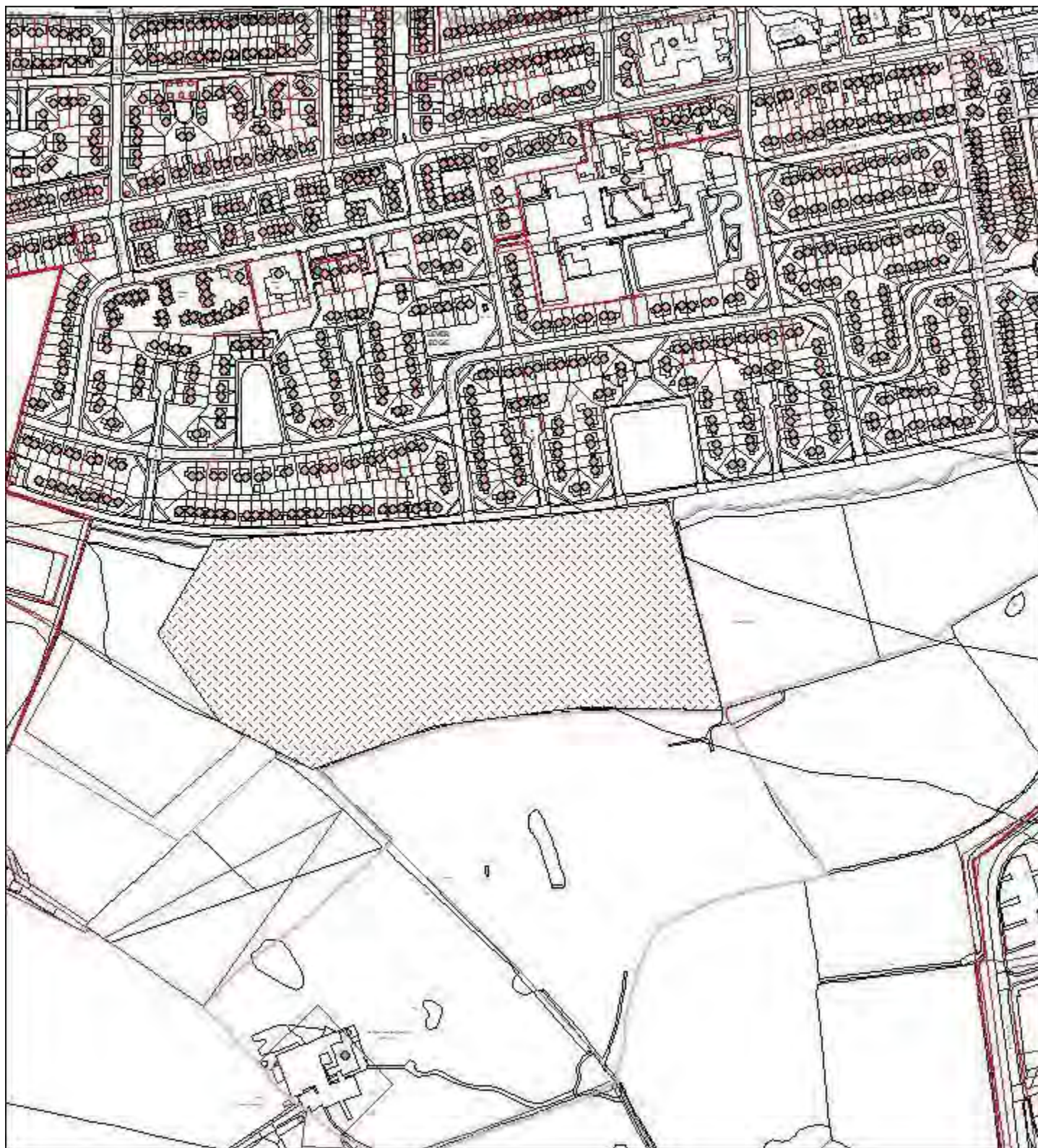
The following abbreviations are used within this report: -

CS	The adopted Core Strategy 2011
AP	The adopted Allocations Plan 2014
NPPF	National Planning Policy Framework
NPPG	National Planning Policy Guidance
PCPN	A Bolton Council Planning Control Policy Note
PPG	Department of Communities and Local Government Planning Policy Guidance Note
MPG	Department of Communities and Local Government Minerals Planning Guidance Note
SPG	Bolton Council Supplementary Planning Guidance
SPD	Bolton Council Supplementary Planning Document
PPS	Department of Communities and Local Government Planning Policy Statement
TPO	Tree Preservation Order
EA	Environment Agency
SBI	Site of Biological Importance
SSSI	Site of Special Scientific Interest
GMEU	The Greater Manchester Ecology Unit

The background documents for this Report are the respective planning application documents which can be found at:-

www.bolton.gov.uk/planapps

**Application number
13040/22**



**Directorate of Place
Development Management Section**

Town Hall, Bolton, Lancashire, BL1 1RU
Telephone (01204) 333 333



Date of Meeting: 14/04/2022

Application Reference: 13040/22

Type of Application: Full Planning Application
Registration Date: 11/02/2022
Decision Due By: 12/05/2022
Responsible Officer: Jodie Turton

Location: LAND SOUTH OF FRESHFIELD AVENUE, BOLTON

Proposal: VARIATION OF CONDITIONS 2 (COAL MINING LEGACY), 3 (TREE PROTECTION MEASURES), 4 (CONSTRUCTION MANAGEMENT PLAN), 7 (CAR PARK), 11 (SITE ACCESS), 13 (BIODIVERSITY AND PROTECTED SPECIES), 16 (SUSTAINABLE CONSTRUCTION), 17 (ELECTRIC VEHICLE CHARGING POINTS), 19 (SUSTAINABLE URBAN DESIGN STRATEGY) AND 21 (APPROVED PLANS) OF PLANNING PERMISSION 09471/20

Ward: Harper Green

Applicant: Galliford Try
Agent : Miss Knight

Officers Report

Recommendation: Refer to Secretary of State

Executive Summary

- This is a S73 application for a minor material amendment to the extant planning permission for a six form entry secondary school at Freshfield Avenue.
- The application proposes the following alterations to the development proposal:
 - Alterations to the siting of the access point (this will move further to the east) and type of access point proposed (changing from bridge to culvert);
 - Orientation of the sports hall;
 - Amendments to the design of the building and materials;
 - Alterations to the car park; and
 - Enhanced landscaping scheme.
- The proposals will not have any greater impact on the purposes and openness of the Green Belt.
- The changes to the access arrangements will have no greater impact on the highway.
- The changes will have no greater impact on Pennington Brook, on neighbouring amenity, on biodiversity, trees, land stability, land contamination, car parking or highways, landscape impact, floodrisk or the public right of way.

- The proposal accords with policy and the amendments are considered to be minor and to be acceptable via a S73 application.
- Two letters of objection have been received, however they do not raise any new issues which relate to the proposed amendments encompassed by the S73 proposal.
- The application has an Officer recommendation of approval, however if Members are minded to approve the application it will need to be referred to the Secretary of State due to the Green Belt location of the site.

Proposal

1. Planning permission was approved in April 2021 (following referral to the Secretary of State) for the erection of a new secondary school, car parking and sports pitches on land to the south of Freshfield Avenue (09471/20). The application was heard by Members at the February 2021 committee meeting.
2. The current application seeks a minor material amendment (S73 application) to make alterations to the approved scheme. The main amendments sought under this application are:
 - Alterations to the siting of the access point (this will move further to the east) and type of access point proposed (changing from bridge to culvert);
 - Orientation of the sports hall;
 - Amendments to the design of the building and materials;
 - Alterations to the car park; and
 - Enhanced landscaping scheme.
3. No amendments are proposed to the number of pupils (up to 900) or staff (approximately 104) to be accommodated at the school.
4. This application is before Members for decision in line with the scheme of delegation, as the proposed scheme presents amendments which could be considered substantive to an application which was previously decided by committee.

