

Planning Applications Report

**Planning Committee
2nd February 2023**

**Bolton
Council**

Bolton Council has approved a Guide to Good Practice for Members and Officers Involved in the Planning Process. Appendix 1 of the Guide sets down guidance on what should be included in Officer Reports to Committee on planning applications. This Report is written in accordance with that guidance. Copies of the Guide to Good Practice are available at www.bolton.gov.uk

Bolton Council also has a Statement of Community Involvement. As part of this statement, neighbour notification letters will have been sent to all owners and occupiers whose premises adjoin the site of these applications. In residential areas, or in areas where there are dwellings in the vicinity of these sites, letters will also have been sent to all owners and occupiers of residential land or premises, which directly overlook a proposed development. Copies of the Statement of Community Involvement are available at www.bolton.gov.uk

The plans in the report are for location only and are not to scale. The application site will generally be in the centre of the plan edged with a bold line.

The following abbreviations are used within this report: -

CS	The adopted Core Strategy 2011
AP	The adopted Allocations Plan 2014
NPPF	National Planning Policy Framework
NPPG	National Planning Policy Guidance
PCPN	A Bolton Council Planning Control Policy Note
PPG	Department of Communities and Local Government Planning Policy Guidance Note
MPG	Department of Communities and Local Government Minerals Planning Guidance Note
SPG	Bolton Council Supplementary Planning Guidance
SPD	Bolton Council Supplementary Planning Document
PPS	Department of Communities and Local Government Planning Policy Statement
TPO	Tree Preservation Order
EA	Environment Agency
SBI	Site of Biological Importance
SSSI	Site of Special Scientific Interest
GMEU	The Greater Manchester Ecology Unit

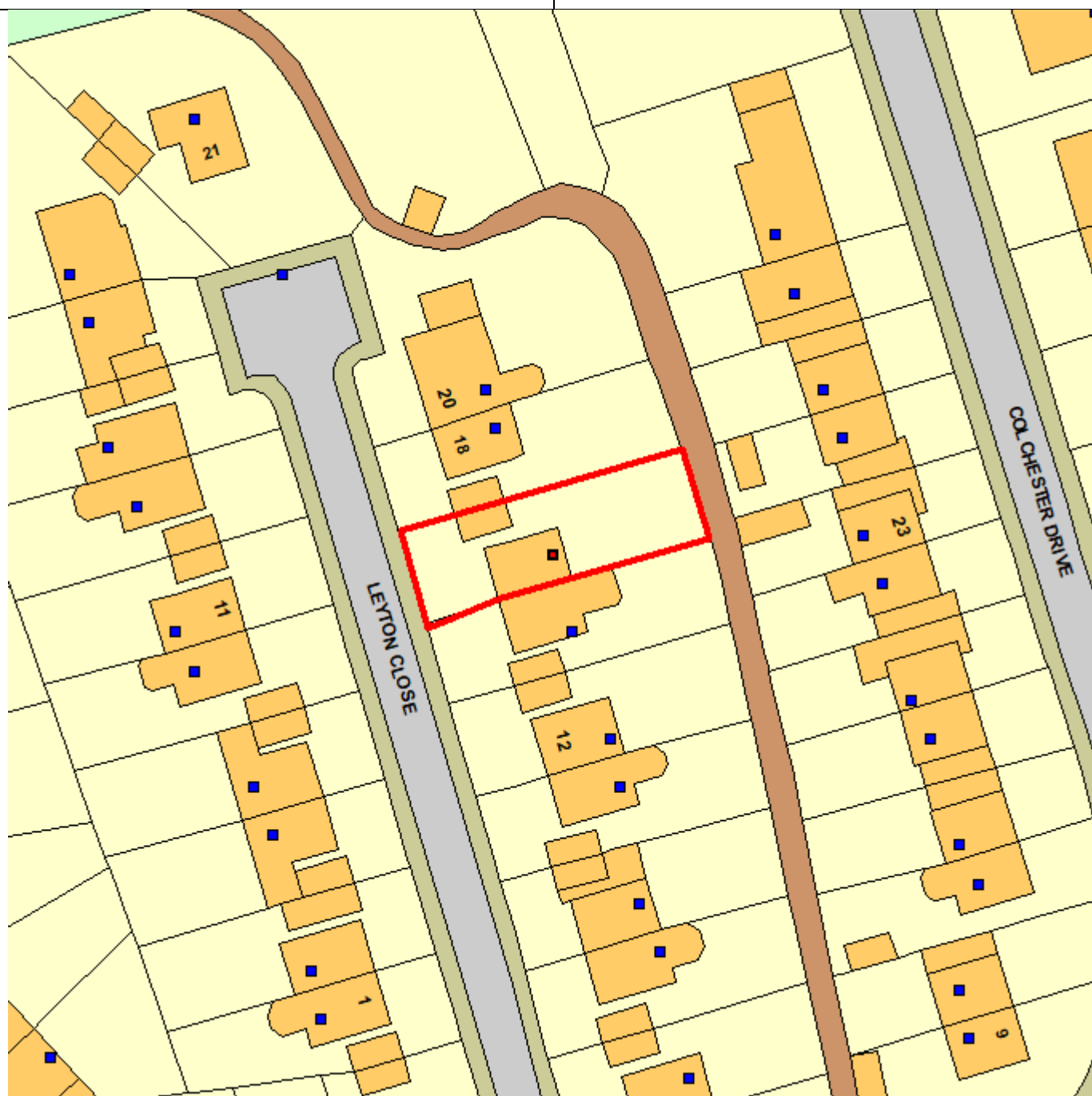
The background documents for this Report are the respective planning application documents which can be found at:-

www.bolton.gov.uk/planapps

Application Number 14144/22

Directorate of Place
Development Management Section

Town Hall, Bolton, Lancashire, BL1 1RU
Telephone (01204) 333 333



Bolton
Council

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Date of Meeting: 2 February 2023

Application Reference: 14144/22

Type Of Application
Registration Date
Decision Due Date
Responsible Officer
Authorising Officer

Full Planning Permission
4 July 2022
15 August 2022
Charlotte Orrell

Location

16 LEYTON CLOSE FARNWORTH BOLTON BL4 0LX

Proposal

ERECTION OF A PART SINGLE STOREY/PART TWO STOREY SIDE AND REAR EXTENSION.

Ward

Harper Green

Applicant: Miss Z Aslam

Agent: Mr F Patel

OFFICER'S REPORT

Recommendation: Approve subject to conditions

Proposal

1. This application is before Committee at the request of Cllr. Haworth.
2. Permission is sought for the erection of a part single storey/part two storey side and rear extension.
3. The part two storey/part single storey side extensions element would project 2.9 metres at ground and first floor level from the original side elevation. It would be approximately 11.59m in length at ground floor and 10.95m at first floor and a maximum of 7.29m to the ridge.
4. The part single storey/part two storey rear extension would project 3.6m from the rear elevation of the property at both ground and first floor and would be 8.58m in length at ground floor and 6.68m at first floor. It would be a maximum of 6.67m to the ridge.
5. There have been 10 letters of objection received, as well as a petition of objection containing 22 signatures.
6. Officers consider that the proposed extensions fully comply with policy and Members are recommended to approve this application.

Site Characteristics

7. The application property is a two storey semi-detached property. It is located on Leyton Close. The property had an existing detached garage that will be demolished to accommodate the new proposed extension.
8. The existing boundaries are a timber fence to the rear and sides and open to the front. Leyton Close already exhibits examples of two storey side extensions with differing styles as well as a number of single storey rear extensions

Policy

9. Core Strategy Policies: CG3 The Built Environment; CG4 Compatible Uses; RA2 Farnworth; P5 Transport and Accessibility.

