

Planning Applications Report

Planning Committee

10 March 2016

**Bolton
Council**

Bolton Council has approved a Guide to Good Practice for Members and Officers Involved in the Planning Process. Appendix 1 of the Guide sets down guidance on what should be included in Officer Reports to Committee on planning applications. This Report is written in accordance with that guidance. Copies of the Guide to Good Practice are available at www.bolton.gov.uk

Bolton Council also has a Statement of Community Involvement. As part of this statement, neighbour notification letters will have been sent to all owners and occupiers whose premises adjoin the site of these applications. In residential areas, or in areas where there are dwellings in the vicinity of these sites, letters will also have been sent to all owners and occupiers of residential land or premises, which directly overlook a proposed development. Copies of the Statement of Community Involvement are available at www.bolton.gov.uk

The plans in the report are for location only and are not to scale. The application site will generally be in the centre of the plan edged with a bold line.

The following abbreviations are used within this report: -

UDP	The adopted Unitary Development Plan 2005
RSS	Regional Spatial Strategy for the North West of England 2008
PCPN	A Bolton Council Planning Control Policy Note
PPG	Department of Communities and Local Government Planning Policy Guidance Note
MPG	Department of Communities and Local Government Minerals Planning Guidance Note
SPG	Bolton Council Supplementary Planning Guidance
SPD	Bolton Council Supplementary Planning Document
PPS	Department of Communities and Local Government Planning Policy Statement
TPO	Tree Preservation Order
EA	Environment Agency
SBI	Site of Biological Importance
SSSI	Site of Special Scientific Interest
GMEU	The Greater Manchester Ecology Unit

The background documents for this Report are the respective planning application documents which can be found at:-

www.bolton.gov.uk/planapps

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Application number 92921/14



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Development Management Section

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Bolton Council

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Date of Meeting: 10/03/2016

Application Reference: 92921/14

Type of Application: Full Planning Application
Registration Date: 28/11/2014
Decision Due By: 26/02/2015
Responsible Officer: Alex Allen

Location: LINCOLN HOUSE, NELSON STREET, BOLTON, BL3 2JW

Proposal: CONVERSION OF THREE FLOORS OF BUILDING FROM OFFICES TO 42 FLATS.

Ward: Great Lever

Applicant: Lincoln Limited
Agent : Pentland Design & Management

Officers Report

Recommendation: Approve subject to conditions

Proposal

The applicant proposed the change of use of the first, second and third floors of the Lincoln House office building to residential apartments (C3 use). The change of use would create 30 one bedroomed apartments and 12 bedsit apartments with a total floor area of 3,600 sq. metres. The car parking at the rear of the site would be retained for the use of the ground floor (B1) if it is let out successfully and for the occupants of the residential accommodation.

Site Characteristics

The site is a prominent five-storey office development, constructed approximately five years ago but which has remained unoccupied since. Parking for 54 vehicles was provided at the rear as part of the office development, accessed from Nelson Street.

The area is generally industrial in character, dominated by the large Edbro engineering site to the west. Other uses fronting Nelson Street include a vehicle repair garage and the Territorial Army site opposite. There is a small amount of residential use nearby - a single row of terraced houses fronting St Bartholemew Street to the south.

The site is 0.5 miles or approximately 12 minutes walk from the edge of Bolton Town Centre. The site is well-served by public transport with the majority of Great Lever and Farnworth buses passing the site regularly.

Policy

National Planning Policy Framework - building a strong and competitive economy, ensuring the vitality of town centres, supporting a prosperous rural economy, promoting sustainable transport, supporting high quality communications infrastructure, delivering a wide choice of high quality homes, requiring good design, promoting healthy communities, protecting green belt land, meeting the challenge of climate change, flood and coastal change, conserving and enhancing the natural

environment, conserving and enhancing the historic environment, facilitating the use of minerals

Core Strategy Objectives

SO5 Bolton's Economy, SO6 Accessibility and Infrastructure, SO9 Crime and Road Safety, SO14 Inclusive Housing, SO15 Sustainably Located Housing, SO16 Community Cohesion and Access

Core Strategy Policies

P1 Employment Sites, P5 Transport, S1 Crime and Road Safety, CG3 Design and the Built Environment, CG4 Compatible Uses, SC1 Housing Targets, SC2 Cultural and Community Facilities and RA1 Inner Bolton.

Analysis

Section 38 of the Planning and Compulsory Purchase Act 2004 requires applications to be determined in accordance with policies in the Development Plan unless material considerations indicate otherwise.

Applications which are not in accordance with Development Plan policies should be refused unless material considerations justify granting permission.

Similarly, proposals which accord with Development Plan policies should be approved unless there are material considerations which would justify a refusal of permission.

It is therefore necessary to decide whether this proposal is in accordance with the Development Plan and then take account of other material considerations.

The main impacts of the proposal are:-

- * impact on employment provision;
- * impact on the provision of housing;
- * impact on residential amenity and adjoining uses;
- * impact on crime and public safety/on highway safety.

Impact on Employment Provision

The site is allocated as Employment Land and therefore subject to Policy P1 of Bolton's Core Strategy which states that the Council will "safeguard existing employment sites where they are compatible with residential amenity and contribute to the sustainability of communities in which they are situated. Where they are not compatible, mixed uses will be encouraged to retain an element of employment."

In cases where a primarily non-employment use is proposed (as in this instance), the onus is on the Applicant to make their case as to why the Council should depart from its Development Plan policy. Guidance contained within paragraph 3.7 of the Allocations Plan Written Statement indicates that applications for non B1, B2 or B8 uses on allocated protected employment land will be permitted in one where:

- There would be no harm to the economic function of the locality or the benefits of the proposed development outweigh the harm; or
- A marketing strategy satisfactorily demonstrates that there is no longer demand for B1, B2 or B8 use; or
- A viability assessment satisfactorily demonstrates that this is no longer appropriate for the site to be retained for B1, B2 or B8 purposes.

Such justifications usually take the form of a statement providing information and evidence on the such matters as length of vacancy, the length, nature and strength of any marketing for the allocated employment purpose and clear details of any elements of employment which would remain.

The applicant has previously provided evidence to state that the site has been vacant since it was erected without any significant interest in tenants occupying the premises. In addition, they have commented that due to the length of time the property has been vacant and the initial capital outlay on the building the development / even the proposed use of the property would not be viable. However, the applicant is keen to secure a active use for the premises.

The application building was constructed to a high standard to provide office accommodation, Class B1. Such uses are generally considered to be compatible with residential amenity - indeed Class B1 contains an amenity test which ensures compatibility. There is no reason to suspect that the lawful use of the building would not be compatible with residential amenity. The site is located approximately 12 minutes walk from the edge of Bolton Town Centre on the side of town that contains the main train station and the soon to be constructed bus interchange. The site is well-served by public transport with the majority of Great Lever and Farnworth buses passing the site regularly. It therefore contributes to sustainability.

It is considered that the applicant has provided sufficient evidence to support the change of use of the premises to employment use. It is also considered that the proposed use of the upper floors of the premises would retain a B1 use at the ground floor, thus retaining some of the employment use of the site. In addition, it is noted that Environmental Health officers have raised no objections to the proposal. Subject to the required acoustic insulation to windows it is not considered that the residential use of the property would be in conflict with the adjoining existing employment uses.

It is also noted that if the property had been fitted out for B1 use and actively used for such a purpose the owner could exercise their permitted development rights to change the property into seperate residential properties without recourse to the Local Planning Authority.

The proposal is for a predominantly residential use at an allocated employment site which is compatible with residential amenity and is capable of contributing to the sustainability of the community in which it is situated. The proposal complies with policy.

Impact on Crime and Public Safety/highway safety

The National Planning Policy Framework states that planning decisions should aim to ensure that developments should create safe and accessible environments where crime and disorder, and the fear of crime, do not undermine quality of life or community cohesion.

Bolton's Core Strategy notes that the town's recorded crime levels are reducing but perception of crime remains high. The Core Strategy's most important direct contribution to reducing crime and the fear of crime is through the design of new development. A contributory factor to improving safety is to create and sustain a sense of place that enables people to identify with their surroundings or locality. This can be achieved through appropriate layout, high quality architecture, good lighting and landscape design. In considering design, the Council takes into account national advice as currently set out in the Government publication "Safer Places – the Planning System and Crime Prevention." Ensuring that the whole of the civic and retail core is safe and attractive for pedestrians will be a priority.