Site Characteristics

5. The application site is a greenfield site, an undulating open field, and is within the designated Green Belt. The site area is approximately 6.55 hectares.
6. To the north, the site is bound by Will Hill Brook and beyond this is Freshfield Avenue. From Freshfield Avenue the land slopes downwards to the brook and then upwards into the application site, with the proposed site being on a higher level than the adjacent road. The site levels are more pronounced towards the western part of the site. The northern, eastern and southern boundaries of the site are defined by hedgerows and trees, with some intermittent breaks giving views to further open fields.
7. A public footpath runs along the outer eastern and southern boundaries of the site (BOL370).
8. To the north of the site, the area is clearly residential in nature, characterised by two-storey semi-detached and terrace dwellings. Directly to the east, south and west are open fields, the southern area lies the golf course of the Great Lever and Farnworth Golf Club. A school (the ESSA Academy) is sited further to the west of the site.
9. The site is located within Floodzone 1, other than the northern boundary which is occupied by Will Hill Brook and its banking, which are in Floodzone 3.

Policy

The Development Plan

Core Strategy Strategic Objectives: S01 Healthy Bolton; S02 Achieving Bolton; S06 Transport Infrastructure; S09 Safe Bolton; Prosperous Bolton; SO10 Climate Change; SO11 Bolton's Built Heritage and Landscapes; SO12 Biodiversity; SO13 Flooding.

Core Strategy Policies: H1 Healthy Bolton; A1 Education Provision; P5 Accessibility and Transport; S1 Safe Bolton; CG1 Cleaner and Greener; CG2 Sustainable Development; CG3 Built Environment; CG4 Compatible Uses; OA4 West Bolton; Appendix 3 - Parking Standards.

Allocations Plan policies: CG7AP Green Belt; P8AP Public Rights of Way

Other material considerations

National Planning Policy Framework (NPPF)

National Planning Policy Guidance

Draft Greater Manchester Spatial Framework – Places for Everyone 2021

SPD General Design Principles

SPD Accessibility, Transport and Road Safety

SPD Sustainable Design and Construction

Analysis

10. Section 38 of the Planning and Compulsory Purchase Act 2004 requires applications to be determined in accordance with policies in the Development Plan unless material considerations indicate otherwise. Applications which are not in accordance with Development Plan policies should be refused unless material considerations justify granting permission. Similarly, proposals which accord with Development Plan policies should be approved unless there are material considerations which would justify a refusal of permission.

11. Applications can be made under Section 73 of the Town and Country Planning Act 1990 to vary or remove conditions associated with a planning permission. Permission granted under S73 takes effect as a new, independent permission to carry out the same development as previously permitted subject to new or amended conditions. On such an application the local planning authority shall consider only the question of the conditions subject to which planning permission should be granted.

12. It is therefore necessary to decide whether this proposal is in accordance with the Development Plan and then take account of other material considerations.

13. The main impacts of the proposal are:-

- * principle of development
- * impact on the purposes and openness of the Green Belt
- * impact on the highway
- * impact on the character and appearance of the area
- * impact on residential amenity
- * impact on biodiversity and trees
- * impact on floodrisk
- * impact on public rights of way
- * other matters
- * whether the very special circumstances put forward by the applicant clearly outweigh the

harm identified

Principle of Development

14. Taking into consideration Core Strategy strategic objectives SO1, SO2, policies H1 and A1, as well as paragraphs 94 and 96 of the NPPF, the principle of development has already been agreed and established via the previous planning permission (09471/20). There have been no changes to these policies/guidance in the intervening period and therefore no further assessment of the principle of development is required.

Impact on the Purposes and Openness of the Green Belt

15. Policy CG7AP of Bolton's Allocations Plan states that the Council will not permit inappropriate development in the Green Belt. Inappropriate development includes any development which does not maintain the openness of land or which conflicts with the purposes of including land within the Green Belt, and the erection of new buildings. The policy however lists six criteria where new building in the Green Belt may not be inappropriate development.

16. It is considered that Policy CG7AP is generally consistent with national Green Belt policy contained within Section 13 of the NPPF.

17. Paragraph 133 of the NPPF states that the Government attaches great importance to Green Belts. The fundamental aim of Green Belt policy is to prevent urban sprawl by keeping land permanently open; the essential characteristics of Green Belts are their openness and their permanence. Paragraph 134 sets out the five purposes of Green Belt, which are a) to check the unrestricted sprawl of large built-up areas; b) to prevent neighbouring towns merging into one another; to assist in safeguarding the countryside from encroachment; d) to preserve the setting and special character of historic towns; and e) to assist in urban regeneration, by encouraging the recycling or derelict and other urban land.

18. The Planning Practice Guidance (PPG) provides further guidance on the factors to be taken into account when considering the potential impact of development on the openness of the Green Belt; these include but are not limited to:

- openness – spatial and visual
- the duration of development
- the degree of activity likely to be generated.

19. The development proposal does not fall into any of the exception categories for development in the Green Belt detailed in policy CG7AP of the Development Plan nor those detailed in para 145 of the NPPF. By definition, the proposed development is therefore inappropriate and should not be approved except in very special circumstances.

20. Para 144 of the NPPF states that, *"When considering any planning application, local authorities should ensure that substantial weight is given to any harm to the Green Belt. 'Very special circumstances' will not exist unless the potential harm to the Green Belt by reason of inappropriateness, and any other harm resulting from the proposal, is clearly outweighed by other considerations."*

21. Paragraph 5.17 of Allocations Plan Policy states that it is the responsibility of the applicant to prove that such circumstances exist.

22. The proposed amendments to the development will not result in a materially larger scheme in either footprint or height, it is noted that a minor height increase is proposed however this will result in the loss of the guard rail to the roof and will ensure that the fixed plant is not visible and

will thus be an improvement in overall terms. Minor alterations are proposed to the structure of the building in that the sports hall to the northern section (facing Freshfield Avenue) is to be re orientated, however this will reduce built form along the Freshfield Avenue frontage and will result in a less bulky elevation which will in fact have less impact on the openness of the Green Belt than the extant permission.

23. The area of hardsurfacing will also be amended to include an area to the south east of the school building. This is to allow for an area of car parking to be removed from the frontage with Freshfield Avenue and will allow for a greater level of landscaping along this boundary with Will Hill Brook. This will be a benefit of the amended scheme and addresses a concern of the extant permission. Due to the position of the displaced car parking to the rear/side of the school building, existing and proposed landscaping to the boundaries it is not considered that the proposed car park layout will have any greater impact upon the openness of the Green Belt than the extant permission.
24. The proposal also includes the resiting of the access over Will Hill Brook slightly to the east. This alteration will not result in any greater built form and the impact on the Green Belt will be the same as the previous scheme, albeit in a slightly different position.
25. Overall, the proposed amendments are not considered to have any greater impact on the purposes and openness of the Green Belt than the extant scheme.

Impact on the Highway

26. Policy P5 of the Core Strategy states that the Council will ensure that developments take into account [amongst other things] accessibility by different types of transport, prioritising pedestrians, cyclists, public transport users over other motorised vehicles users, servicing arrangements, parking (including parking for cycles and powered two-wheelers, in accordance with the parking standards set out in Appendix 3), the transport needs of people with disabilities, and the requirement for a Transport Assessment and Travel Plan with major trip generating developments. Core Strategy Policy S1.2 states that the Council will promote road safety in the design of new development.
27. Paragraph 109 of the NPPF states that development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.
28. The application proposes the amendment of the following highway conditions: 7 (car parking), 11 (site access), 17 (EV charging points).
29. Highway Engineers have assessed the amendments and compared them to the extant permission. The proposed access details are considered acceptable, there is sufficient width to accommodate vehicle and pedestrian movement from Freshfield Avenue.
30. Amendments to the car parking layout will result in some parking spaces being moved to the south east of the building. However, the scheme includes the same number of parking spaces as well as the inclusion of a drop off pick up as with the extant approval. Tracking analysis has been provided to demonstrate the manoeuvrability of the site for a range of sizes of vehicles. No highway objections are raised and the proposal complies with policy in this respect. Conditions 7 and 11 will therefore be amended to make reference to the amended plans.
31. Condition 17 relates to the onsite provision of EV charging points. Full details of the siting and type of EV charging provision are provided. The proposal includes provision for a 2-car charging

point, as well as cabling for further charging points in the future if required. The condition will therefore be amended to one of compliance.