SPD House Extensions
SPD General Design Principles

Analysis

10. Section 38 of the Planning and Compulsory Purchase Act 2004 requires applications to be determined in accordance with policies in the Development Plan unless material considerations indicate otherwise. Applications which are not in accordance with Development Plan policies should be refused unless material considerations justify granting permission. Similarly, proposals which accord with Development Plan policies should be approved unless there are material considerations which would justify a refusal of permission. It is therefore necessary to decide whether this proposal is in accordance with the Development Plan and then take account of other material considerations.
11. The main impacts of the proposal are:-
 - * impact on the character and appearance of the dwelling and the surrounding area
 - * impact on the amenity of neighbouring residents
 - * impact on parking

Impact on the Character and Appearance of the Dwelling and the Surrounding Area

12. Policy CG3 of the Core Strategy states that the Council will [amongst other things] conserve and enhance local distinctiveness, ensuring development has regard to the overall built character of the area and require development to be compatible with the surrounding area in terms of scale, massing, grain, form, architecture, street enclosure, local materials and landscape treatment. Policy RA2 specifically concerns development in Farnworth and states that the Council will [amongst other things] conserve and enhance the character of the existing physical environment.
13. The design and scale of the proposed extensions are considered to be subservient to and in keeping with the existing dwelling.
14. The rear extension is not significantly visible from the street as it is set to the rear of the property. In terms of the proposed side extension, there are other examples of single and two storey side extensions visible from the street and therefore it is considered that the proposal would not appear incongruous within the street scene.
15. Materials for the extensions are proposed to match both the existing roof slates and brick.
16. The House Extensions SPD paragraph 5.4 states that a terracing effect can be countered to some extent by setting the front elevation of the extension back from the front of the existing dwelling at first floor level. In this case, the first-floor side extension aspect is set back 1 metre from the existing front elevation and a 1 metre gap is to be retained between the proposed side extension and the party boundary, which would avoid any issues of terracing in accordance with paragraph 5.4 of the House Extensions SPD.
17. Access to the rear would remain for storage of bins on non-refuse collection days.
18. Paragraph 3.2 of the SPD states that the height of the extensions should be no higher than the existing ridge line of the property. The proposed extensions would not project any higher than the property's existing ridge line and so this would be considered acceptable.
19. It is therefore considered that the proposed extension is compliant with Policies CG3 and RA2 of the Core Strategy and the guidance within the SPD.

Impact on the Amenity of Neighbouring Residents

20. Policy CG4 of the Core Strategy states that the Council will ensure that new development is compatible with surrounding land uses and occupiers, protecting amenity, privacy, safety and security.
21. Paragraph 4.14 of the House Extensions SPD states that single storey rear extensions of up to 3 metres on semi-detached houses will normally be acceptable (where they are not already permitted development).
22. 14 Leyton Close is the adjoining neighbour. The proposed single storey rear extension projects 3.6m which is longer than normally considered acceptable, however paragraph 4.15 of the SPD states that longer extensions may be acceptable where they do not impinge on a neighbouring main room window at a 45 degree angle. 14 Leyton Close would have a conservatory adjacent the proposed extension, which is not classed as a main room and so this would be considered acceptable. In terms of the two storey rear extension, the proposed plans show how the proposal would not impinge on a 45 degree angle from the centre of the nearest neighbouring main room window and so would be considered acceptable. As no. 14 is sited away from the proposed side extension, there would be no impact.
23. 18 Leyton Close is sited to the other side of the application property. Although the proposed two storey rear extension would project longer than normally considered acceptable for a semi-detached property, it would not impinge at a 45 degree angle on any main room windows at this property and so is considered acceptable. In terms of the proposed side extension, there are two windows facing the proposed extension at 18 Leyton Close however these serve a kitchen and hallway, which are not classed as main room windows and so this is considered acceptable. There would be three windows proposed facing this neighbouring property however these have been acknowledged within the conditions of the report to be obscure glazed to prevent any overlooking impacts.
24. 7-15 Leyton Close are sited to the front of the application property. Paragraph 4.7 of the SPD suggests a 21 metre interface distance between neighbouring elevations both containing main room windows that face one another. There is over 23 metres between the proposed side extension and these properties to the front and so this is considered acceptable.
25. 23-27 Colchester Drive are sited to the rear of the application property. There is over 24 metres between the proposed extensions and these properties to the rear and so this is considered acceptable.
26. The scale and siting of the extension is considered to be fully in compliance with the guidance contained within the House Extension SPD. It is not considered that the proposed extension would unduly harm the amenity of any neighbour and therefore complies with Policy CG4 of the Core Strategy.

Impact on Parking

27. Policy P5 of the Core Strategy states that the Council will take into account the parking required, including parking for cycles and powered two-wheelers, in accordance with the parking standards set out in Appendix 3.
28. The Council's Highways and Engineering Department have been consulted and have concluded that there are no highways related objections to this application however they recommend a condition for two off road parking spaces to suit the level of development proposed. It is therefore considered that the proposed would comply with Core Strategy policy P5.

Conclusion

29. For the reasons discussed above it is considered that the proposed would not unduly harm the character and appearance of the dwelling or the surrounding area, and would not unduly harm the amenity of any neighbouring resident.
30. It is therefore considered that the proposal fully complies with policy and Members are recommended to approve this application.

Representation and Consultation Annex

Representations

Letters:- 10 letters of objection received;

- * Submitted plan is very vague, minimal measurements little relating to the extension. No elevations to assess, no floor plans or indication of windows and doors to assess privacy impacts, no reference to roof pitch. Impossible to determine if the extension is within regulations. Rear extension no measurements to assess proximity to boundary fence or how far out from the rear of the property it extends. *(Officer Comment – the submitted plans were originally not uploaded to the Bolton Council website for the public to view. This was amended and neighbours were re consulted for the chance to comment)*
- * No flood risk assessment has been submitted. Concerns about flooding. *(Officer Comment – the proposal is not in a flood risk zone and there is no Planning requirement to submit any details of the proposed drainage for the extended house)*
- * Extension is very large will ruin the character of the close, unbalance the symmetry of properties. Not in keeping with the street scene/overall look of the close. Extension will dominate/overbear the original structure, it looks like the extension is 125% larger than the original host house making it sub-ordinate. *(Officer Comment – this has been discussed within the body of the report)*
- * Highway safety concerns, especially for young children *(Officer Comment – Highways Engineers have raised no objection to the proposal)*
- * There will be a significant loss of privacy, neighbours will be overlooked *(Officer Comment – this is discussed in the body of the report)*
- * There will be loss of light to gardens and neighbouring windows *(Officer Comment – the proposals would not unduly overshadow the gardens of the neighbouring properties)*
- * Plans include removal of the garage, and indicate space for two cars but the drive is too short. Increased vehicles for a 5/6 bed house result in excessive street parking. Lack of parking proposed. Street is narrow, services particularly bin/waste collection have been unable to pass due to parking issues, more relevant for any emergency services. Will the lovely front garden of No.16 will be retained or concreted over? *(Officer Comment – Highways were consulted who had no objections. Two on-site parking spaces are shown on the submitted plan)*
- * If application approved there is something called a "Party Wall Act" does it need to be complied with before/after approval? What checks will planning authority do? *(Officer Comment – this is a civil/legal matter)*
- * How will any subsidence be treated when the excavations are done. *(Officer Comment – this is a matter for building control)*
- * What will the planning authority do in order to ensure the extensions are built to the plans. *(Officer Comment – the approved plans are listed within the suggested conditions. Any deviation from these could be subject to subsequent enforcement action)*
- * The site plan indicates that half the existing garage will be demolished. The garage is a double garage shared with No.18. The demolition of half the garage is causing considerable stress and worry to the neighbour living at no.18, who is very concerned that this work may cause damage to her half of the garage, as well as loss of use and inconvenience while the building work is undertaken. *(Officer Comment – this is a matter for building control)*
- * This development is a gross overdevelopment, being too large and too close to existing properties, as well as being completely out of character with other properties in the Close. Although several other properties in the Close have had extensions built, they are quite modest and unobtrusive compared to this one, which will have a detrimental effect on the overall appearance and market value of other properties in the Close. *(Officer Comment – this has been discussed within the body of the report, market value is not a material planning consideration)*
- * This development at No.16, right in the centre of the Close, which will extend the existing property to 5 bedrooms and take over a large part of the rear garden and most of the area to the side of the house including the shared garage; will completely dominate surrounding properties,