Policy SO9 of Bolton's Core Strategy is a strategic objective and seeks to, amongst other things, reduce crime and the fear of crime, by ensuring that neighbourhoods are attractive and well

designed. Policy S1 is part of the "Safe Bolton" Sustainable Community Strategy theme and states that the Council and its partners will ensure that the design of new development takes into account the need to reduce crime and the fear of crime. Policy CG4 of Bolton's Core Strategy seeks to ensure that new development protects, amongst other things, safety and security.

Core Strategy policies P5 and S1 seek developers to provide adequate car parking and, servicing arrangements for new development as well as ensuring proposals maintain highway safety.

The current proposal is a different proposition than the previously proposed use of the building (i.e. by ex offenders). The current proposal would be likely let out to Bolton at Home which is a Registered Social Landlord and also RNIB tenants. The landlords operate an effective management system for their accommodation.

The concerns of the Reserve Army based are noted and are appreciated especially in the context of the global terrorist threat. However, the same concerns would be potentially there if the building was used for any use including the approved use on the site (i.e. B1 use). It is considered that due to the proposed units being smaller in size then car ownership is likely to be low. The Council's Highways Engineers do not raise concerns over the level of car parking. Furthermore, it is considered that the proposed use of the site would encourage natural surveillance over adjoining area, promoting a safer environment for attendees of the Reserve Centre to be picked up by their parents.

It is considered that the active use of the site which would be managed by a responsible landlord would bring benefits to the site and the wider area resulting in enhanced natural surveillance over the area to the benefit of security in the local area. The proposal would be compatible with adjoining uses and complies with policy.

Value Added to the Development

The applicant has amended the proposal to provide a housing type which is capable of being let out to an existing RSL within Bolton and which has also resulted in the creation of a more attractive residential environment.

Conclusion

The proposal would put a productive use to a large proportion of an office building which has lain vacant since it was completed a number of years ago. The proposal would be compatible with the surrounding land uses whilst providing the benefits of natural surveillance in the local area, improving the external appearance of the site whilst providing sufficient car parking for the users of the building.

The proposal complies with policy and is recommended for approval subject to conditions.

Representation and Consultation Annex

Representations

Letters:- one letter has been received on behalf of the Army Reserve Centre on the opposite side of Nelson Street which raises the following concerns/issues:

The planning application that I faxed over earlier creates some issues for us here at Bolton due to the Terrorist threat being Severe and not looking likely to drop in the near future. You must take into consideration that we always plan for worst case scenario and that is why some of the points are raised.

- The Reserve centre is a target and having accommodation opposite puts the occupants health and safety at risk.
- Occupants who live in the building on the side facing the Reserve centre will have 24/7 over watch and will be able to document the arrival and departure times of all personnel along with their VRN's.
- The Caretaker could be constantly under observation.
- We house 3 Cadet detachments who between them attend the Reserve centre every night of the week. Having occupants in the building opposite will increase the risk to the safety of the children whilst in attendance and also when outside waiting for their parents.
- Occupants and their visitors to the building will be moving around frequently and this will make it harder for us to identify who potentially is observing us and not visiting the flats.
- Parking could be an issue, if enough parking is not provided from the occupants and their visitors, the overspill could mean that people start to park up against the fence of the Reserve centre as the pavement is very wide. This cannot be allowed to happen as it represents a very serious security threat to us and the police could be called out and potentially leading to the road being closed off until the car is identified and moved. "

Site history:

A full planning application for the proposed mixed use of building for office (b1a use) and short term accommodation for up to 34 homeless persons was refused planning permission in May 2014 under delegated powers (Ref: 90951/13).

The proposal is for a predominantly residential use at an allocated employment site which is compatible with residential amenity and is capable of contributing to the sustainability of the community in which it is situated and the proposal is therefore contrary to Policy P1 of Bolton Core Strategy.

The proposal seeks to provide significantly more accommodation than is currently or likely to be required within the Borough and will therefore need to import significant numbers of occupants from other geographical areas and it therefore represents a community facility that is not located within the neighbourhood that it would serve, contrary to Policy SC2 of Bolton's Core Strategy.

The proposal represents an unacceptable concentration of one particular type of occupant without acceptable safeguards in place and would not contribute to reducing crime and the fear of crime or protecting safety and security and is therefore contrary to Policies SO9, S1 and CG4 of Bolton's Core Strategy.

Recommendation: **Approve subject to conditions**

Recommended Conditions and/or Reasons

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason

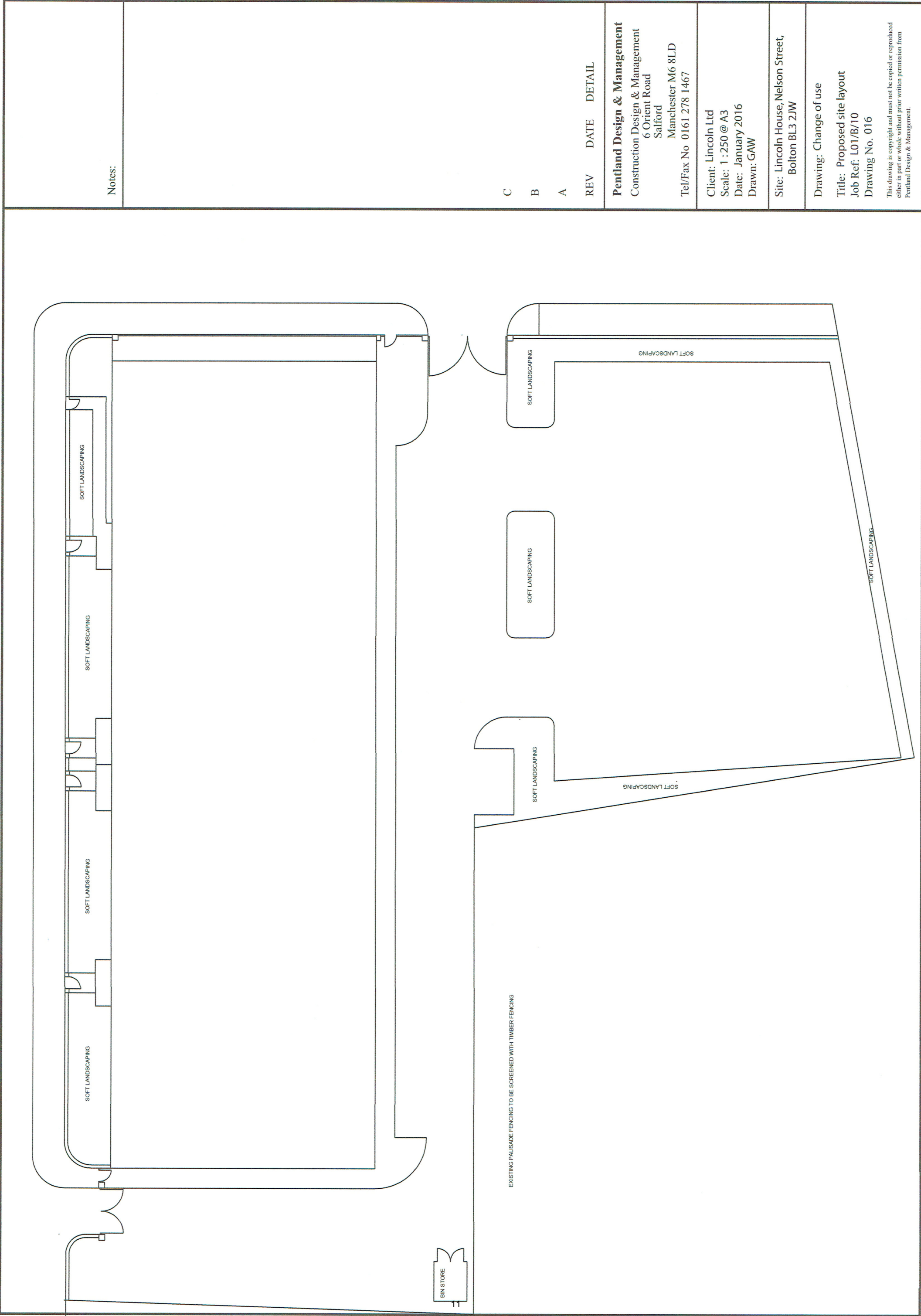
Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in complete accordance with the following approved plans:

Drawing 015 - Typical Part Floor Layout
Drawing 016 - Proposed Site Layout amendment.