Impact on the Character and Appearance of the Area

32. Policy CG3 of the Core Strategy states [amongst other things] that the Council will conserve and enhance local distinctiveness, ensuring development has regard to overall built character and landscape quality of the area, and will require development to be compatible with the surrounding area, in terms of scale, massing, grain, form, architecture, street enclosure, local materials and landscape treatment. Policy CG3.7 states that the Council will maintain and respect the landscape character of the surrounding countryside and its distinctiveness. Any soft landscaping and landscape enhancement schemes should enhance biodiversity and be compatible with the nearby landscape character types identified by the Landscape Character Assessment.
33. Policy OA4.3 seeks to, "*Maintain current Green Belt boundaries...*". Policy OA4.5 seeks to ensure development has regard to [amongst other things] overall density, massing and materials of the surroundings. OA4.6 seeks to, "*ensure that development respects the large amounts of open space and lower density development in West Bolton. Development should take special care to incorporate high quality soft landscaping using native plant species, particularly those identified in the Landscape Character Appraisal.*"
34. Section 12 of the NPPF seeks to achieve well-designed places. The creation of high quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.

Design

35. Changes to the design of the scheme are:

36. Changes to the fenestration on the elevations.

- The adoption of a more traditional palette of materials: buff brick and timber cladding.
 - Increase in parapet height which removes the need for metal handrails and remove views of roof mounted plant.
 - Introduction of a roof and screen over the plant wall between main hall and drama studio.
 - Contrasting materials to entrances to give greater visibility on arrival within the façade.
- The Council's Design and Conservation Officer has assessed the amended plans and has commented as follows:

"The location of the site within the green belt along the urban edge of Bolton with views out to the wider countryside has been a key driver to the changes to the design of the building and the alterations are considered overall to be an enhancement which would better respect the green belt setting. Views out from within the site are limited by established trees and hedging along the perimeter to the site. Views from Freshfield Avenue to the southwest and views from the east are the most sensitive and the changes to the proposed building should ensure it sits discreetly on the site with the community elements of the building to the north west corner being the most prominent from the entrance and adjacent road.

The community elements are proposed to be partially clad in timber which will break up the perceived mass of the large format buildings and will help to soften the appearance of the new buildings on the site. The signage would also be more discreet than previously approved and more appropriate to the setting."

37. Overall, the proposed alterations to the design of the building are considered to present a positive improvement on the previously approved plans, which are more appropriate to the sensitive Green Belt setting and will result in a better overall scheme and as such are considered to comply with Bolton's Core Strategy policies CG3 and OA4.5.

Landscaping

38. The application is supported by a Landscape and Visual Receptor Review, which assesses the amended scheme in terms of its landscape impact. The assessment should only compare the extant permission with the current proposal and whether there is any greater harm from the amended scheme over and above what was accepted for the original proposal.
39. The Council's Landscape Officers have assessed the proposal and although they do not necessarily agree with all of the reports conclusions in terms of severity of impact, it is clear that the amended scheme will not result in any greater impact on the landscape value and visual receptors nor the degree or timescales of the impacts than the extant permission. Indeed, the amended scheme will allow for an improved level of landscaping notably to the site frontage (with Freshfield Avenue) which was one of the key concerns with the extant permission. The amended plans will allow for 55 new trees (only 25 for the extant permission), 210m of new hedge (only 60m for extant permission), as well as two areas of additional infill native planting along the northern boundary.
40. Overall, the landscape impact of the proposed development is considered to be equal to, if not improved from the extant permission. The proposal is therefore considered to comply with policy in this respect.

Impact on Residential Amenity

41. Policy CG4 of the Core Strategy states that the Council will ensure that new development is compatible with surrounding land uses and occupiers, protecting amenity, privacy, safety and security and does not generate unacceptable nuisance, odours, fumes, noise or light pollution, nor cause detrimental impacts upon water, ground or air quality.
42. Policy S1 of the Core Strategy seeks to ensure that the design of new development takes into account the need to reduce crime and the fear of crime.
43. SPD General Design Principles sets out the Council's minimum interface standards between dwellings and amenity space standards.
44. The proposed amendments will have no greater impact on residential amenity than the extant permission. The reorientation of the northern wing to form the gymnasium, will in fact reduce the bulk of the building and built form closest to the residential properties on Freshfield Avenue and thus there is an improvement from the extant permission. The proposal therefore complies with policy in this respect.

Impact on Biodiversity and Trees

45. Core Strategy policy CG1.2 seeks to, "safeguard and enhance biodiversity in the borough by protecting sites of urban biodiversity including trees ... from adverse development, and improving the quality and interconnectivity of wildlife corridors and habitats."

Trees

46. Tree Officers have requested amended arboricultural information to ensure that the proposed amendments (notably changes to the car park layout) do not result in any greater impact on trees than the extant proposal. The Applicant has stated that the amendments will not have any

additional impact, however the arboricultural information is still awaiting at the time of writing the report. Further information will be reported to Members via the List of Supplementary Information.

Biodiversity

47. The amended Construction Environmental Management Plan includes the agreed provisions for biodiversity protection and mitigation. Greenspace and GMEU have assessed the CEMP and biodiversity information and are satisfied this is in line with the previous submission and thus complies with policy.

Impact on Floodrisk

48. Policy CG1.5 of the Core Strategy states that the Council will reduce the risk of flooding in Bolton and other areas downstream by minimising water run-off from new development and ensuring a sequential approach is followed, concentrating new development in areas of lowest flood risk. Policy CG2.2 requires all proposals for 5 or more residential units or 500 sq. metres or greater non-residential units to demonstrate the sustainable management of surface water run-off from developments. On greenfield sites, the rate of run-off should be no worse than the original conditions before development.
49. The main area of the application site where the school development will be sited is located within Flood Zone 1, therefore it has less than 0.1% risk of fluvial flooding (lowest risk of flooding). Will Hill Brook and its banks fall within Flood Zone 3, however these are outside of the proposed developable area.
50. Will Hill Brook runs along the northern site boundary and due to the topography of the site and underlying ground conditions being Devensian till and coal, the surface water discharge is proposed to connect to the watercourse at Greenfield discharge rates.
51. A key amendment to the scheme is the re-positioning of the access towards the east and a change from the creation of a bridge to a culvert. This will result in a different position crossing the Will Hill Brook.
52. The Environment Agency (EA) have been involved in pre-application discussions with the Applicant regarding the access and its relationship to the Brook. The EA have also been consulted as part of this application and raise no objections or underlying concerns about the proposed access amendments.
53. Amended drainage plans have been submitted to reflect the amendments to the site layout. Floodrisk have assessed the plans and are satisfied that these are acceptable and the proposals are not materially different from the previously agreed scheme. Condition 19 will be amended to reflect the amended plans.

Impact on Public Rights of Way

54. Allocations Plan Policy P8AP states that the Council will permit development proposals affecting public rights of way provided that the integrity of the right of way is retained. Paragraph 98 of the NPPF states that, "Planning policies and decisions should protect and enhance public rights of way and access, including taking opportunities to provide better facilities for users, for example by adding links to existing rights of way networks..."
55. A public footpath runs along the outer western boundary of the site (BOL370) and turns to follow the line of the site along the southern boundary.

56. The proposal will have no greater impact on the public right of way than the extant scheme.

Other Matters

Land Contamination (CS policy CG4)

57. No amendments are proposed and the original condition remains relevant.

Land Stability (CS policy CG4)

58. An amended plan has been provided which details the coal mining mitigation measures. This will replace the plan referred to on condition 2 of the extant permission. The Coal Authority has assessed the amendments and raises no objections.