and be overbearing and obtrusive, and completely change the whole character of the Close. *(Officer Comment – this has been discussed within the body of the report)*

- * Objects to half of the shared garage being demolished as unsure how this will affect the neighbour's garage. *(Officer Comment – this is a matter for building control)*
- * Will scaffolding need to be erected in the neighbours garden for the build. *(Officer Comment – this would be a private matter)*
- * Where are neighbours supposed to park when the work is in progress? *(Officer Comment – this would be a civil/private matter)*
- * The height of the path will have to be raised another 1.5 metres to level for the 2 storey building. Will cause massive problems to the amount of wastewater created when it rains, to both the front and rear of the neighbours property because of the downward landscape of the road and the different levels of number 16 and number 18 *(Officer Comment – this is a matter for building control)*
- * An increase in noise for people in their gardens or at the rear of their property, given the intended use of the structure/number of residents at the property. *(Officer Comment – the proposal is for a residential extension. Any noise disturbance from the use of the property would be a matter for environmental health)*
- * Impact on views from neighbouring gardens and properties. *(Officer Comment – not a material planning consideration)*
- * Concerns about access to rear and storage of waste bins. *(Officer Comment – this has been discussed within the body of the report)*
- * If this development goes ahead, it will set a precedent for others to overdevelop on the estate losing green space and the character of the area therefore affecting the value of other properties. *(Officer Comment – not a material planning consideration)*

Elected Members:- Cllr. Susan Haworth made comment as follows:

- * Overbearance in size and overbearance in scale at the plot which is a central plot at Leyton Close, Farnworth. The application takes a ground and first floor build close to the curtilage at the line where currently the two garages of 16 and 18 Leyton Close meet. Residents with this view feel it is a dramatic change on Leyton Close. The ground and first floor extension at the rear makes a profound impact to 18 Leyton Close in terms of view and rear garden use along with impact to other properties that will have view of this two storey extension. *(Officer Comment – this has been discussed within the body of the report)*
- * Excessive change to the character and excessive change to the appearance of Leyton Close, Farnworth. While home extension policy allows development, many of the objectors argue that the application excessively and detrimentally changes both the character and the appearance of Leyton Close, Farnworth, they want the subjective material planning matters to be considered at the planning committee. *(Officer Comment – this has been discussed within the body of the report).*

Petitions

A petition of objection has been received, signed by 22 neighbouring residents. This petition raises the following grounds for objection:

- * The extensions are excessively large
- * Nice, well planned housing estates are becoming over-developed, overcrowded, dismal and depressing places to live
- * Leyton Close is probably the nicest estate in Farnworth, being well built, planned and designed
- * Previous extensions have been quite modest and unobtrusive, unlike the proposed extensions
- * The proposal will extend the property to 5 bedrooms and will take over a large part of the rear garden and most of the area to the side
- * Will overshadow surrounding properties and will be overbearing and obtrusive
- * Will have a detrimental effect on the overall appearance of the Close

- * The applicant should consider looking to buy a larger property instead

Consultations

Highways Engineers

Planning History

None

Recommendation: Approve subject to conditions

Recommended Conditions and/or Reasons

Subject to the following conditions, which have been imposed for the reasons stated:-

- 1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason

Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

- 2 The development hereby permitted shall be carried out in complete accordance with the following approved plans:

Site Plan Scale 1:200; received 4th July 2022
Drwg No. 01; Floor Plans & Elevations; dated Jun 2022

Reason

For the avoidance of doubt and in the interests of proper planning.

- 3 Notwithstanding the submitted details, the external surfaces of the extensions hereby permitted shall be of a similar colour, texture and size of those of the existing building, and shall be retained thereafter.

Reason

To ensure the development fits in visually with the existing building and safeguards the character and visual appearance of the locality and in order to comply with Core Strategy policy CG3.

- 4 Notwithstanding the submitted details, the ground floor utility and wetroom windows and the first floor bathroom window in the side elevation of the extension hereby approved and the first floor en suite window in the rear elevation of the extension hereby approved shall, on installation, be either non opening or with openings more than 1.7 metres above the finished floor level and fitted with obscure glazing whose obscuration level is 5 on a scale of 1-5 (where 1 is clear and 5 is completely) of the Pilkington Glass scale (or equivalent) and shall be permanently retained in that condition thereafter.

Reason

To protect the privacy, outlook and living conditions of neighbouring occupiers and in order to comply with Core Strategy policy CG4.

- 5 Before the approved/permitted development is first brought into use no less than 2no. car parking spaces shall be provided within the curtilage of the site, in accordance with approved plan Drwg No. 01. Such spaces shall be made available for the parking of cars at all times.