Reason

For the avoidance of doubt and in the interests of proper planning.



Notes:

C
B
A

REV DATE DETAIL

Pentland Design & Management
Construction Design & Management
6 Orient Road
Salford
Manchester M6 8LD
Tel/Fax No 0161 278 1467

Client: Lincoln Ltd
Scale: 1 : 250 @ A3
Date: January 2016
Drawn: GAW

Site: Lincoln House, Nelson Street,
Bolton BL3 2JW

Drawing: Change of use

Title: Proposed site layout
Job Ref: L01/B/10
Drawing No. 016

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Notes:

C
B
A

REV DATE DETAIL

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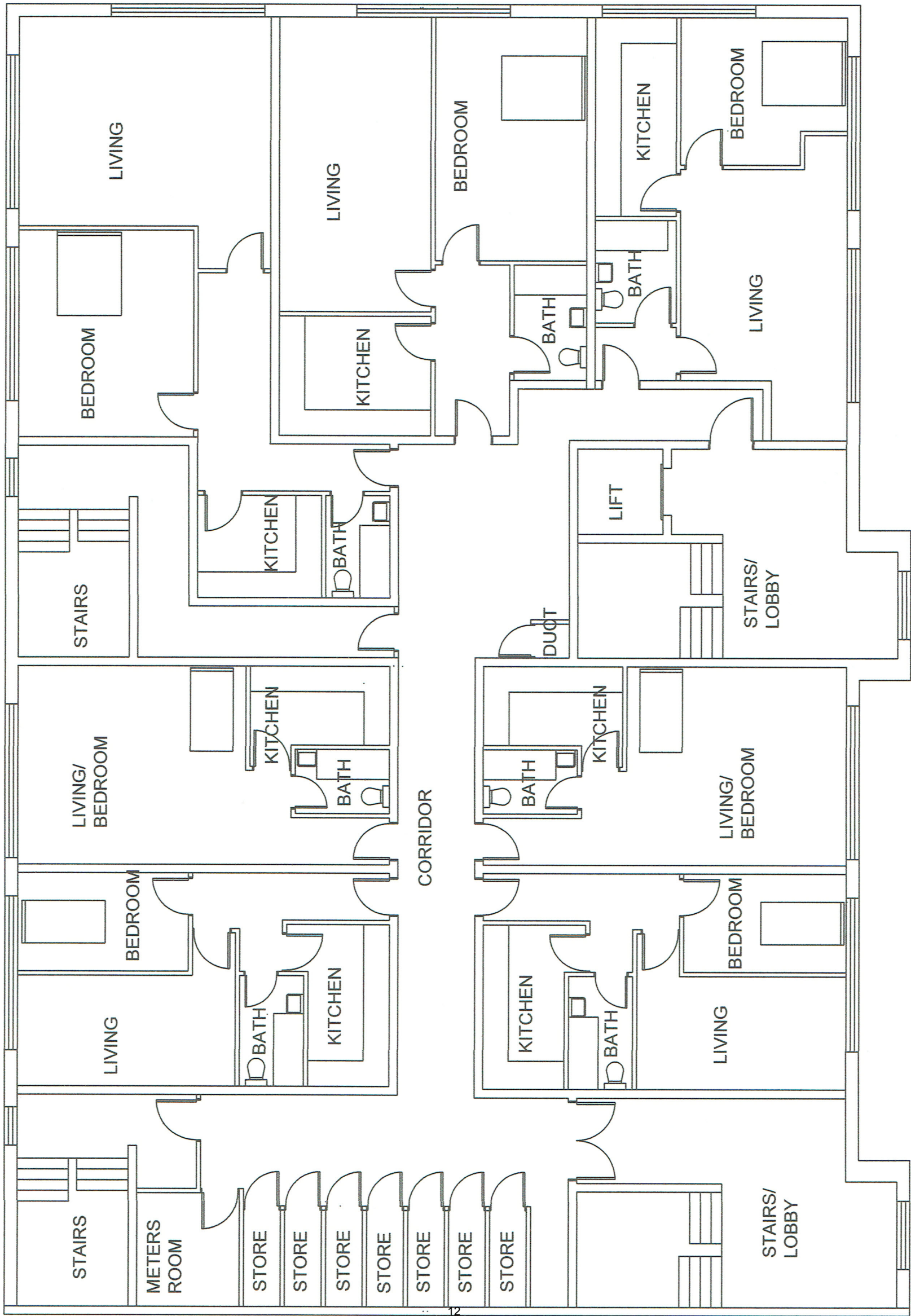
Client: Lincoln Ltd.
Scale: 1:100 @ A3
Date: January 2016
Drawn: GAW

Site: Lincoln House, Nelson Street,
Bolton BL3 2JW

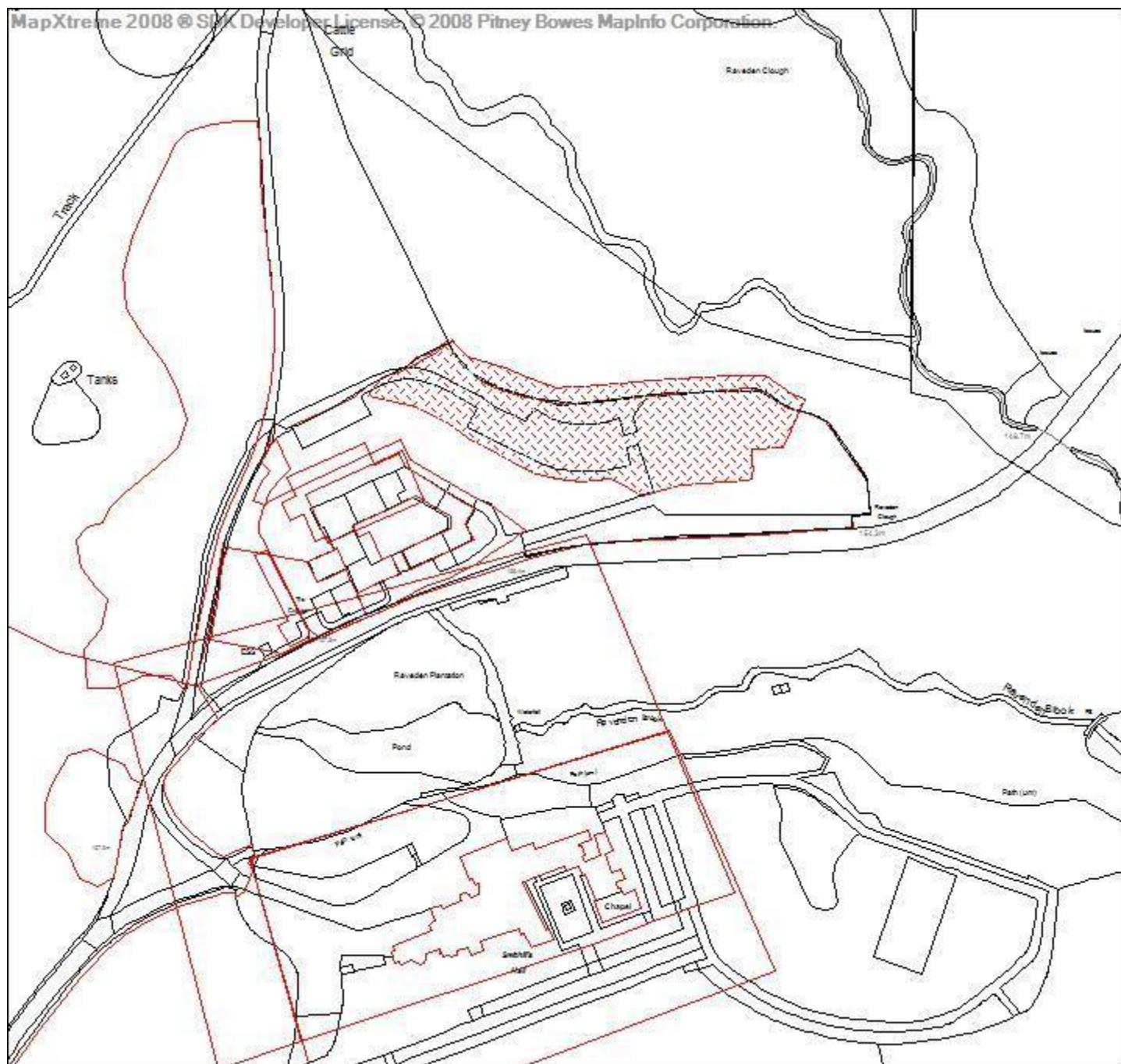
Drawing:

Title: Typical partial floor layout
Job Ref: L01/B/10
Drawing No. 015

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Application number 94113/15



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Bolton Council

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Date of Meeting: 10/03/2016

Application Reference: 94113/15

Type of Application: Full Planning Application

Registration Date: 26/05/2015

Decision Due By: 24/08/2015

Responsible Officer: Helen Williams

**Location: SMITHILLS COACHING HOUSE, SMITHILLS DEAN ROAD,
BOLTON, BL1 7NX**

**Proposal: SUBSTITUTION OF HOUSE TYPES AND AMENDED LAYOUT ON
APPLICATION 88290/12 (PLOTS 17-26)**

Ward: Smithills

Applicant: P E Jones (Contractors) Limited

Agent :

Officers Report

Recommendation: Approve subject to conditions

Proposal

When this application was first submitted last year, permission was being sought for the substitution of house types at plots 17 to 26 along with the erection of two additional dwellings. The applicant has now amended their plans so that they are now no longer proposing the two additional dwellings. The application therefore before Committee is only for the substitution of house types at plots 17 to 26.