Sustainable Design and Construction (CS policy CG2)

59. Amended sustainability information has been submitted which demonstrates how the development will meet the requirements of policy CG2.2 in achieving/exceeding a 10% improvement on Part L Building Regs requirements for energy efficiency/sustainability. Condition 19 (Sustainable Construction) will be amended accordingly.

Whether the Very Special Circumstances Put Forward by the Applicant Clearly Outweigh the Harm Identified

60. The NPPF 144 states, *"When considering any planning application, local planning authorities should ensure that substantial weight is given to any harm to the Green Belt. 'Very special circumstances' will not exist unless the potential harm to the Green Belt by reason of inappropriateness, and any other harm resulting from the proposal, is clearly outweighed by other considerations."*

61. In relation to the Green Belt balance in NPPF 144, it should be noted that very special circumstances ("VSC") is the outcome of a balance, it is not an input into it. VSC exist where the harm to Green Belt, together with any other harm is "clearly outweighed" by the benefits of the scheme. As such, NPPF 144 is best seen as a "replacement" for the standard balance which instead of requiring benefits to outweigh harm, requires the benefits to clearly outweigh that harm. NPPF 144 also specifies the degree of weight to be given to harm to the Green Belt as substantial.

62. Taking into consideration the harm and benefits of the development proposal as considered for the extant permission, it was concluded that the benefits clearly outweighed any harm identified and thus constituted very special circumstances. The harm and benefits assessment remains relevant, with no additional harm apportioned to the amended scheme. Indeed, the design, massing and landscape proposals will result in an improved scheme which will have a lesser impact on the Green Belt due to a more harmonious design (notably materials), layout and improved landscape mitigation.

Financial benefits of the proposal

Local finance considerations

63. Section 70(2) of the Town and County Planning Act 1990 (as amended) provides that a local planning authority must have regard to a local finance consideration as far as it is material. There are not considered to be any local financial considerations in this case.

Conclusion

64. The proposed amendments to the scheme are not considered to have any greater impact on the purposes or openness of the Green Belt than the extant permission, do not present any highway issues, meet biodiversity requirements, will not have any greater impact on residential amenity and comply with policy in all other respects. Furthermore, the proposed amendments to the

design of the building are considered a positive change which will enhance the setting and lessen the impact on the character and appearance of the area. The proposed amendments constitute minor material alterations which may be dealt with via the S73 process.

65. The proposal has an Officer recommendation of approval and Members are advised to refer the application to the Secretary of State (as with the previous approval) as required under section 77 of the Town and Country Planning Act 1990 and the Town and Country Planning (Consultation) (England) Direction 2009.

Representation and Consultation Annex

Representations

Letters:- Two letters of objection have been received, raising the following issues:

66. Concern that they were unaware of the previous planning application (*Officer comment: the same consultations have been undertaken for the current and previous applications, including neighbour letters, site notice and press notice*).
- The school will be built on the only bit of Green Belt land open to residents in and around Freshfield Avenue to use and will have a detrimental impact on ecology (*Officer comment: the development of the site has already been approved under application: 09471/20*).
 - The air pollution is already poor quality (*Officer comment: the proposed amendments will have no greater impact on air quality than the previously approved scheme*).
 - Traffic congestion – especially due to the number of existing schools (*Officer comment: the principle of the school development has already been agreed and also once built, the school will replace the temporary school on Lever Edge Lane*).
 - Essa Academy will be taking an additional 30 year 7 pupils in September 2022, year 7 students are more likely to be brought to school by car than older students.
 - Removal of C17 – EV charging points (*Officer comment: the removal of C17 was an administrative error, the application is to vary the condition. EV charging points will be provided at the school site*).

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Petitions:- none received.

Elected Members:- none received.

Consultations

Advice was sought from the following consultees:

Bolton Council: Design and Conservation Officer, Landscape, Tree Officer, Greenspace, Education, Highways, Public Rights of Way, Environmental Health, Floodrisk.

External Consultees: GMEU, The Coal Authority, Environment Agency, Ramblers Association, Design for Security, Peak and Northern Footpaths, Robertsons (Estates), The Open Spaces Society.

Planning History

09471/20 - Planning permission was approved in April 2021 for the erection of a secondary school.

Recommendation: **Refer to Secretary of State**

Recommended Conditions and/or Reasons

1. COMMENCEMENT

The development hereby permitted shall be begun before the expiration of three years from the date of decision of application 09471/20 (decided on 22nd April 2021).

Reason

Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2. COAL MINING LEGACY

- No development shall commence until the measures indicated on the drawing reference: 0101, Rev P03 'Existing Mineshafts' dated 29.03.22, have been implemented on site in full in order to ensure that the site is made safe, stable and suitable for the development proposed.
1. Prior to the development being taken into beneficial use, a signed statement or declaration prepared by a suitably competent person confirming that the site is, or has been made, safe and stable for the approved development shall be submitted to the Local Planning Authority for approval in writing. This document shall confirm the completion of mitigation, in accordance with the mitigation measures indicated on drawing reference: 0101, Rev P03 'Existing Mineshafts' dated 29.03.22, to address the risks posed by past coal mining activity.

Pre-Commencement Reason

The undertaking of intrusive site investigations, prior to the commencement of development, is considered to be necessary to ensure that adequate information pertaining to ground conditions and coal mining legacy is available to enable appropriate remedial and mitigatory measures to be identified and carried out before building works commence on site. This is in order to ensure the safety and stability of the development, in accordance with paragraphs 178 and 179 of the National Planning Policy Framework.

Reason

To ensure the safe development of the site in relation to land stability and historic coal mining works in accordance with Core Strategy policy CG4.

3. TREE PROTECTION MEASURES

The development hereby approved shall be carried out in full accordance with the tree protection measures detailed in the Arboricultural Survey, Arboricultural Impact Assessment and Arboricultural Method Statement by Thomson Environmental Consultants, ref: KNGS-TEC-ZZ-XX-RP-Z-00004, rev P01, dated June 2020 and the Phasing Plans (Phases 1, 2&3, 4&5, Rev P05 dated 19/01/21) showing the position of the timber hoarding.

2. Prior to the commencement of development (including the stripping of soil) the protective fencing shall be erected on site in accordance with the aforementioned submitted details.
1. The approved fencing shall remain in the agreed location (in accordance with BS 5837:2012 Trees in relation to design, demolition and construction - Recommendations) until the development is completed or unless otherwise agreed in writing with the Local Planning Authority and there shall be no work, including the storage of materials, or placing of site cabins, within the fenced area(s).

Reason

To protect the health and appearance of the tree(s) and in order to comply with Bolton's Core Strategy policies CG1 and CG3

Reason for Pre-Commencement Condition:

Tree protection measures must be implemented prior to the commencement of works to protect the health and appearance of the tree(s) during the construction phase.

4. SURFACE WATER DRAINAGE SCHEME FOR PITCHES

Prior to the commencement of any groundworks in association with the approved football pitches (pitch plateau) and the car parking area for the pitches, full details of the proposed surface water drainage works shall be submitted to and approved in writing by the Local Planning Authority. Before these details are submitted an assessment shall be carried out to investigate the potential for disposing of surface water by means of a sustainable drainage system in accordance with the principles set out in the National Planning Policy Framework, and the results of the assessment provided to the Local Planning Authority. Where a sustainable drainage system is to be provided, the submitted details shall:

2. Provide information about the design storm period and intensity, the method employed to delay and control the surface water discharged from the site and the measures taken to prevent pollution of the receiving groundwater and/or surface waters;
1. Include a timetable for its implementation; and
2. Provide a management and maintenance plan for the lifetime of the development which shall include the arrangements for adoption by any public authority or statutory undertaker and any other arrangements to secure the operation of the scheme throughout its lifetime.

The approved works shall be implemented in full prior to the first use of the football pitches hereby approved and those works as approved shall be retained thereafter.

Reason

To ensure the site provides satisfactory means of surface water drainage and to comply with policies CG1.5 and CG2.2 of Bolton's Core Strategy.