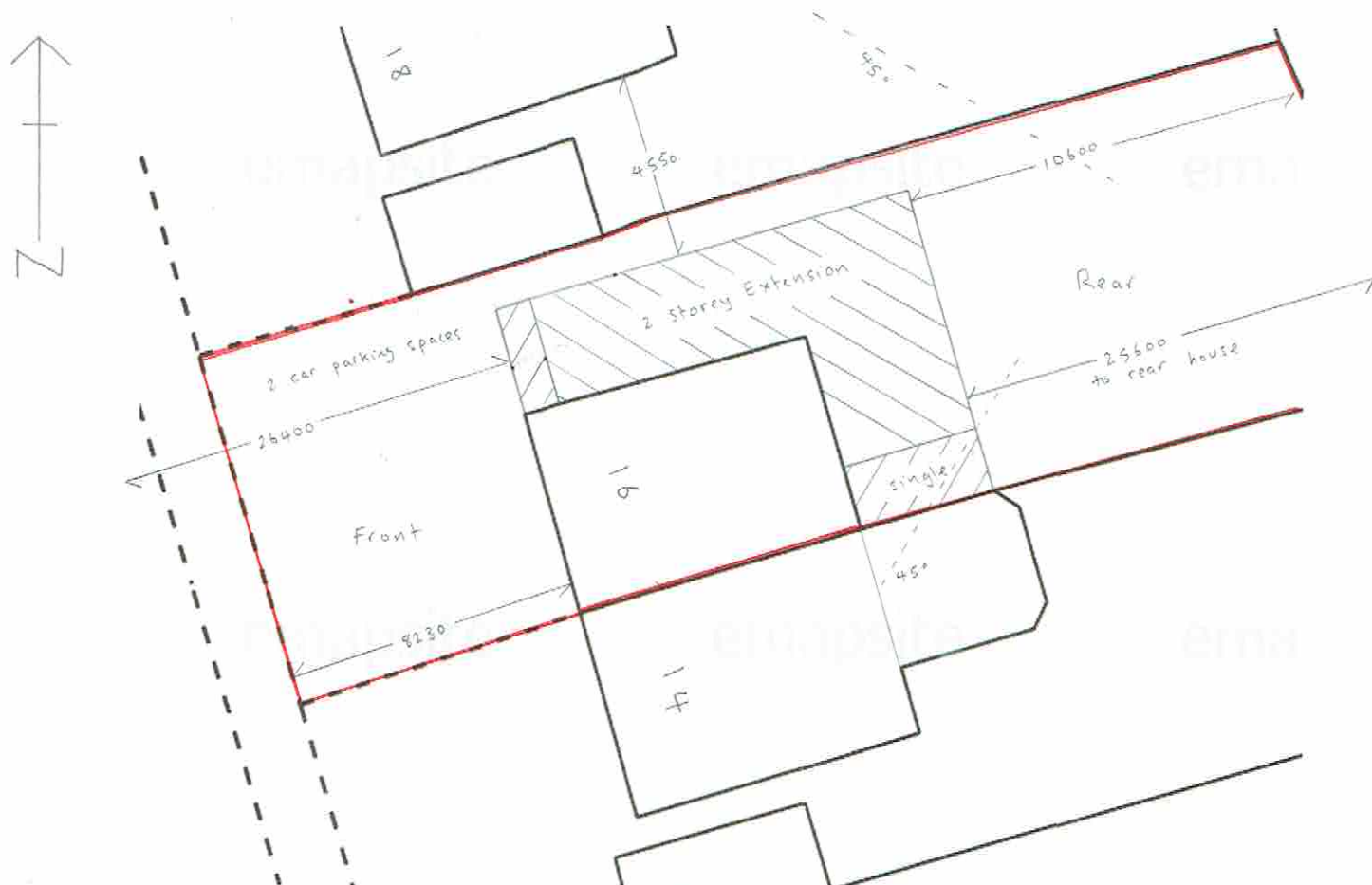
Reason

To ensure that adequate provision is made for vehicles to be left clear of the highway and in order to comply with Bolton's Core Strategy policies S1, P5 and Appendix 3.



Location Plan

Scale 1 : 1250



Site Plan

Scale 1 : 200

Proposed erection of a part single part 2 storey extension at the side and rear of house at 16 Leyton Close, Farnworth, Bolton	
Draw No: 01	Revision: 0
Floor Plans & Elevations	
Scale: 1:100 (A1 draw size)	Date: Jun 2022
FP Architecture & Planning email: fparchitecture@hotmail.com tel: 0776360011	

16 Leyton Close, Farnworth, Bolton



Extension construction details

ROOF Concrete interlocking tiles lapped on treated battens on approved breathable roofing felt onto 200 x 50mm rafters at 400 c/c. Insulation to be 272mm deep rockwool quilt insulation or other equal and approved between rafters. 12mm plaster board and skim to underside of 175 x 50mm ceiling rafters at 400 c/c. Roofspace ventilation system (min 25mm gap) with purpose-made caves-fitting to ensure caves are not blocked. Gutter to be 100mm half-round gutter with 75mm dia PVC rainwater pipe to roddable gully.

FLOOR 100mm thick concrete (1:3:6) on 1200 gauge visqueen on 100mm thick Kingspan Thermalfloor insulation T770 to give U value of 0.22w/m2k with 25mm upstand at perimeter on 50mm sand binding on 150mm well compacted hardcore.

WALLS Outerskin to be 110mm approved brick facings to match existing. 100mm cavity with rockwool insulation to give U Value of 0.3w/m2k, inner skin to be 100mm thermalite blocks. 12mm plasterboard and skim to internal.

Butterfly type wall ties to be fixed 700mm c/c horizontally and 450mm centres vertically. Cavity to be continuous bonded to existing and sealed at eaves level with brick or block on edge. DPC to be 150mm above ground level, and insulated horizontal and vertical DPC to be around all openings and reveals. Stopped lead cavity tray and flashing at abutments. 30mm x 5mm galvanised MS straps to fix to walls and structural timbers of roof at max 1800mm c/c. Weak mix concrete cavity fill in cavity wall below ground level.

FOUNDATIONS Strip foundation 600 x 150mm min concrete (1:3:6) min depth 750mm below ground level to approval of Building Control Officer.

DRAINS 100mm dia PVC drains to connect to existing and fall 1:40 to approval of Building Control Officer. PVC approved inspection chambers to be fitted at junction with main drain.

WASTES 32mm dia PVC waste with anti vac traps to washbasin and 38mm dia to sink connected direct to gully to new drain as above.

VENTILATION Opening lights not to be less than 1/20th of floor area of room served. Glazing to be SAFETY glazing to BS 6206 is FENSA approved and have K glass. Any boiler vent to be ducted to external air 500mm clear of opening light. Mechanical fan to be ducted to external air and have extract rate of 60 litres per sec in kitchen and 15 litres per second in bathrooms.

FIRE All elements of structure and new ceilings to have 12mm fireline board and skim. 30 minute fire doors with frames to be installed at all relevant openings.

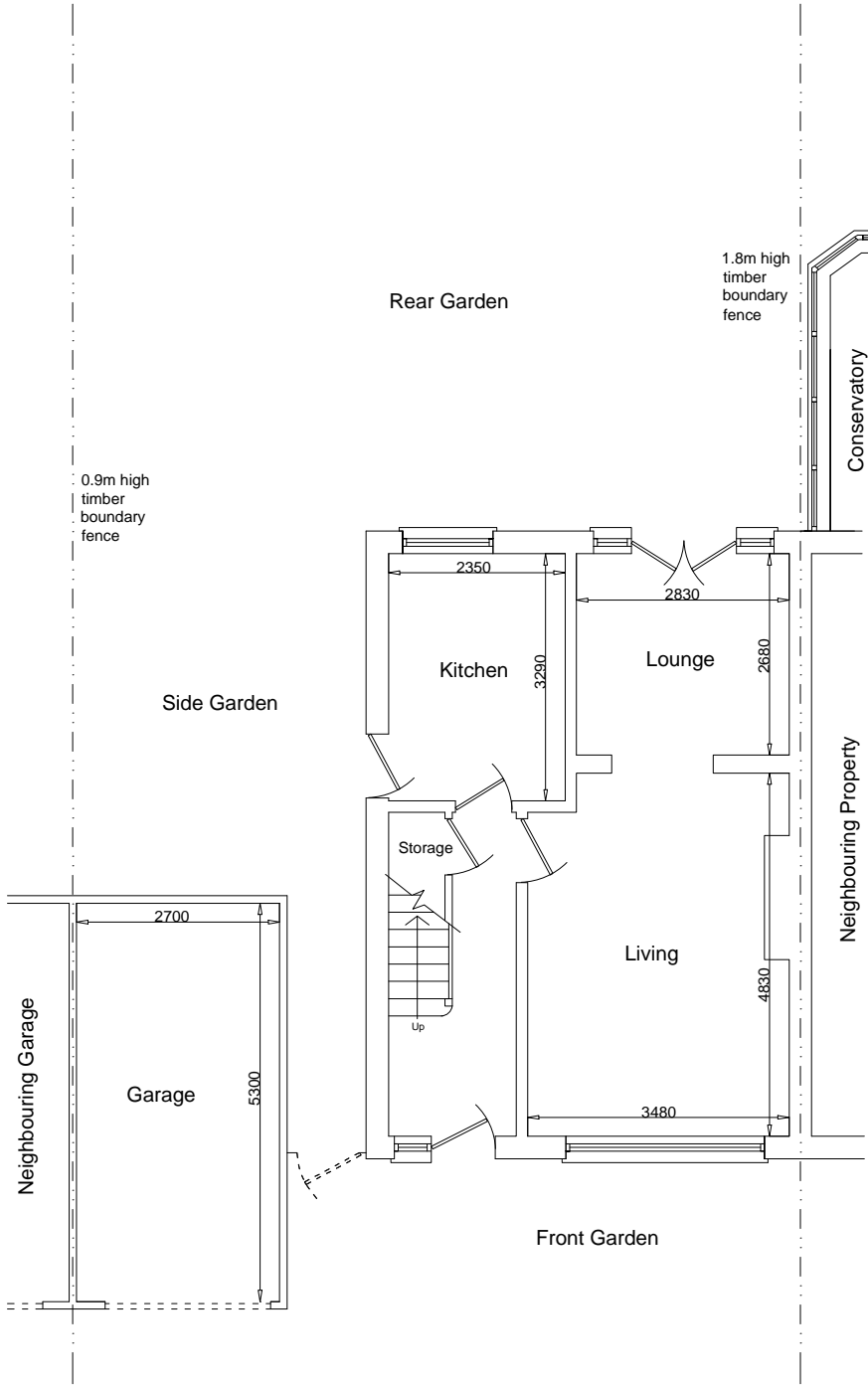
OPENINGS To have standard catmics over with min end veering 150mm each end.