Plots 17 to 26 are 10 of the 21 new dwellings approved at the Smithills Coaching House development, under application 88290/12.

The proposed amendments are summarised as follows:

Plot 17

Plot 17 was originally approved as a two storey, 4 bedroom, detached dwelling with an attached garage at the rear, which was to face the rear of the coaching house. It is now proposed to replace this dwelling with a "Hamilton" house type, which is a 5 bedroom detached dwelling with two flat roof dormer windows to the front to provide accommodation within the roofspace, and to site this dwelling so the front elevation faces the access road to the north west (and the side elevation now faces the rear of the coaching house). A detached garage is also proposed to the rear of the dwelling, which will be served by a previously approved driveway of the road to the north west of the development.

Plots 18 to 20

Plots 18 to 20 were proposed to be of the same design as plot 17. These dwellings are also now proposed to be replaced with "Hamiltons", increasing them from 4 bedroom to 5 bedroom properties

with two dormer windows at the front.

Garage block for plots 18 to 20

The garage for plots 18 to 20 is now to be accessed directly off the internal road, rather than via a driveway around the side and back of the building as originally approved. The replacement garage is therefore to be sited further back from the road than the previously approved garage and will now present its frontage (garage doors) to the street scene rather than a brick rear elevation. Parapets to the gabled sides of the building are also proposed, as are surface parking spaces to the front of the garage building.

Plots 21 to 25

Plots 21 to 25 were originally approved as 4 bedroom, three storey, town houses with integral garages at ground floor level, a Juliet balcony at first floor and a piked gable feature over one of the second floor windows. These five dwellings are to be replaced with "Chester" houses, which are also 4 bedroom, three storey, town houses with integral garages, but without the piked gable features and with narrower Juliet balcony windows and a band coarse at second floor level.

Plot 26

Plot 26 was originally approved as a two storey, 3 bedroom, detached dwelling. This is now to be replaced with a two storey, 4 bedroom, detached dwelling with two flat roof front dormers and a pitched roof rear dormer (to allow for additional bedroom space within the roof).

Site Characteristics

The application site comprises the area of the former car park where plots 17 to 26 have been approved (under planning application 88290/12). The application site is at a higher level than the coaching house to the south west. To the immediate north of the site is ancient woodland (Ravenden Clough), which is also a Biodiversity Action Plan (BAP) habitat.

Smithills Coaching House is a Grade II listed building. The building dates from 1874-78 and was built in a late medieval style in a small courtyard plan. It is a single storey building, made of stone and half-timbered materials, with gables, steeply pitched flagged roofs and diagonally clustered chimneys. The old coachman's cottage adjoins on the west. The lower part of the building is stone with mullioned windows, the upper storey is timber with quatrefoil patterning. The coaching house was formerly used as a restaurant but has now been converted into nine dwellings (following planning approvals 88290/12 and 92061/14 and the associated listed building consents).

Plots 9 to 16 and the garages for the nine coaching house dwellings are currently being constructed in an arc formation around the north and west of the coaching house.

The application site, along with the rest of the wider development, is located within the Green Belt and the Grade II listed Smithills Country Park.

To the south of the application site (beyond the access road to Smithills Open Farm, Harricraft Farm and Harricraft Cottages, and beyond Ravenden Plantation and Ravenden Brook) is Smithills Hall, a Grade I listed building (with gardens) dating back to the early 15th Century. The Victorian coaching house originally provided stabling for the Hall.

Policy

National Planning Policy Framework (NPPF): Particularly sections 9 - Protecting Green Belt land and 12 - Conserving and enhancing the historic environment.

Core Strategy Policies: P5 Transport and Accessibility; S1 Safe Bolton; CG1 Cleaner and Greener

Bolton; CG3 The Built Environment; CG4 Compatible Uses; SC1 Housing; OA5 North Bolton.

Allocations Plan Policies: CG7AP Green Belt.

SPD General Design Principles

Analysis

Section 38 of the Planning and Compulsory Purchase Act 2004 requires applications to be determined in accordance with policies in the Development Plan unless material considerations indicate otherwise.

Applications which are not in accordance with Development Plan policies should be refused unless material considerations justify granting permission.

Similarly, proposals which accord with Development Plan policies should be approved unless there are material considerations which would justify a refusal of permission.

It is therefore necessary to decide whether this proposal is in accordance with the Development Plan and then take account of other material considerations.

The main impacts of the proposal are:-

- * impact on the setting of the Grade I listed Smithills Hall and the Grade II Smithills Coaching House
- * impact on the Grade II Registered Park and Garden
- * impact on the purposes and openness of the Green Belt
- * impact on the adjacent woodland
- * impact on biodiversity
- * impact on the highway

Impact on the Setting of the Grade I Listed Smithills Hall and the Grade II Smithills Coaching House

Section 12 of the National Planning Policy Framework (NPPF) concerns conserving and enhancing the historic environment. Paragraph 132 of the NPPF states that, when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation. The more importance the asset, the greater the weight should be. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. As heritage assets are irreplaceable, any harm or loss should require clear and convincing justification.

In line with paragraph 128 of the NPPF, the applicant has submitted a heritage statement with their application which describes the significance of the heritage assets affected.

Policy CG3 of the Core Strategy states that the Council will conserve and enhance local distinctiveness, ensuring development has regard to the overall built character and landscape quality of the area, and will require development to be compatible with the surrounding area, in terms of scale, massing, grain, form, architecture, street enclosure, local materials and landscape treatment. Policy CG3.4 states that the Council will conserve and enhance the heritage significance of heritage assets and heritage areas, recognising the importance of sites, areas and buildings of archaeological, historic, cultural and architectural interest and their settings.

Policy OA5.8 of the Core Strategy states that the Council will conserve and enhance the character of the existing physical environment, especially conservation area, the historic listed Smithills Hall and

park and the historic townscape cores.

The plots subject to this latest planning application are ten of the 21 plots/residential units that were approved in 2013 (under application 88290/12) as "enabling development", to allow for the future conservation (that is, the residential conversion) of Smithills Coaching House. It was justified by the applicant at that time (and accepted by Committee Members) that the conversion of the coaching house would not be viable without the building of at least 21 new dwellings. It was also accepted by officers and Members that the benefits of retaining and reusing the coaching house would outweigh the harm caused to the setting of the adjacent listed buildings and to the purposes and openness of the Green Belt.

This current planning application only seeks to redesign ten of the previously approved houses on the former car park, sited to the north east of the coaching house. Planning permission has therefore already been granted for ten houses within the application site, and therefore it is considered that it would be unreasonable for the local planning authority to revisit the principle of allowing these dwellings.

Impact on the setting of Smithills Hall

It was noted during the determination of the original application that the new dwellings sited around the coaching house will be visible from the Grade I hall and that the new residential development will compromise the historic spatial and visual relationship between the hall and the wider Smithills estate. The visual impact between Smithills Hall and the new dwellings at plots 17 to 26 will however be to a lesser degree during summer months when the trees within Ravenden Plantation are in full leaf and therefore will provide more screening.