Reason for pre-commencement condition: The solution for surface water disposal must be understood prior to works commencing on site as it could affect how underground works are planned and carried out.

5. CONSTRUCTION MANAGEMENT PLAN

The development hereby approved shall be carried out in full accordance with the submitted Construction, Environmental Management Plan by GallifordTry, Revision P03, received 30 March 2022. The construction traffic route between Lever Edge Lane and the development site shall follow the route detailed in the submitted CEMP and the details provided in the discharge of condition application 11624/21. The route condition survey (footway and carriageway surfaces) was approved as part of DOC application 11624/21. Upon completion of the development, the condition survey shall be repeated and submitted for approval to the local planning authority. Any damage identified as a result of the construction works and associated vehicular movements shall be remediated by the developer, details of which shall be agreed with the LPA.

Reason

To protect residents and the surrounding road network from unnecessary impact during the construction phase of development in accordance with Core Strategy policy CG4.

6. MATERIALS

Notwithstanding any description of materials in the application no above ground construction works shall take place until samples or full details of materials to be used externally on the building(s) have been submitted to and approved in writing by the Local Planning Authority. Such details shall include the type, colour and texture of the materials. The approved materials shall be implemented in full thereafter.

Reason

To ensure the development reflects local distinctiveness and to comply with policy CG3 of Bolton's Core Strategy.

7. PUBLIC ART

Notwithstanding the submitted plans, prior to the commencement of any above ground construction works details of the public art in the form of etching to the cladding panels shall be submitted to and approved in writing by the local planning authority. The works shall be carried out in full accordance with the approved details and retained thereafter.

Reason

To enhance and improve the appearance of the building and to provide on site public art in accordance with policies CG3 and IPC1 of Bolton's Core Strategy.

8. CAR PARKING

Before the approved/permitted development is first brought into use the following works shall be carried out in accordance with the approved plan: **KLA-LST-00-XX-DR-L-0200 Rev P13 - General Arrangement - dated 30.03.22.**

3. No less than 70 car parking spaces with minimum dimensions of 2.4 metres by 4.8 metres shall be marked out and provided within the curtilage of the site. Such spaces shall be made available for the parking of cars at all times the premises are in use.
1. Vehicle circulation areas/drop-off provision.
2. The provision of secure cycle parking for a minimum of 100 bikes.

Reason

In the interests of highway safety and in order to comply with Bolton's Core Strategy policies S1, P5, Appencix 3 and Supplementary Planning Document 'Accessibility, Transport and Road Safety' .

9. FOOTWAY WORKS

Prior to the commencement of any above ground construction works details of the following highway works shall be submitted to and approved in writing by the Local Planning Authority:

3. Footway along the Freshfield Avenue frontage of the site from The Meade to the proposed school access point.

The approved scheme shall be implemented in full prior to the development being first brought into use and retained thereafter.

Reason

In the interests of highway safety and in order to comply with Bolton's Core Strategy policies S1, P5 and Supplementary Planning Document "Accessibility, Transport and Road Safety".

10. DROP OFF AREA - SIGNAGE

Prior to first occupation of the development hereby approved, details of the signing scheme and road markings within the site to inform drivers of the circulation routes through the drop off area shall be submitted to and approved by the Local Planning Authority. The approved scheme shall be implemented in full before the development hereby approved is first brought into use and retained thereafter.

Reason

In the interest of Highway Safety and in order to comply with Bolton's Core Strategy policies S1, P5 and Supplementary Planning Document "Accessibility, Transport and Road Safety".

11. TRAVEL PLAN

The development hereby approved shall be carried out in full accordance with the submitted Travel Plan by Elliots, ref: KNGS-AEC-ZZ-XX-RP-D-00002, dated July 2020, including the appointment of a Travel Plan Coordinator. A final Travel Plan document shall be submitted to and approved in writing by the local planning authority within 9 months of the first occupation of the school. The implementation and ongoing monitoring and review of the Travel Plan shall be carried out in accordance with the submitted details and timetables for implementation, and retained thereafter.

Reason

To reduce reliance on the private car and reduce impact on the local highway network in order to comply with Core Strategy policy P5 and guidance contained within the National Planning Policy Framework.

12. SITE ACCESS

Prior to the development hereby approved/permitted being first occupied or brought into use the means of vehicular access to the site from Freshfield Avenue shall be constructed in accordance with the drawing ref: **KLA-LST-00-XX-DR-L-0200 Rev P13 - General Arrangement - dated 30.03.22**

Reason

In the interests of highway safety and in order to comply with Bolton's Core Strategy policies S1, P5 and Supplementary Planning Document 'Accessibility, Transport and Road Safety'.

13. COMMUNITY USE SCHEME

Prior to the development hereby approved being first brought into use, a Community Use Scheme shall be submitted to and approved in writing by the Local Planning Authority. The Scheme shall include details of pricing policy, hours of use, hours of illumination for external lighting, access by non-school users/non-members, management responsibilities and include a mechanism for review. The approved Scheme shall be implemented upon commencement of use of the development and carried out in full accordance with the approved details or in accordance with any review thereafter.

Reason

To ensure that the school facilities are made available to the local community in accordance with Core Strategy Strategic Objective S1 and policy H1.

14. BIODIVERSITY AND PROTECTED SPECIES

The development hereby approved shall be carried out in full accordance with the approved **Construction Environmental Management Plan - Biodiversity, including Great Crested Newt Mitigation Method Statement, ref: KNGS-TEC-ZZ-XX-RP-Z-00005 P02, dated January 2021** and **GallifordTry Construction, Environmental Management Plan, Rev P03**. The approved documents include provision for reasonable avoidance measures for ecological management during construction works, risk assessment and control measures during construction, biodiversity enhancement measures, eradication of invasive species and Great Crested Newt Method Statement. The works shall be carried out in full and in line with the timescales included in the CEMP document and those works retained thereafter.

Reason

To secure adequate biodiversity enhancements and to mitigate for biodiversity impacts at the site, in accordance with Core Strategy policy CG1.

15. LANDSCAPE AND MANAGEMENT PLAN

The following landscape details shall be submitted for approval to the local planning authority prior to the first occupation of any of the dwellings hereby approved:

- Notwithstanding details submitted with the application, trees and shrubs shall be planted on the site in accordance with a landscape scheme to be submitted to and approved in writing by the Local Planning Authority prior to the development being first brought into use. The approved scheme shall include details of hedgerow planting and replacement trees as well as general landscaping details. The approved scheme shall be implemented in full and carried out within 6 months of the occupation of any of the buildings or the completion of the development, whichever is the sooner, or in accordance with phasing details included as part of the scheme and subsequently approved by the Local Planning Authority. Any trees and shrubs that die or are removed within five years of planting shall be replaced in the next available planting season with others of similar size and species.

1. A landscape management plan, including long term design objectives, management responsibilities and maintenance schedules, shall be submitted to and approved in writing by the Local Planning Authority prior to the first occupation of any of the dwellings hereby permitted. The landscape management shall be carried out in accordance with the approved plan and shall include details of provision for the long term management and maintenance of the landscaped areas.

Reason

To reflect and soften the setting of the development within the landscape and in order to comply with Core Strategy policies CG1 and CG3.

16. CONTAMINATED LAND

The development hereby approved shall be carried out in full accordance with the following approved Site Investigation(s):

2. Phase 11 Geo Environmental Assessment Report. Land South of Freshfield Avenue, Freshfield Avenue, Bolton, BL3 3HL. Ref. UK19.4361b, dated 26th November 2019, issue 1.
- Phase 2 GEO-ENVIRONMENTAL REPORT for Proposed Kings Leadership Academy, Freshfield Avenue, Bolton, undertaken by RGS Ltd, Ref: KNGS-RGS-ZZ-XX-RP-G-00001, dated 17.7.2020
- During the period of construction, should any unforeseen contamination be found on site that has not been previously identified, no further works shall be undertaken in the affected area. Prior to further works being carried out in the affected area, the contamination shall be reported to the Local Planning Authority within a maximum of 5 days from the discovery, a further contaminated land assessment shall be carried out, appropriate remediation identified and agreed in writing by the Local Planning Authority. The development shall be undertaken in accordance with the agreed remediation measures.
1. Prior to first use/occupation of the development hereby approved:
2. A Verification Report shall be submitted to, and approved in writing by, the Local Planning Authority. The Verification Report shall validate that no unforeseen contamination was found, and that all remedial works undertaken on site were completed in accordance with those agreed by the Local Planning Authority. The report shall also include any imported soil descriptions, laboratory testing certificates and photographs.