SKY LIGHTS Double up rafters on either side of velux windows.

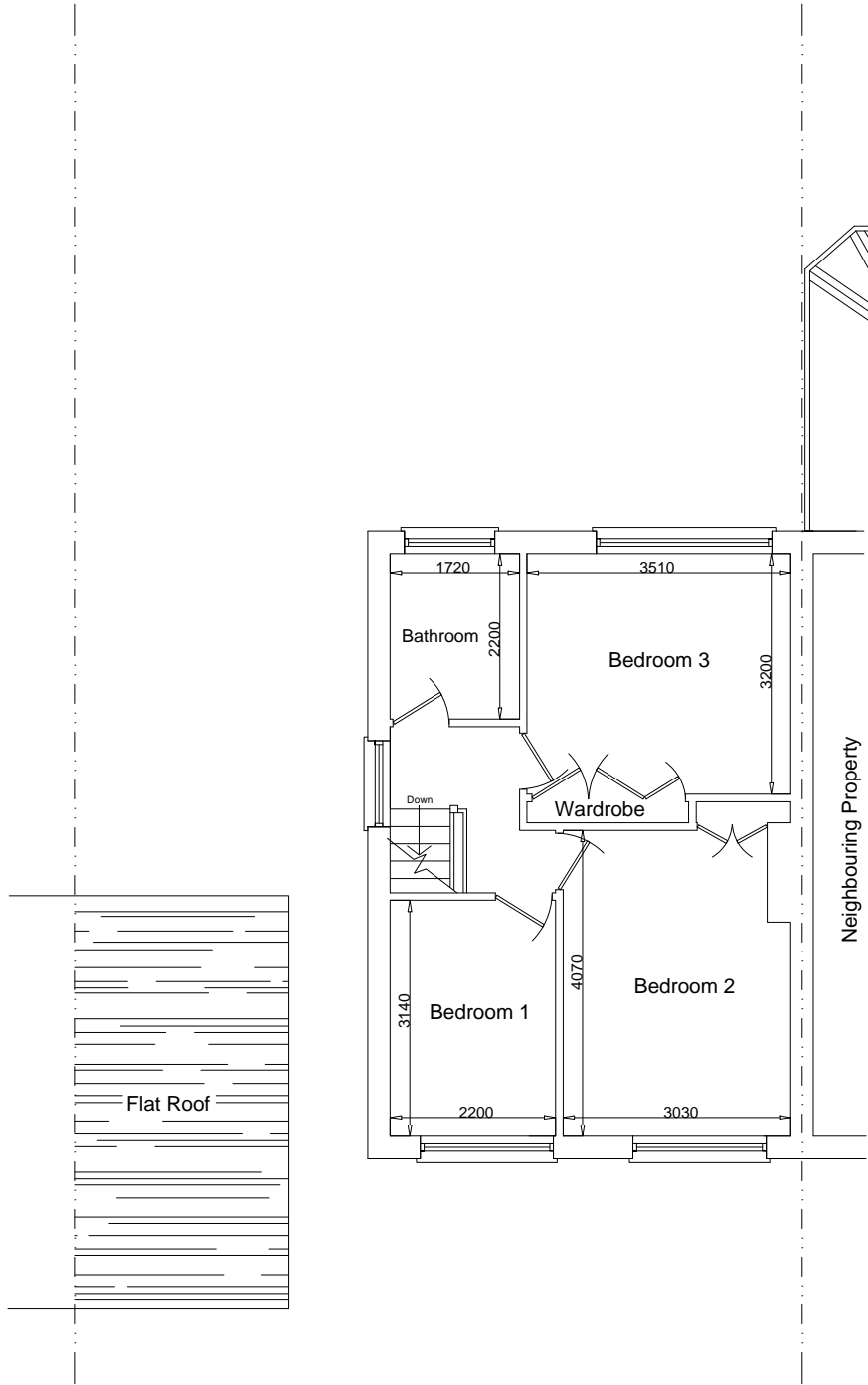
ELECTRICS & GENERAL

All electrical installations to comply to BS 7671, 16th Edition of IEE Regs and Part P of Building Regs by a NICEIC electrician with a test certificate forwarded to Building Control within 30 days of completion. New radiators to have TRV are if a new boiler is installed, it should be of condensing type and have min SEDBUK rating of 86%. If not, adequacy of existing boiler should be checked to determine that it is capable of handling the proposed increased loads. Service plans to be insulated and boiler control interlocks together with zone timing and temperature controls are required. In addition, the heating and hot water system should be commissioned so that at completion the system and their controls are left in working order and can operate efficiently. A copy of the Corgi Certificate is to be given to the Local Authority on completion.