Whilst the replacement dwellings proposed at plots 21 to 25 will be the same scale and height as those previously approved (though staggered in height/finished floor level to follow the existing slope of the site), the dwellings now proposed at plots 17 to 20 and at plot 26 will have ridge heights 0.4 metres and 1.4 metres higher (respectively) than previously approved, to accommodate additional bedrooms within the roofspace. Flat roof dormer windows are now also proposed within the front roof planes, though plot 17 will be sited side on to the hall. There is potential that the redesign of plots 17 to 20 and 26 will be more visible from Smithills Hall during winter months given the increase in height and added bulk by way of the dormers, however it is not considered that this difference would be any more harmful to the relationship with and setting of Smithills Hall than the approved development.

Impact on the setting of Smithills Coaching House

It was also recognised during the determination of application 88290/12 that the close proximity of the new dwellings to the coaching house, the suburban character of the dwellings and their siting and number, and the clear views of the development in conjunction with the coaching house would substantially harm the setting and significance of the Grade II listed coaching house.

It was also noted by the Council's conservation adviser during the determination of 88290/12 that the new dwellings to the rear of the coaching house would create "an inappropriate commanding backdrop" to the Grade II listed building. This situation is improved slightly by the resiting of plot 17, so that it is now sited side on to the coaching house rather than having its front elevation overlooking the conversion, and therefore being less dominant in its siting. Plots 18 to 20 may be more prominent when viewed in conjunction with the coaching house from the south owing to the introduction of the front dormers, but again it is not considered that the proposed relationship will be any more harmful than the previously approved scheme. The trees between the north eastern side of the coaching house and plots 17 to 20 will be retained and therefore some screening will be afforded.

The proposed redesign of the dwellings results in them being less 'detailed', with the removal of the piked gabled features over the top storey windows and the reduction in width of the Juliet balconies at plots 21 to 25, but the dwellings will still retain a suburban appearance, out of character with their setting. The introduction of dormer windows to the front roof planes of plots 17 to 20 and 26 are not considered to improve the appearance of the dwellings (from those previously approved), but it is noted that they are to reflect the flat roof dormers incorporated within the coaching house conversion. Again, it is not considered that the proposed amendments to the design of the dwellings would have any greater harm on the setting and significance of the Grade II coaching house than the previously approved scheme.

Historic England and the Council's conservation adviser have been consulted on this application. Historic England have stated that they do not wish to offer any comment on the application. The Council's conservation adviser has verbally advised that the 21 dwellings already approved around the coaching house and on the former car park will harm the setting and significance of the Grade II listed building and that the proposed amendments will not materially change this harm. Any further, formal comments from the conservation adviser will be reported at the meeting.

It is therefore considered that the proposed replacement dwellings at plots 17 to 26 of the development will not have a greater harm on the setting and significance of Smithills Hall and Smithills Coaching House than the previously approved dwellings.

Impact on the Grade II Registered Park and Garden

Paragraph 132 of the NPPF states that significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. It continues that substantial harm or loss to a grade II listed building, park or garden should be exceptional.

Policy CG3.4 states that the Council will conserve and enhance the heritage significance of heritage assets and heritage areas, recognising the importance of sites, areas and buildings or archaeological, historic, cultural and architectural interest and their settings. Policy CG3.7 states that the Council will maintain and respect the landscape character of the surrounding countryside and its distinctiveness.

Policy OA5.8 of the Core Strategy states that the Council will conserve and enhance the character of the existing physical environment, especially conservation area, the historic listed Smithills Hall and park and the historic townscape cores.

Permission has already been granted for the development of 13 dwellings on the former car park, which though previously developed remained an open space within the Smithills estate. The current proposal only seeks to replace ten of these dwellings with ten replacement dwellings. The proposed development will therefore not further compromise the setting or significance of the registered park and garden than the previous approved development.

Impact on the Purposes and Openness of the Green Belt

Section 9 of the NPPF concerns protecting Green Belt land. It states that the Government attaches great importance to Green Belts. The fundamental aim of Green Belt policy is to prevent urban sprawl by keeping land permanently open; the essential characteristics of Green Belts are their openness and their permanence. Inappropriate development is, by definition, harmful to the Green Belt and should not be approved except in very special circumstances. When considering any planning application, local planning authorities should ensure that substantial weight is given to any harm to the Green Belt. Very special circumstances will not exist unless the potential harm to the Green Belt by reason of inappropriateness, and any other harm, is clearly outweighed by other considerations.

Allocations Plan Policy CG7AP reflects national Green Belt guidance and states that the Council will not permit inappropriate development in the Green Belt.

The erection of new dwellings in the Green Belt is, by definition, inappropriate development. The 21 houses to be erected around the coaching house have already been approved under planning approval 88290/12 as they were considered to be "enabling development" and it was judged that the harm caused to the purposes and openness of the Green Belt (by the principle of erecting the dwellings, along with their number, scale and siting) would be outweighed by the benefits of approving the scheme.

This current planning application does not increase the number of houses proposed; it only proposes the redesign of ten of the dwellings on the former car park area. The purposes of the Green Belt is therefore not further harmed by the application proposal.

The ten dwellings subject to this application are to be confined within the previously approved development site on a similar footprint, so there is no further encroachment into the surrounding Green Belt. Plot 17 is to be resited so that its front elevation faces north west rather than south west and the heights of plots 17 to 20 and plot 26 are to be increased slightly, but these amendments are not considered to harm the openness of the Green Belt any further than the previously approved dwellings given backdrop of woodland to the immediate north of the site.

For these reasons, it is not considered that the current proposal harms the purposes and openness of the Green Belt to any further material affect than the previously approved dwellings.

Impact on the Adjacent Woodland

Policy CG1.1 of the Core Strategy states that the Council will safeguard and enhance the rural areas of the borough from development that would adversely affect its biodiversity including trees, woodland and hedgerows, geodiversity, landscape character, recreational or agricultural value.

Ravenden Clough to the immediate north of the application site is an ancient woodland.

Following initial comments from the Council's Tree Officers, the proposed siting of plots 17 to 20 have been amended (the houses have been sited further forward in their plots) to improve clearance from the woodland to the rear.

The Tree Officers have commented that the paths to the rear of plots 21 to 25 will need to be constructed using a "no dig methodology" and that the surface should be permeable, as they have been moved closer to the woodland.

The Forestry Commission has also commented that the scale of the proposal is such that there will be no effect on the woodland.

It is considered that the proposed amendments will safeguard the adjacent woodland, compliant with Policy CG1.1 of the Core Strategy.

Impact on Biodiversity

Policy CG1.1 of the Core Strategy states that the Council will safeguard and enhance the rural areas of the borough from development that would adversely affect its biodiversity.

The Council's Greenspace Officers have confirmed that the proposed amendments should not have any significant further impact upon biodiversity in the area. It is therefore considered that the

proposal complies again with Policy CG1.1 of the Core Strategy.

Impact on the Highway

Policy P5 of the Core Strategy states that the Council will ensure that developments take into account [amongst other things] servicing arrangements and parking, in accordance with the parking standards set out in Appendix 3. Policy S1.2 states that the Council will promote road safety in the design of new development.

The same number of parking spaces are proposed for plots 17 to 26 as previously approved under application 88290/12. Plots 17 to 20 and 26 are to be increased in size with an additional bedroom, however it is considered that the proposed parking provision (at least two spaces per dwelling) remains sufficient. The Council's Highways Engineers have also raised no objections to the amendments.

It is therefore considered that the proposal complies with Policies P5 and S1.2 of the Core Strategy.

Other matters

No public rights of way are affected by the proposal (none run through or adjacent the application site).

The Council's Drainage Officers and the Environment Agency have raised no objection to the proposal.

Conclusion

For the reasons discussed above it is considered that the proposed substitution of house types at plots 17 to 26 would not have a greater harm on the setting of Smithills Hall, Smithills Coaching House or Smithills Country Park than the previously approved dwellings, and would not harm the purposes or openness of the Green Belt in this location to a greater extent than the previously approved dwellings. It is also considered that the proposal would safeguard the adjacent woodland, would safeguard biodiversity and would not jeopardise highway safety. Members are therefore recommended to approve this application.

Representation and Consultation Annex

Representations

Letters:- Six letters of objection have been received, which raise the following concerns:

- * Three storey houses are unsuitable to the location;
- * Impact on the setting of Smithills Hall; Would further ruin the view from Smithills Hall;
- * It is inappropriate development in the Green Belt;
- * Inappropriate development next to a listed historical park;
- * Light pollution during winter months will have a detrimental effect on Smithills Hall;
- * The drainage has not been upgraded enough for all these properties and the roads are not up to all the traffic.