The discharge of this planning condition will be given in writing by the Local Planning Authority on completion of the development and once all information specified within this condition and other requested information have been provided to the satisfaction of the Local Planning Authority and occupation/use of the development shall not commence until this time, unless otherwise agreed by the Local Planning Authority.

Reason

To safeguard the amenity of the future occupants of the development and to comply with Core Strategy policy CG4.

17. SUSTAINABLE CONSTRUCTION

The development hereby approved shall be carried out in full accordance with the sustainable construction measures detailed in section 4 of the Design and Access Statement Addendum by Ryder Architecture Ltd, rev: P03, dated 25 March 2022. Within 3 months of occupation, a verification report shall be submitted to the LPA for approval confirming that the above measures have ensured that a 10% betterment on CO2 levels above the Part L requirement has been achieved. The measures shall be retained as approved thereafter.

Reason

In the interests of tackling climate change and in order to comply with Bolton's Core Strategy policy CG2.

18. ELECTRIC VEHICLE CHARGING POINTS

Prior to the school hereby approved being first brought into use, the fast charge electric vehicle charging point (providing charging for 2 vehicles) shall be installed and fully operational (including signage and markings to reserve the spaces for EV charging only) in accordance with drawing number KLA-LST-00-XX-DR-L-0200 Rev P13 - General Arrangement - dated 30.03.22 and EVCP Data Sheet - EVBCD-V04-R1 BasicCharge EV FTU - Data Sheet. The EV charging points shall be retained as approved thereafter.

Furthermore, appropriate cable routes shall be included in the scheme design in accordance with drawing number KLA-LST-00-XX-DR-L-0200 Rev P13 - General Arrangement - dated 30.03.22, to prepare for increased demand in future years

Reason

To safeguard the amenity of the occupiers of the proposed development in respect of atmospheric pollution and to contribute to the sustainability of the proposed development in compliance with policies CG2 and CG4 of Bolton Core Strategy and Supplementary Planning Document "Sustainable Design and Construction".

19. LIGHTING DESIGN STRATEGY

Prior to the occupation/first use of the school building hereby permitted, a "lighting design strategy for biodiversity" for the dark corridors along key habitat features shall be submitted to and approved in writing by the local planning authority. The strategy shall:

- Identify those areas/features on site that are particularly sensitive for bats, badgers and other crepuscular animals and that are likely to cause disturbance in or around their breeding sites and resting places or along important routes used to access key areas of their territory, for example, for foraging; and
- 1. Show how and where external lighting will be installed (through the provision of appropriate lighting contour plans and technical specifications) so that it can be clearly demonstrated that areas to be lit will not disturb or prevent the above species using their territory or having access to their breeding sites and resting places.

All external lighting shall be installed in accordance with the specifications and locations set out in the strategy, and these shall be maintained thereafter in accordance with the strategy. The lighting shall be designed to an illumination value of no greater than 5 lux at the nearest residential property. The beam angle of any lights directed towards any potential observer should be kept below 70 degrees. Spill shields should also be fitted. Under no circumstances should any other external lighting be installed without prior consent from the local planning authority.

Reason

To safeguard biodiversity and the character and appearance of the locality and to prevent light pollution and in order to comply with Bolton's Core Strategy policies CG3 and CG4.

SUSTAINABLE URBAN DRAINAGE STRATEGY

Prior to the first use/occupation of the building hereby permitted the sustainable drainage scheme for the site shall be completed fully in accordance with the following approved details:

Files/Plans	
Proposed Drainage General Arrangement Sheet 1 5017070-RGD-ZZ-ST-DR-C-5001 Rev P03	24/03/2022 (uploaded)
Proposed Drainage General Arrangement Sheet 2 5017070-RGD-ZZ-ST-DR-C-5002 Rev P03	24/03/2022 (uploaded)
Impermeable Areas - 5017070-RGD-ZZ-ST-DR-C-05005 Rev P01	11/02/2022 (uploaded)

The sustainable drainage scheme shall be managed and maintained thereafter in accordance with the approved management and maintenance plan for the lifetime of the development as detailed in the Unilateral Undertaking.

Reason

To ensure the site provides satisfactory means of surface water drainage and in order to comply with Bolton's Core Strategy policy CG2.2.
20.

21. NOISE LEVELS

The rating level (LAeqT), as determined by BS4142:2014+A1:2019 Methods for Rating and Assessing Industrial and Commercial sound, from all sources associated with the development, when operating simultaneously or individually, shall not exceed the background sound levels (LA90) that are specified in paragraph 6.2 of the report by ADT: ref:KNGS-ADT-ZZ-ZZ-RP-Y-003, dated 30 July 2020, when measured 4m from the boundary of any noise sensitive receptors.

Reasons

To minimise the impact of noise on the general and residential amenity and in order to comply with Bolton's Core Strategy policy CG4.

APPROVED PLANS

The development hereby permitted shall be carried out in complete accordance with the following approved plans:

Title	Ref	Revision	Sent
Existing Mineshafts	KLA-LST-ZZ-XX-DR-L-0101	P03	29/03/2022
Proposed Drainage GA Sheet 1	5017070-RDG-ZZ-ST-DR-C-05001	P03	24/03/2022
Proposed Drainage GA Sheet 2	5017070-RDG-ZZ-ST-DR-C-05002	P03	24/03/2022
KLA SW Drainage Calculation	KLA SW Drainage Calculation	P2	24/03/2022
Impermeable Areas	5017070-RDG-ZZ-ST-DR-C-05005	P01	27/01/2022
Proposed Culvert Details	5017070-RDG-ZZ-ST-DR-C-26001	P01	27/01/2022
Location Plan	KLA-LST-ZZ-XX-DR-L-0202	P02	27/01/2022
GA Site Plan	KLA-LST-ZZ-XX-DR-L-0200	P13	30/03/2022
GA Elevations	KLA-RYD-ZZ-ZZ-DR-A-3600	P04	27/01/2022
Level 01 GA Plan	KLA-RYD-ZZ-00-DR-A-3001	P06	27/01/2022
Level 00 GA Plan	KLA-RYD-ZZ-00-DR-A-3000	P06	27/01/2022
Roof GA Plan	KLA-RYD-ZZ-R1-DR-A-3002	P03	27/01/2022

GA Sections	KLA-RYD-ZZ-ZX-DR-A-3800	P03	27/01/2022
Surfacing Plan	KLA-LST-ZZ-XX-DR-L-0201	P02	27/01/2022
Site Sections	KLA-LST-ZZ-XX-DR-L-0203	P02	27/01/2022
Access and Security Schematic	KLA-LST-ZZ-XX-DR-L-0301	P08	29/03/2022
Proposed Levels and Hoarding	KLA-LST-ZZ-XX-DR-L-0302	P01	27/01/2022
Vegetation Clearance Plan	KLA-LST-ZZ-XX-DR-L-0100	P06	25/03/2022
BB103 Areas	KLA-LST-ZZ-XX-DR-L-0204	P02	27/01/2022
Proposed Site Access	332010666_100_005	P02	27/01/2022
SPA Fire Appliance	332010666_100_003	Rev B	27/01/2022
SPA Bus and Car	332010666_100_001	Rev D	27/01/2022
SPA Refuse Vehicle	332010666_100_002	Rev B	27/01/2022

Reason

For the avoidance of doubt and in the interests of proper planning.
22.