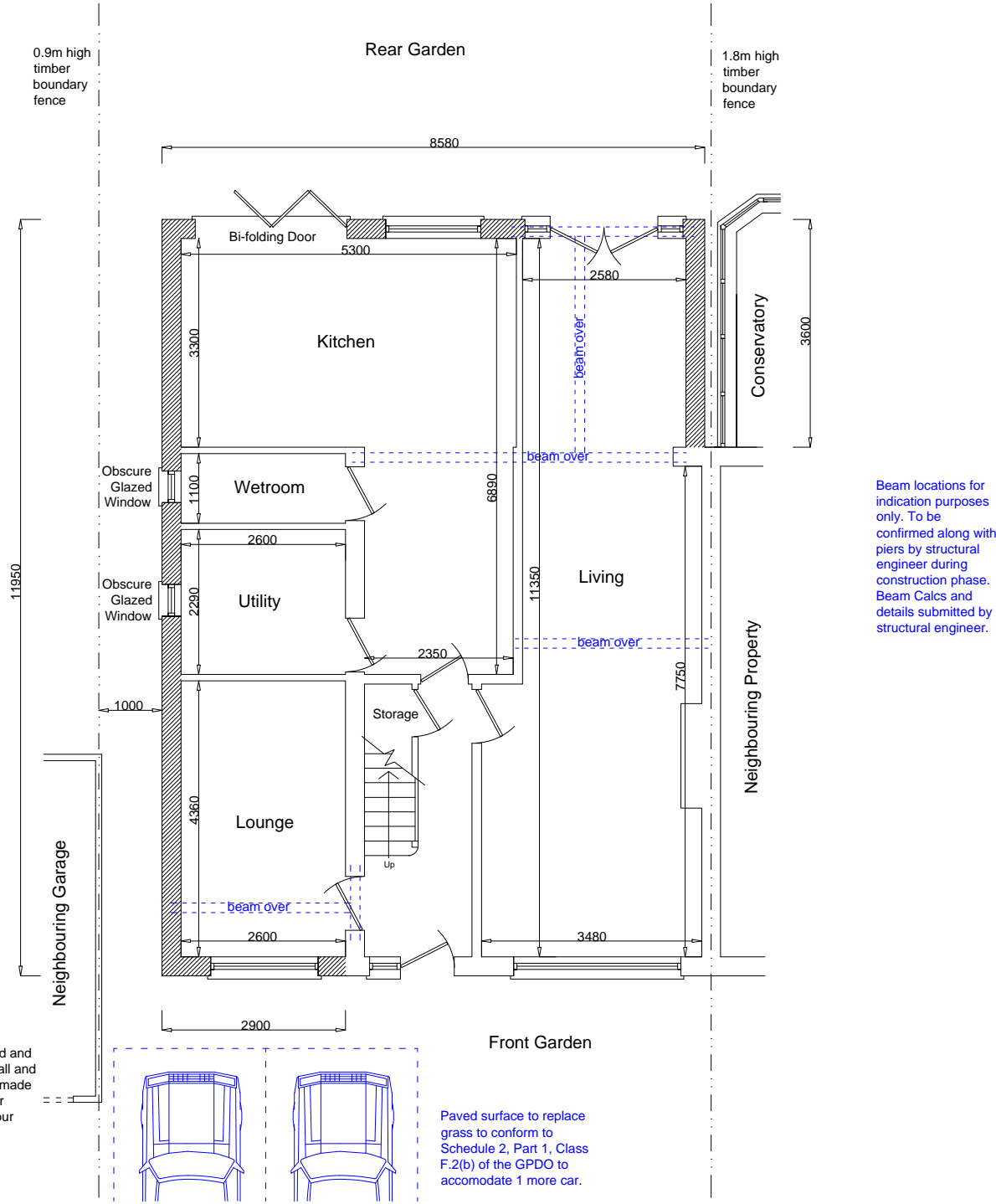
NOTES:
Copyright in all documents and drawings prepared by the designer and
otherwise agreed, remains the property of the designer and must not be
reproduced by, lent or disclosed to, a third party without the written
consent of FP Architecture & Planning.
All dimensions to be checked on site and any discrepancies to be
checked as necessary to ensure that they are suitable to accommodate
information in the specification to be referred to the architectural designer
prior to proceeding.
All component sizes and references to be checked prior to ordering of
materials.
Positions and designation (i.e. combined surface water or foul) of
existing drain runs on site are to be checked / confirmed by the building
contractor prior to commencement of any drainage works. Any existing
drains, to which additional connections are to be made, are also to be
checked as necessary to ensure that they are suitable to accommodate
additional capacity and the type of effluent being removed.
All relevant boundary positions to be checked prior to proceeding.