The following concerns specifically referred to the original proposal of introducing two additional dwellings within the development, and therefore they are no longer applicable to the amended proposal:

- * Jones Homes not achieving the profit they originally expected on the development does not justify granting further planning consent; The fact that Jones Homes need extra income to refurbish the coaching house should have absolutely nothing to do with this application;
- * The development should have been costed properly in the first place and it should not be the local residents paying for it in loss of local amenity;
- * Cannot believe that Jones Homes are making a loss on this site and it is just an excuse to increase the density of housing on the site;
- * Jones Homes have already increased the number of apartments in the coaching house to nine;
- * Extra properties on the site will make it very cramped;
- * The development will be an even bigger blot on the landscape;
- * More houses would increase the problem of additional traffic on Smithills Dean Road.

Elected Members:- Cllr. Roger Hayes asked for the application (when the proposal also included the erection of two additional dwellings) to be heard before Committee.

Consultations

Advice was sought from the following consultees: The Council's Conservation Adviser, Tree Officers, Greenspace Officers, Highways Engineers, Drainage Officers, Public Rights of Way Officers, Pollution Control Officers, Corporate Property Officers, Historic England, Historic England Parks and Gardens, Victorian Society, The Garden History Society, Greater Manchester Archaeological Advisory Service, the Environment Agency, Greater Manchester Ecology Unit, Forestry Commission, Woodland Trust, CPRE Lancashire, Greater Manchester Police and United Utilities.

Planning History

Permission was granted in October 2014 for the substitution of house types for plots 9 and 10 on application 88290/12 (92427/14).

Planning application 92061/14 and listed building consent application 92062/14 for an amendment to application 88290/12 to enable the subdivision of unit 5 into two units (5a and 5b) was approved in August 2014.

Permission was granted in May 2014 for amendments to 88290/12 and 88293/12 (unit 1-4 and 6-8), alterations and repositioning of roof lights, dormer windows, stone window reveals, omission of lead clad to units 1-8, together with other minor alterations (91640/14).

Permission was granted in March 2013 for the residential conversion of the coach house restaurant to 8 dwellings (including partial demolition and alterations) together with the erection of 21 dwellings, including access, parking, landscaping and associated works affecting the setting of the Grade I Smithills Hall and registered park and garden (88290/12).

Listed building consent application 88293/12 accompanied application 88290/12 and was also approved in March 2013.

Recommendation: Approve subject to conditions

Recommended Conditions and/or Reasons

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason

Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2. Prior to the commencement of development of any works on site, the developer shall submit a method statement detailing how the following elements of the site will be constructed without causing harm or damage to the protected trees found on the site to the Local Planning Authority. The specified areas are:

* The footpath to the rears of plots 21 to 24

No development or site clearance shall take place until the Local Planning Authority has agreed the measures in writing, and these measures shall then be implemented fully in accordance with the approved details.

Reason

To ensure the safe development of the site and favourable retention of trees, and to comply with Policy CG1.1 of the Core Strategy.

3. Prior to the commencement of development the details (samples if required) of the type and colour of materials to be used for the external walls and roof to be agreed with the Local Planning Authority. The approved materials shall be implemented in full thereafter.

Reason

To ensure the development reflects local distinctiveness and to comply with policy CG3 of Bolton's Core Strategy.

4. Prior to the commencement of development a detailed specification for all doors and windows shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be implemented in full before the development is first occupied and retained thereafter.

Reason

To ensure the development reflects local distinctiveness and to comply with Policies CG3 and OA5 of Bolton's Core Strategy.

5. Before the approved development is commenced details of the existing and proposed

ground levels within the site and on adjoining land including spot heights, cross sections and finished floor levels of all buildings and structures shall be submitted to and approved in writing by the Local Planning Authority. The approved details shall be implemented in full and retained thereafter.

Reason

To safeguard the visual appearance and or character of the area and to comply with Policies CG3 and OA5 of Bolton's Core Strategy.

6. Trees and shrubs shall be planted on the site in accordance with drawing reference 301-01; "Soft Landscape Proposals"; dated 21 January 2016 prior to the development being first brought into use. The approved scheme shall be implemented in full and carried out within 6 months of the occupation of any of the buildings or the completion of the development, whichever is the sooner, or in accordance with phasing details included as part of the scheme and subsequently approved by the Local Planning Authority. Any trees and shrubs that die or are removed within five years of planting shall be replaced in the next available planting season with others of similar size and species.

Reason

To reflect and soften the setting of the development within the landscape and to comply with Policy CG3 of Bolton's Core Strategy.

7. Prior to the development being first occupied the treatment to all boundaries to the side (as approved in drawing reference) shall be implemented in full, unless otherwise agreed in writing with the Local Planning Authority, and retained thereafter.

Reason

To ensure adequate standards of privacy and amenity are obtained and the development reflects the landscape and townscape character of the area and in order to comply with policies CG3 and CG4 of Bolton's Core Strategy.

8. No building hereby permitted shall be occupied until the surface water drainage scheme for the site has been completed fully in accordance with the approved details. The drainage scheme shall be managed and maintained thereafter in accordance with the approved management and maintenance plan. The approved drainage scheme was approved under application 88290/12 and is shown on the approved drawing PM4325/004 Rev. C; "Private Drainage Plan"; dated Sep 2013, PM4325/005; "Private Drainage Details"; dated Jul 2013 and the calculation sheets dated 23 April 2013 submitted for approval 88290/12.

Reason

To ensure the site provides satisfactory means of surface water drainage and to comply with Policy CG1.5 of Bolton's Core Strategy.

9. The construction of the dwellings hereby approved shall be carried out in accordance with the details approved within the Amphibian Reasonable Avoidance Measures Method Statement (2013) by CES Ecology and dated April 2013, approved within application 88290/12.

Reason

In the interests of species protection, and to comply with Policy CG1.1 of Bolton's Core Strategy.

10. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any Order revoking, re-enacting or modifying that Order) no extensions, porches, garages, outbuildings, sheds, decking, greenhouses, oil tanks, hardstandings, dormers or any other alterations to the roof (other than those expressly authorised by this permission) shall be constructed.

Reason

The site lies within the Green Belt and further extensions could prejudice the aims and purposes of the Green Belt, contrary to Bolton's Allocations Plan Policy CG7AP, and to safeguard the character and appearance of the dwellings and to comply with Policy CG3 of Bolton's Core Strategy.

11. The development hereby permitted shall be carried out in complete accordance with the following approved plans:

SCH-P-011 Rev. N; "Site Plan (Proposed)"; dated 14.01.15
SCH-P-GAR1; "Garages plot 18-20 Planning Drawing"; dated 24/03/15
SCH-P-22 Rev. F; "Boundary Treatment Plan"; dated 11/12/14
SCH-P-LIGHT-01 Rev. E; "Site Plan Streetlighting"; dated 23/12/14
1106-SCP-02; "Streetscenes & Block Plans Plots 21-25"; dated 28/07/15
HAM-P-01; "The Hamilton - Plots 17-20 Planning Drawing"; dated 19/01/16
HUX_2.5_EXT-P-01; "The Huxley (Extended 2.5 version) Plot 26 - Planning Drawing"; dated 19-01-16
301-01; "Soft Landscape Proposals"; dated 21 January 2016
CW/6547-P-TP-4; "Tree Protection Plan"; dated 19 January 2016

Reason

For the avoidance of doubt and in the interests of proper planning.