TREE PROTECTION MEASURES

No demolition, development or stripping of soil shall be started until:

2. The trees and hedgerows within or overhanging the site which are to be retained have been surrounded by fences of a type to be agreed in writing with the Local Planning Authority prior to such works commencing.
1. The approved fencing shall remain in the agreed location (in accordance with BS 5837:2012) until the development is completed or unless otherwise agreed in writing with the Local Planning Authority and there shall be no work, including the storage of materials, or placing of site cabins, within the fenced area(s).

Reason

To protect the health and appearance of the tree(s) and in order to comply with Bolton's Core Strategy policies CG1 and CG3

Reason for Pre-Commencement Condition:

Tree protection measures must be implemented prior to the commencement of works to protect the health and appearance of the tree(s) during the construction phase.



1 North Elevation

1:200



2 South Elevation

1:200



3 West Yard East Elevation

1:200



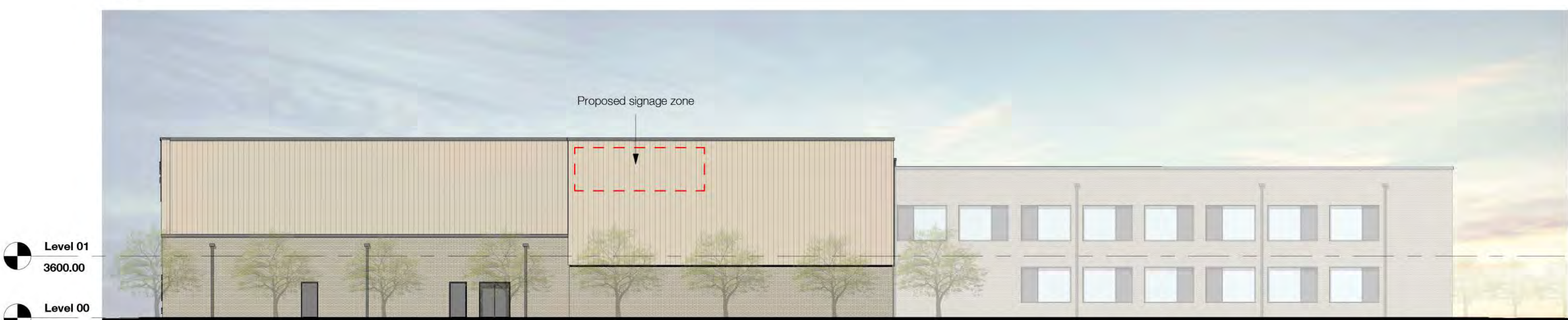
5 East Yard West Elevation

1:200



7 East Elevation

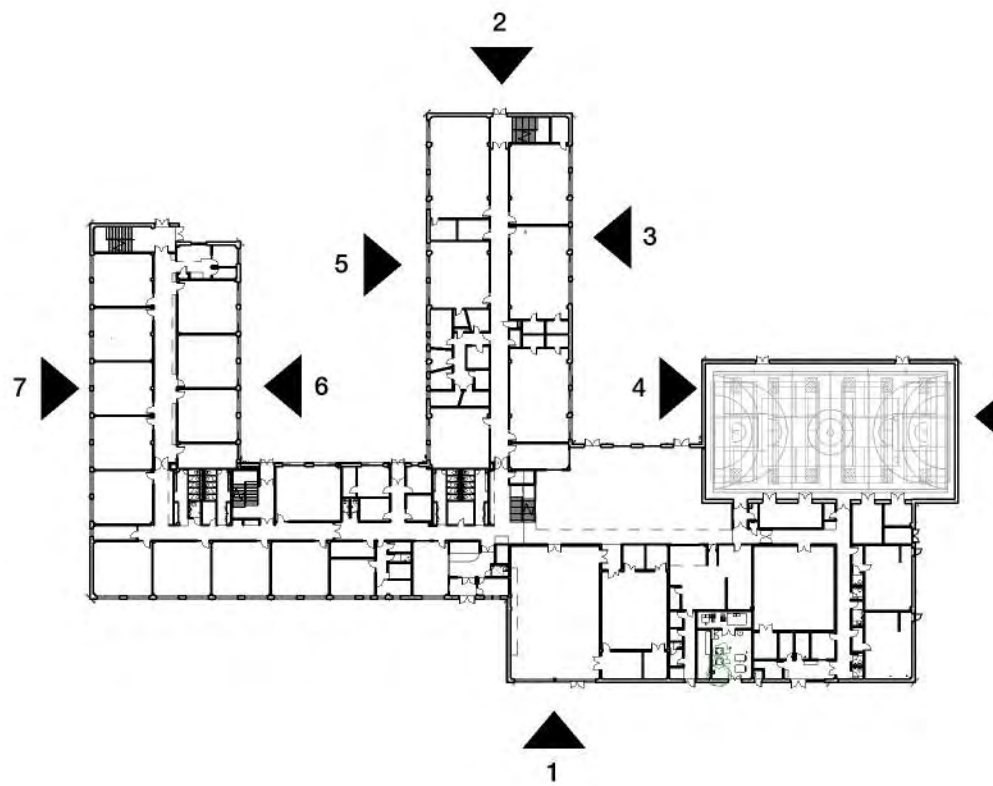
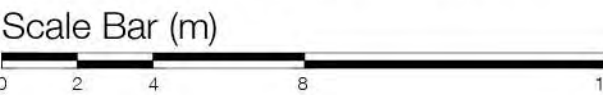
1:200



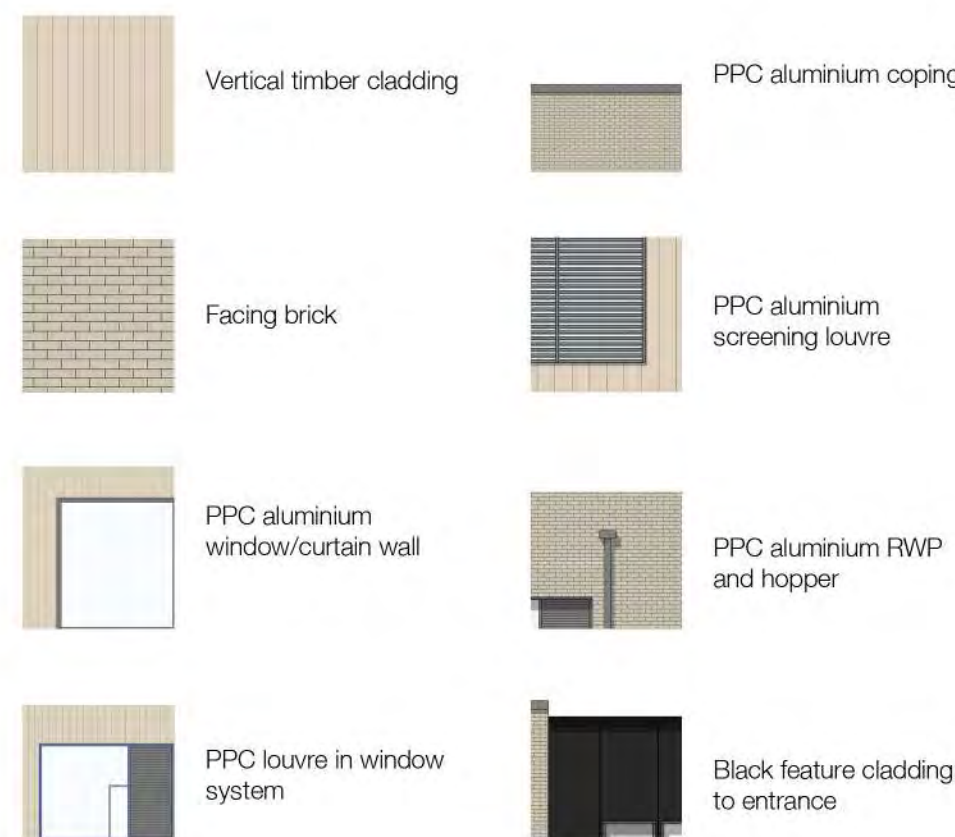
8 West Elevation

1:200

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Key:



P4	Issued for Planning	JW	EMA	19/01/22
P3	Removal of two dining room rooflights	JW	GSE	07/01/22
P2	Main elevation entrance areas and hall windows amended	EMA	GSE	07/12/21
P1	First Issue	SBE	GSE	19/11/21
Rev.	Description	Drawn	Checked	Date

Amendment
Suitability
Information
Project
Galliford Try
Kings Leadership Academy
Bolton
Drawing
GA Elevations

Drawing No.	Originator	Zone	Level	Type	Role	Number
Project ID	- RYD -	ZZ -	ZZ -	DR -	A -	3600
Ryder Project No.	10715-00	Scale at	A1	Status	Revision	
		As indicated		S2	P4	

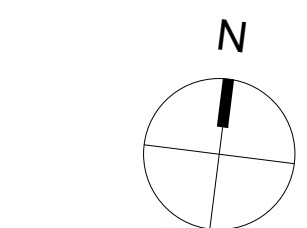
1 Entrance
1 : 250



KEY NOTES

- Gated Entrance**
Manual pedestrian and vehicular gates are set back into the site to allow for a vehicular threshold off the highway. For details refer to dwg 0300 Access Strategy.
- Car Park**
Total 73 spaces, consisting of 65 standard bays, 4 compliant disabled bays, 2 Motorcycle bays, 2 Electrical Vehicle Charging Points, 12 parking spaces with ducting for EVCP and 2 Minibus parking bays. In addition drop off area for coaches and parent drop off.
- Delivery and Services Drop-off Area**
Located for easy access to kitchen and refuse area, emergency vehicular access allowed for around the northern wing of the building.
- Public Right of Way**
Public right of way runs outside of the site boundary along the east and southern edge.
- Cycle Storage**
Cycle storage for 50no. Cycle hoops (100 cycle capacity)
8no. located at the front entrance and 42 in secure bike shelter, (weldmesh black sides with roof) within southern car park.
- Refuse Store**
To be securely fenced with 2.4m high weld mesh and timber panel combi fencing for screening purposes and security. Located for easy access from the maintenance gate and kitchen.
- Will Hill Brook/ New Culvert**
Design and detail of culvert to entrance area to engineers detail and specification.
- Courtyard 1**
Arrangement of 24 lines for 540 students to line up along.
- Courtyard 2**
Arrangement of 16 lines for 360 students to line up along.
- SEN Area**
Sheltered space for SEN students to use adjacent to SEN classrooms.
- Multi Use Games Area (MUGA)**
Enclosed with 3m high meshweld fencing and rebound fencing to lower sections, with multiple line markings for games and sports.
- Cross Country Track**
Informal cross country track through site.
- Football Pitch**
Grass pitch is in a north south orientation and measures 95m x 64m.
- Rugby Field**
Grass pitch is in a north south orientation and measure 116m x 74m including 3m run-off on long edges.
- Cricket Pitch**
Pitch is in a north south orientation and measures 22m x 5m including a 1m run-off on all edges. Also includes a 40m fielding boundary.
- Mining Entrance Zone of Influence**
To be securely fenced with 2.4m high fencing.
- Sub Station**
Refer to M&E Pack for details, this will be in a secure GRP Unit with vehicular access from the car park. Screened from Freshfield Avenue by new hedge planting.
- Existing Vegetation Boundaries**
Retained for screening, some scrub will be removed from G1 inline with the Arboricultural Report to encourage new healthy hedgerow planting. Refer to Detailed Planning Plan dwg 0304 for details.
- Existing vegetation along Will Hill Brook**
To be retained for screening. Some management will be carried out as per Ecology and Arboricultural Report.

0m 5m 10m 15m 20m 25m
VISUAL SCALE 1:250 @ A0



Legend

- Site Boundary**
- Existing Trees**
To be retained, refer to Arboricultural Report for details.
- Existing Public Footpath**
Located outside of site boundary.
- New Tree Planting**
New planting to help screen and strengthen local landscape character. Refer to drawing 0400 for planting details.
- New Hedgerow Planting**
Native mix along site boundaries and evergreen, single species within car park. Refer to drawing 0400 for planting details.
- New Areas of Amenity Grass**
Grass seed mix. Refer to drawing 0400 for details.
- New Areas of Sport Pitch Grass**
Grass seed mix. Refer to drawing 0400 for details.
- New Areas of Meadow**
Wildflower and grass seed mix. Refer to drawing 0400 for details.
- New Areas of Wet Meadow**
Located within the brook to enhance biodiversity. Refer to drawing 0400 for planting details.
- New Areas of Planting to Car Park**
To include ornamental, groundcover and accent shrub planting. Refer to drawing 0400 for planting details.
- New Areas of Vehicular Surfacing to Car Park**
Vehicular grade tarmac, colour black. To Engineers specification.
- New Areas of Pedestrian Surfacing**
Pedestrian grade tarmac, colour black. To Engineers specification.
- New Secure Boundary Fence**
2.4m high weldmesh, black. Refer to 0300 Access Strategy plan for further details.
- New Cycle Store**
2.4m high weldmesh store with roof. Refer to 0300 Access Strategy plan for further details.
- New MUGA Rebound Fence**
3m high weldmesh with rebound panel, black. Refer to 0300 Access Strategy plan for further details.
- New 15m high Golf Safety Netting**
Along southern boundary adjacent to secure fencing. Refer to 0300 Access Strategy plan for further details.
- New 10m High Golf Safety Netting**
Along southern boundary adjacent to secure fencing. Refer to 0300 Access Strategy plan for further details.
- New Timber Clad Bin Store Fencing**
2.4m high weldmesh with timber cladding combi. Refer to 0300 Access Strategy plan for further details.
- New 1.1m High Handrails to Steps**
Refer to 0300 Access Strategy plan for further details.
- New 1.1m High Pedestrian Guard Rail**
Refer to 0300 Access Strategy plan for further details.
- New Bollards**
Refer to 0300 Access Strategy plan for further details.
- New Electric Vehicle Charging Point**
2no. EVCP. Refer to 0300 Access Strategy plan for further details.
- New Electric Vehicle Charging Point Ducting**
12no. EVCP ducts. Refer to 0300 Access Strategy plan for further details.
- New Gates**
All manual swing gates, to match fencing, with sliding lock latch. Refer to 0300 Access Strategy plan for further details.
- New Cross Country Track**
Informal route around sports ground utilising level changes.

2 Site Plan
1 : 500

0m 10m 20m 30m 40m 50m
VISUAL SCALE 1:500 @ A0



Residual risks that cannot be omitted by design are highlighted on the drawing with the symbol:

A description of the risks are scheduled below:

No.	Description
1	Surveyed invasive species. Refer to Thomson Environmental Consultants Invasive Report for details and removal.
2	Working around existing live gas and BT services near entrance of site. Refer to survey information.
3	Working in close proximity to existing mine shaft zone of influence. Refer to survey information.

P13	EVCP Updates	HA	RF	220330
P12	Mixed Fencing Update	HA	RF	220330
P11	CP Deliverables	HA	RF	220224
P10	MUGA reinstatement	RF	HA	220114
P09	Updated Arch Layout	HA	RF	220110
P08	Risk Schedule updated	HA	RF	220303
P07	PLANNING ISSUE	RF	HA	220126
P06	Planning Issue	RF	HA	220124
P05	IT1 Deliverable	HA	RF	211222
P04	Manual Emergency	RF	HA	211216
P03	Car Park EVCP revisions	HA	RF	211210
P02	PAC Issue	HA	RF	211208
P01	WIP for record	RF	HA	211202
Rev.	Description	Drawn	Checked	Date

Amendment
Sustainability
CP DELIVERABLES
Project
Department for Education
Kings Leadership Academy
Bolton
Drawing
General Arrangement

Drawing No.	Originator	Zone	Level	Type	Role	Number
Project ID	LST	00	XX	DR	L	0200
Project No.	Scale at A0	Status	Revision			
267	As indicated	S2	P13			