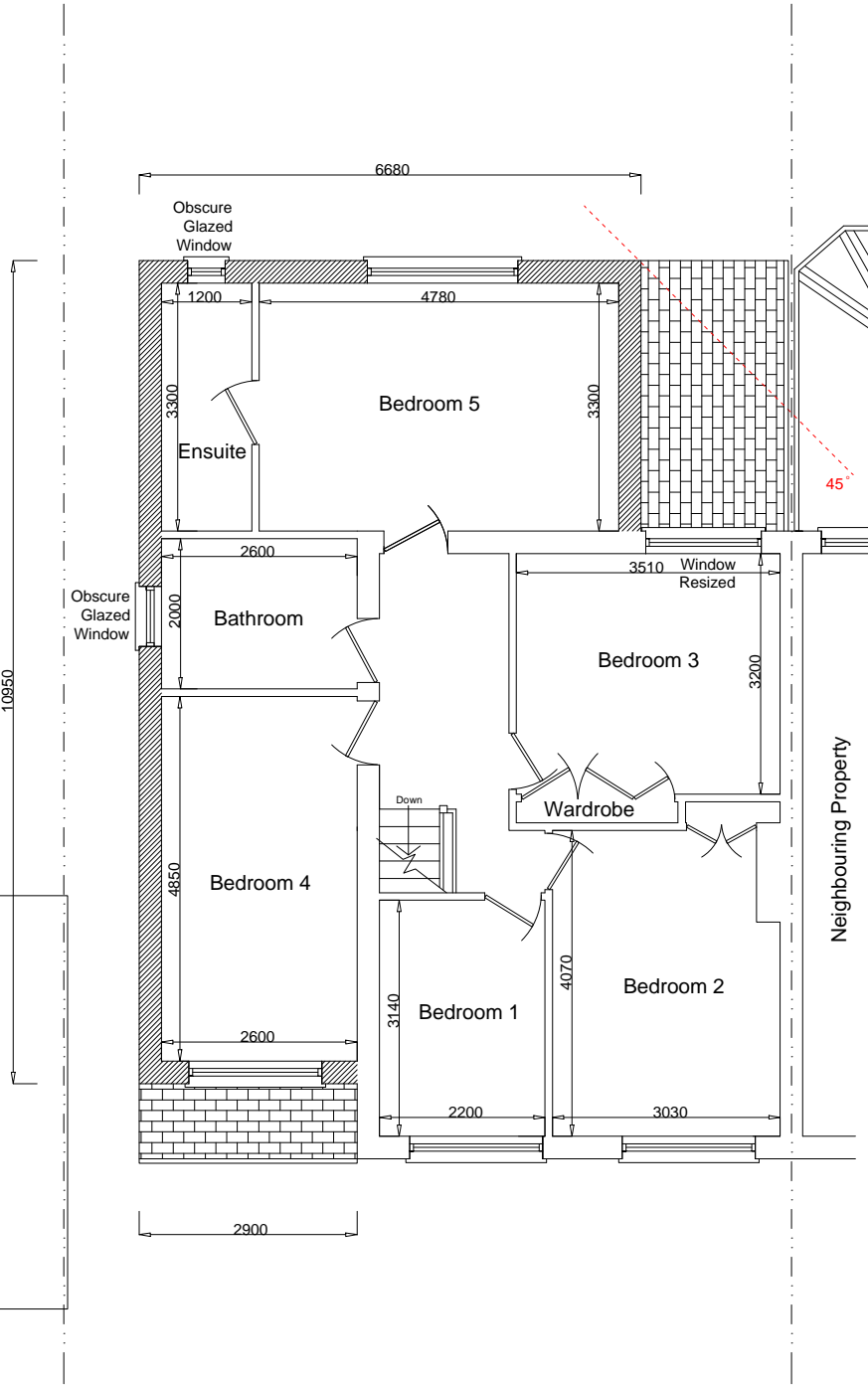
Existing Ground Floor Plan



Existing First Floor Plan



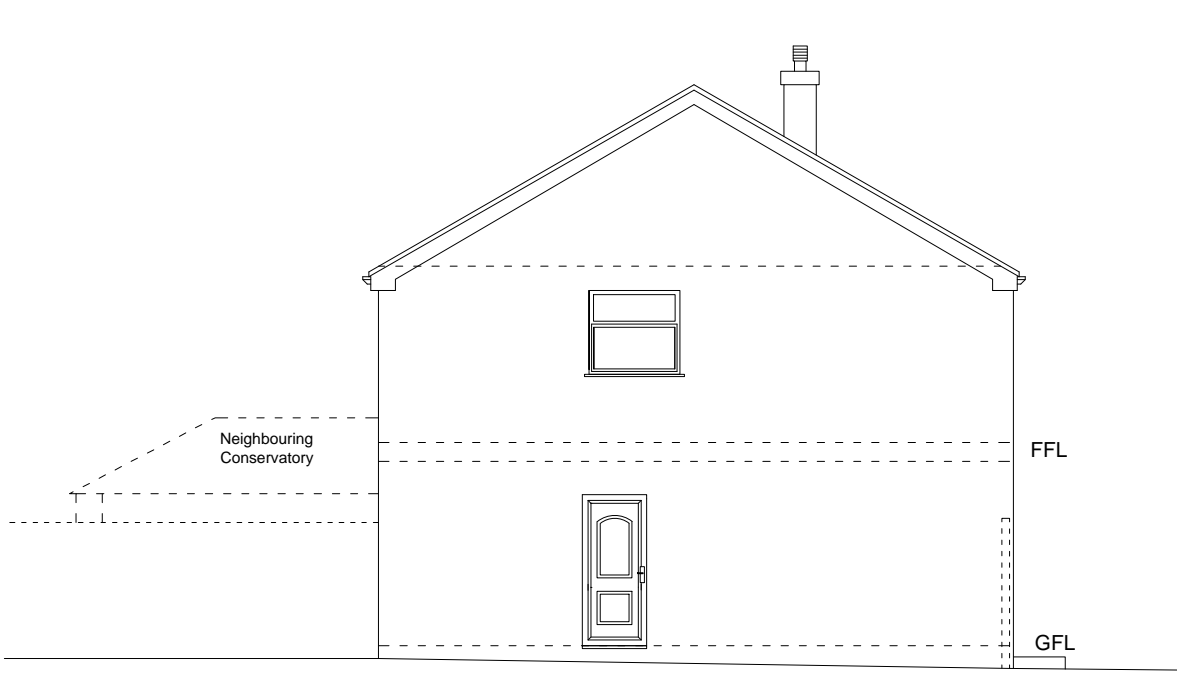
Proposed Ground Floor Plan



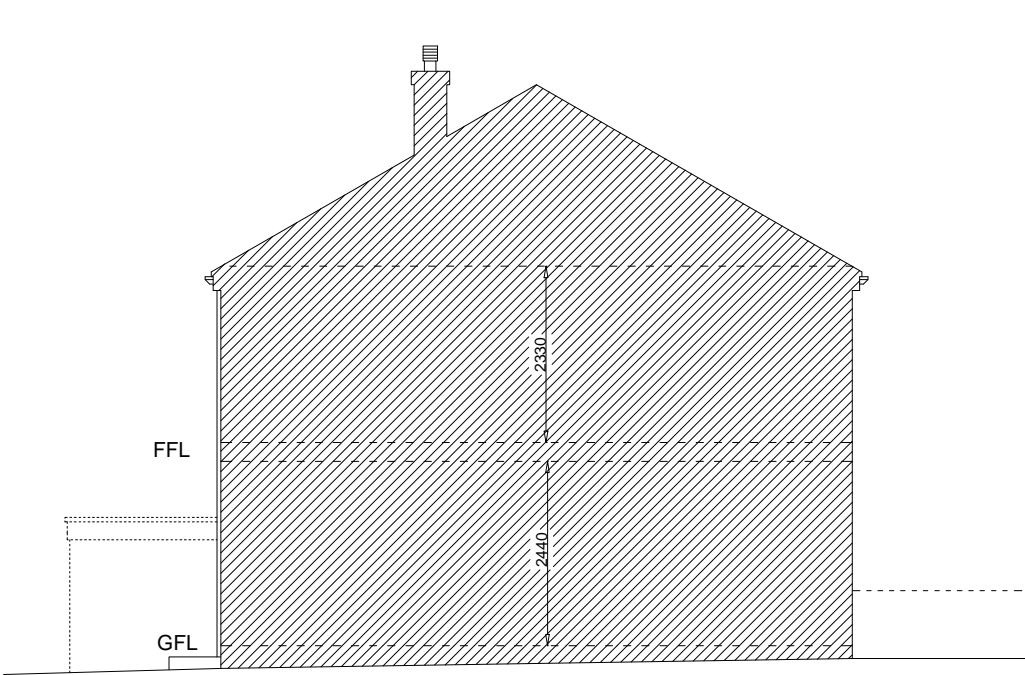
Proposed First Floor Plan



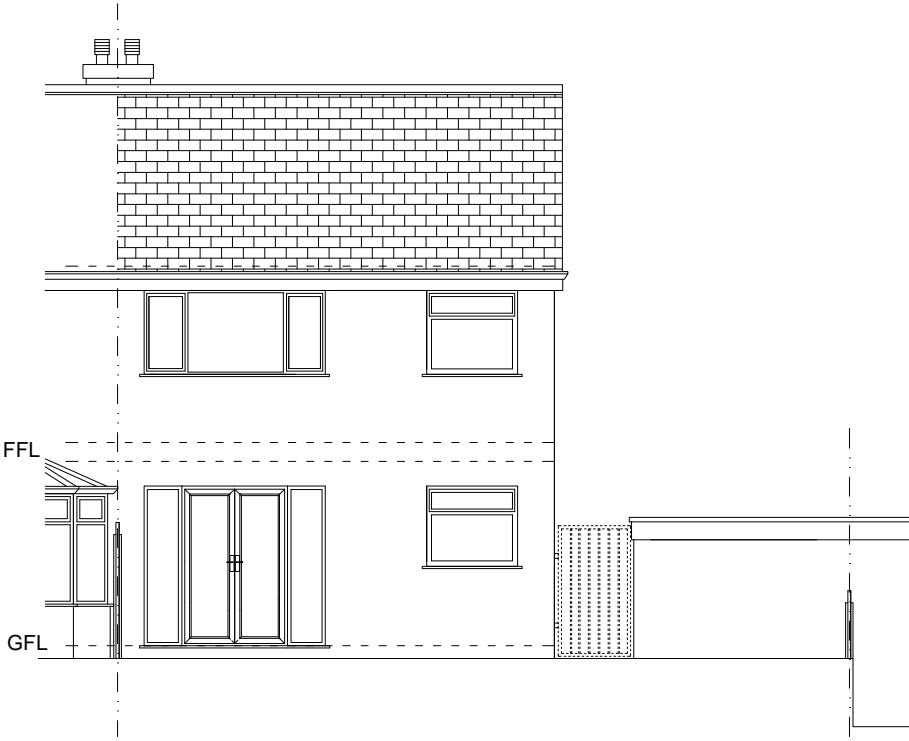
Existing Front Elevation