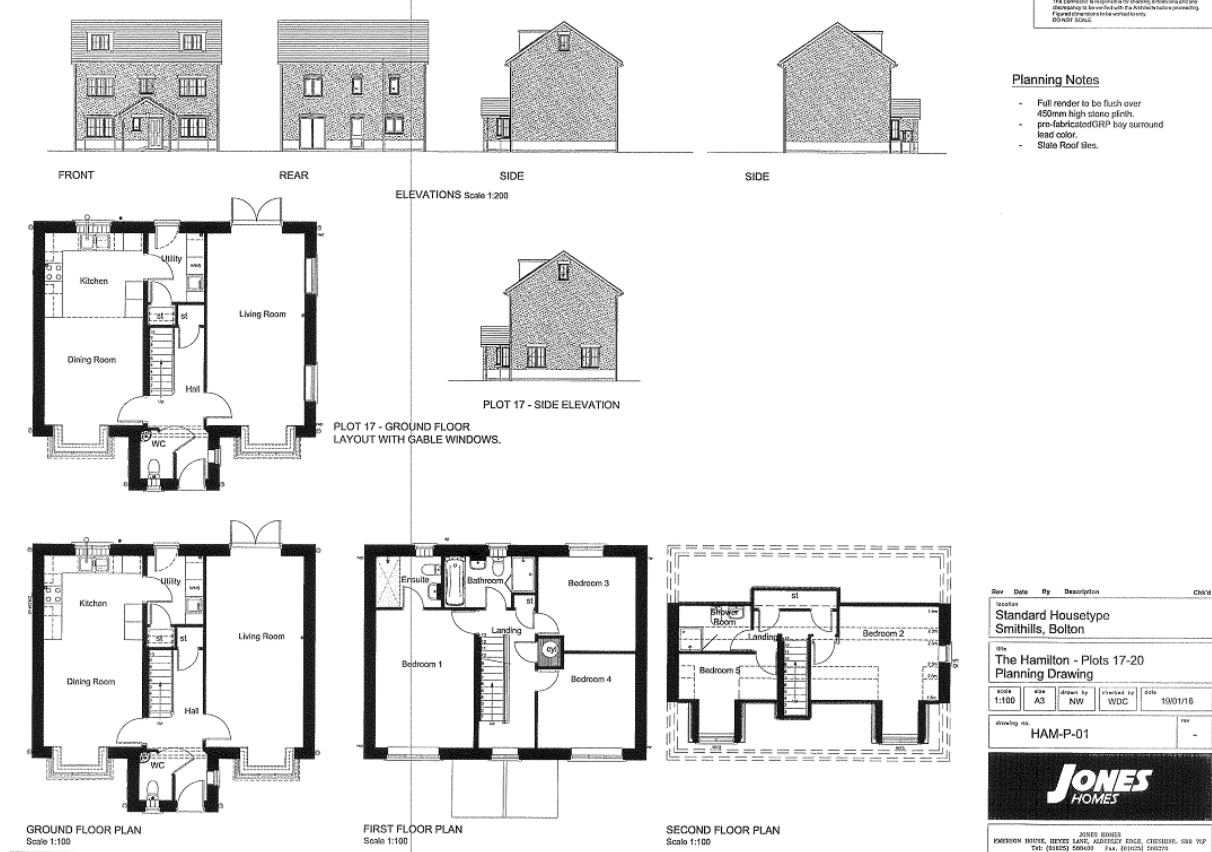
Proposed site layout



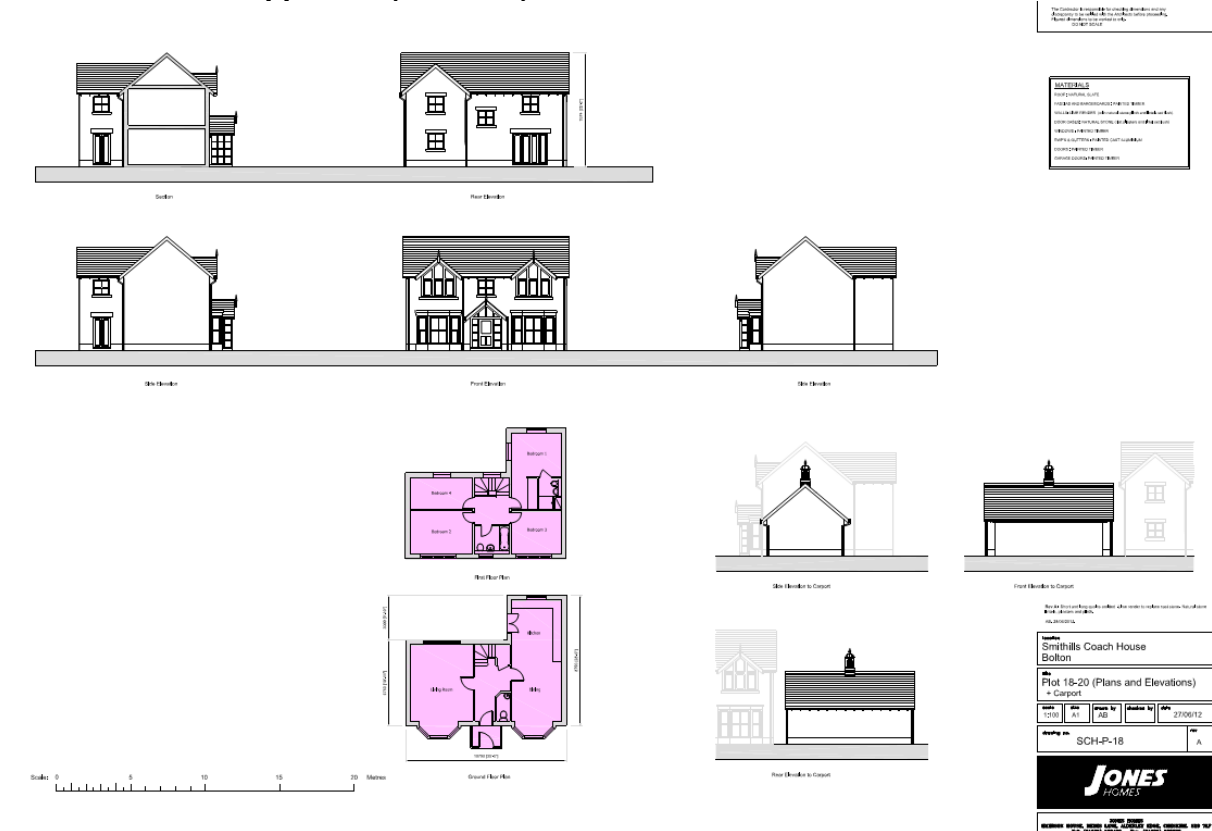
Approved site layout (88290/12)



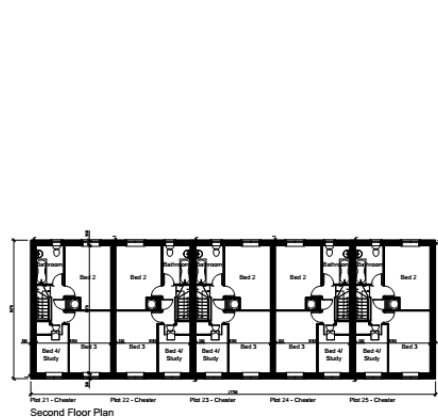
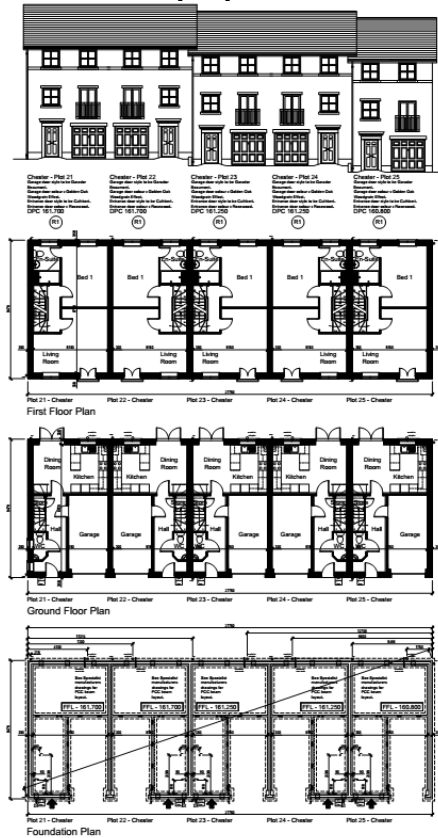
Plots 17 to 20 as proposed



Plots 17 to 20 as approved (88290/12)



Plots 21 to 25 as proposed

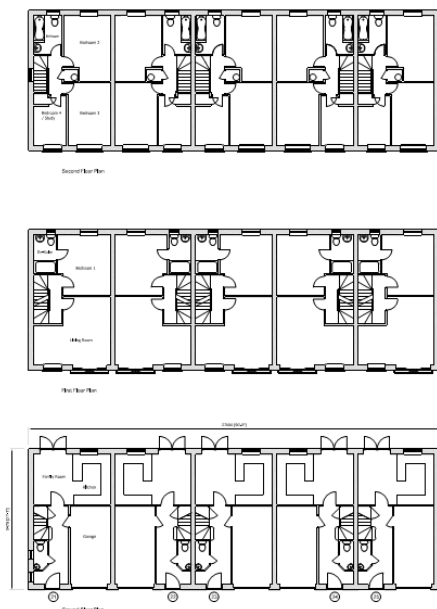


The Contractor is responsible for checking dimensions and any discrepancy is to be notified with the Architects before proceeding. Figured dimensions to be worked to only. 1:20 NOT SCALE.