Existing LHS Elevation



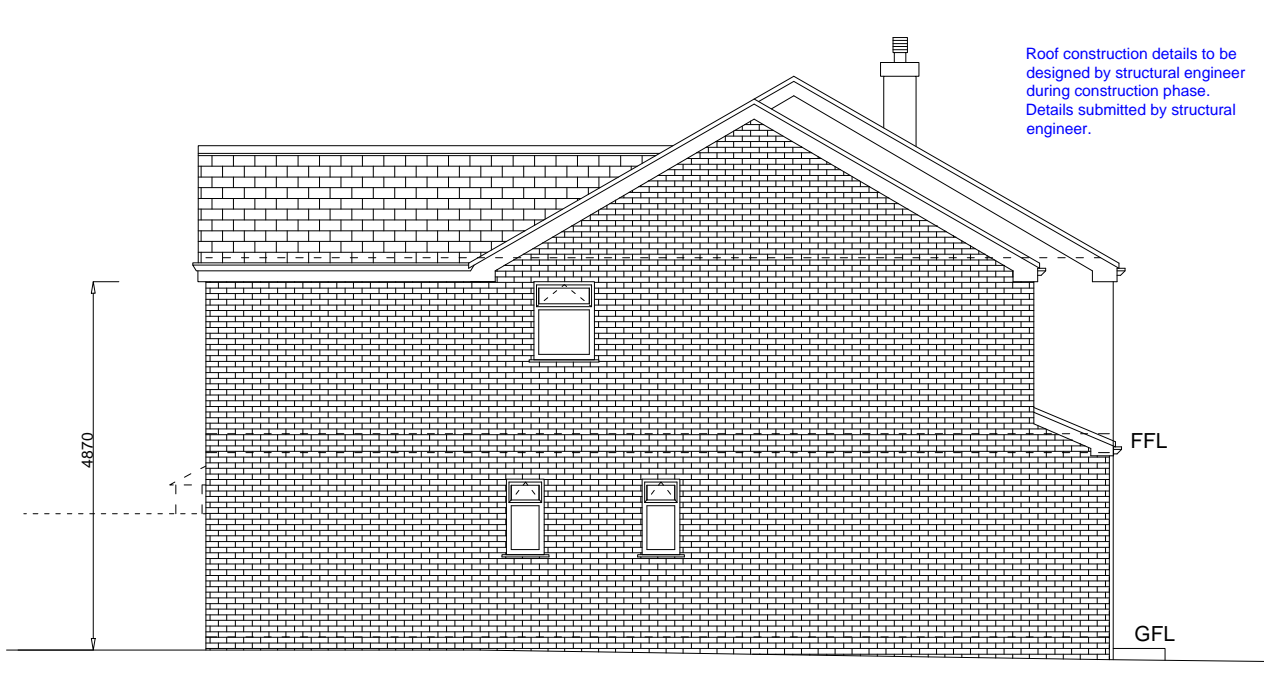
Existing RHS Elevation



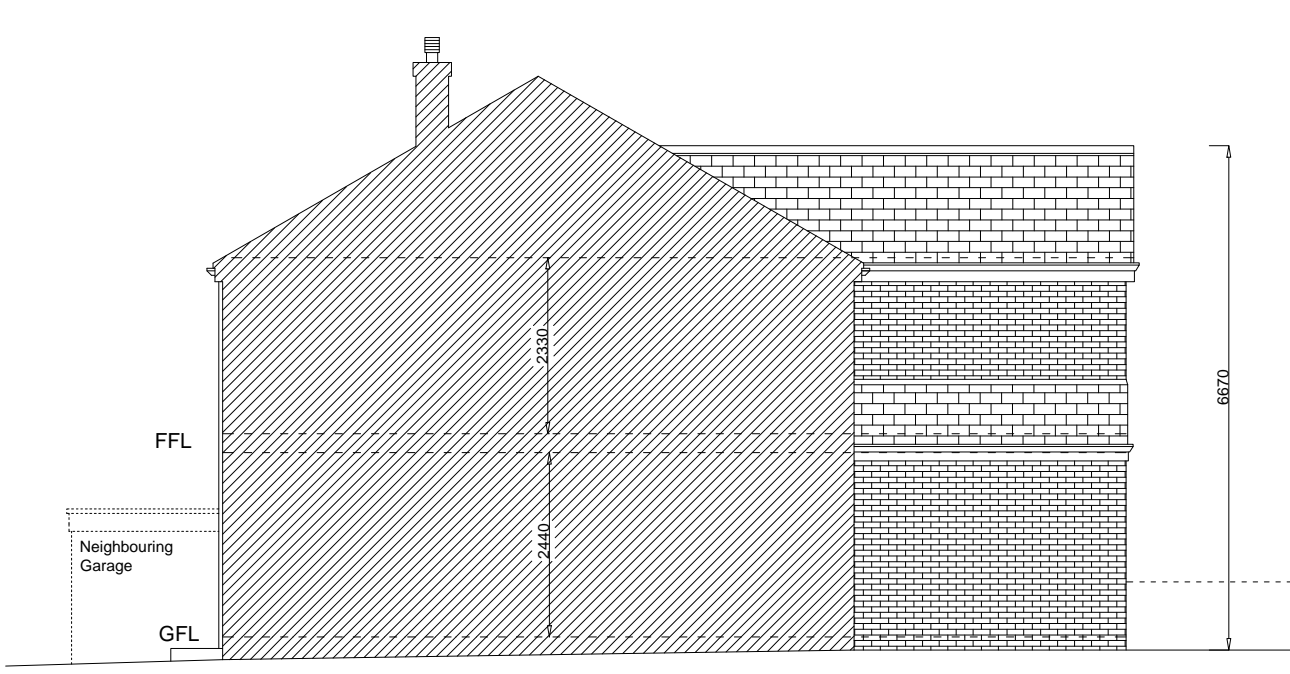
Existing Rear Elevation



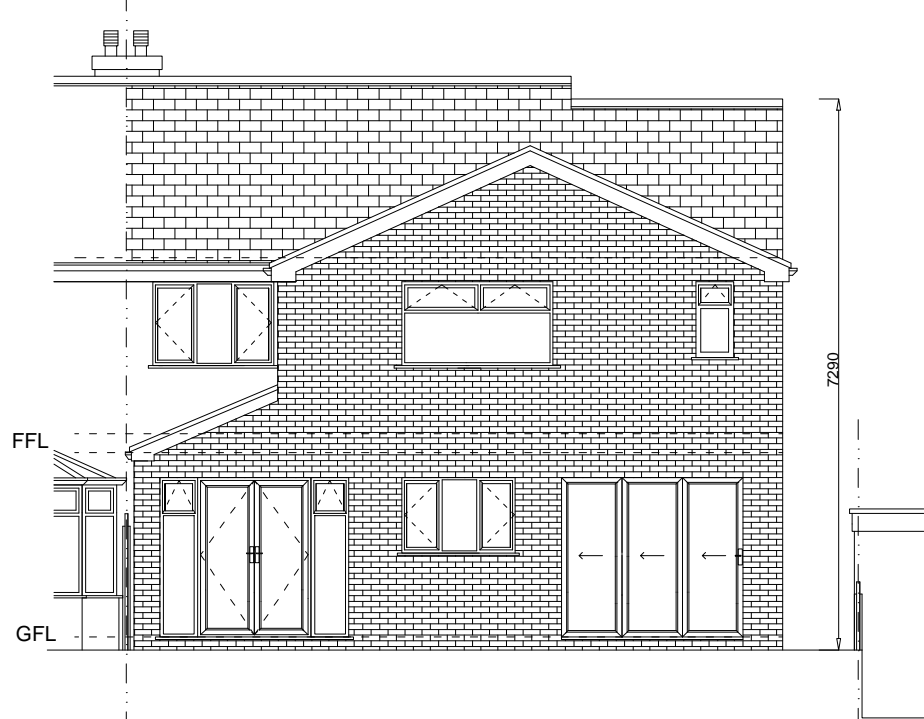
Proposed Front Elevation



Proposed LHS Elevation



Proposed RHS Elevation



Proposed Rear Elevation