Smithills Coach House Bolton	
Streetscenes & Block Plans Plots 21 - 25	
Scale 1:100	Drawn by JH
Check by WCC	Date 28/07/15
Project no. 1106-SCP-02	
<small>RESIDENTIAL DEVELOPMENT, 100% FINANCED BY JONES HOMES, 100% SECURED BY JONES HOMES, 100% GUARANTEED BY JONES HOMES</small>	

REVISIONS SCHEDULE	
No.	Description
1	Initial Design
2	Revised Design
3	Final Design

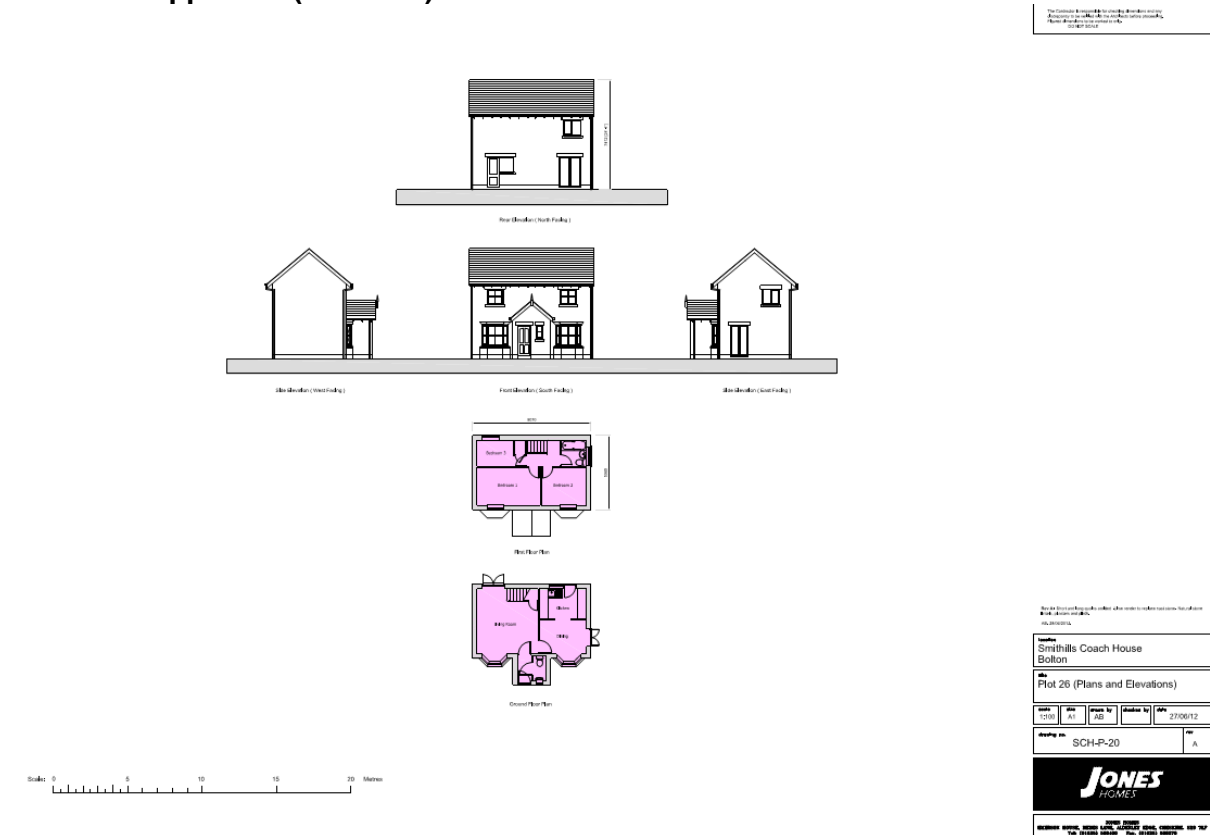
Plots 21 to 25 as approved (88290/12)



The Contractor is responsible for checking dimensions and any discrepancy is to be notified with the Architects before proceeding. Figured dimensions to be worked to only. 1:20 NOT SCALE.

Smithills Coach House Bolton	
Plots 21 - 25 (Plans and Elevations)	
Scale 1:100	Drawn by JH
Check by WCC	Date 27/06/12
Project no. SCH-P-19	
<small>RESIDENTIAL DEVELOPMENT, 100% FINANCED BY JONES HOMES, 100% SECURED BY JONES HOMES, 100% GUARANTEED BY JONES HOMES</small>	

Scale: 0 5 10 15 20 Metres



Application number 94460/15



Development & Regeneration Dept
Development Management Section

Town Hall, Bolton, Lancashire, BL1 1RU
Telephone (01204) 333 333

Bolton Council

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Date of Meeting: 10/03/2016

Application Reference: 94460/15

Type of Application: Full Planning Application

Registration Date: 24/06/2015

Decision Due By: 18/08/2015

Responsible Officer: Paul Bridge

Location: LAND OFF ROCK TERRACE, EGERTON, BOLTON, BL7 9HA

Proposal: ERECTION OF ONE DETACHED DWELLING WITH ATTACHED DOUBLE GARAGE AND ASSOCIATED LANDSCAPING

Ward: Bromley Cross

Applicant: Mr Gregory

Agent : The Intelligent Design Centre

Officers Report

Recommendation: Approve subject to conditions

Proposal

The application proposes the erection of a two storey dwelling on a plot of land which forms part of Cox Green Quarry and Stonemasons Yard, Bromley Cross.

The proposal would be sited towards the north eastern boundary of the site adjacent to the rock face. The proposed dwelling itself has been designed with sustainability at the forefront, therefore it will be zero carbon producing, it will utilise as many sustainable materials as possible in its construction. Facing materials proposed would be stone (from the quarry) for the elevations interspersed with Corten steel panels. The roofing will be a combination of built-in photovoltaic panels, waterproof membrane and large areas of a green sedum roof. The siting of the building will ensure that the building sits low on the site thus minimising its impact in terms of bulk on the wider open setting.

The external area of the site will remain predominantly unaffected by the development and no trees would be lost in order to accommodate the proposal.

The proposed development will include comprehensive hard & soft landscaping to enhance the setting of the building and encourage the visual softening of the building's form over time. The applicant has stated that it is the intention to re-create the natural topography of the area and maintain its existing wild and unkempt nature as much as possible. The reason for this is to provide continuity of visual aesthetic with the surrounding fields so that the building appears set into the existing site with the external areas unaffected by its introduction.

Access to the site would be via Cox Green Road.

Site Characteristics

The application site forms part of the former Cox Green Quarry and Stonemasons Yard. The site is allocated as 'Other Protected Open Land' and is bounded to the north by Cox Green Road (pedestrianised section), to the west by woodland and to the south by housing fronting rock terrace. Beyond Cox Green Road to the north is a large area of Green Belt. In addition, the application site is located directly adjacent to and includes a small part of the Cox Green Quarry Site of Biological Importance (B40), which is noted Grade A for Lowland Heath, Acid Grassland and Broadleaf Woodland components. These habitats are also Section 41 habitats considered of principle importance for the purpose of conserving biodiversity under the Natural Environment & Rural Community Act 2006. The landscape is generally open and wild in character with a number of small buildings in various states of disrepair populating the site. Properties within the wider vicinity consist of a mix of design and materials.

Policy

National Planning Policy Framework 2012

Core Strategy (CS) Policies: P5 Accessibility and Transport; S1 Safe Bolton; CG1.1 Biodiversity in Rural Areas; CG1.5 Reduce Risk of Flooding; CG2 Sustainable Design and Construction; CG3 The Built Environment; CG4 Compatible Uses; SC1 Housing; OA5 North Bolton.

Allocations Plan Policies: CG6AP Other Protected Land

SPD Accessibility, Transport and Safety; SPD General Design Principles

Analysis

Section 38 of the Planning and Compulsory Purchase Act 2004 requires applications to be determined in accordance with policies in the Development Plan unless material considerations indicate otherwise.

Applications which are not in accordance with Development Plan policies should be refused unless material considerations justify granting permission.

Similarly, proposals which accord with Development Plan policies should be approved unless there are material considerations which would justify a refusal of permission.

It is therefore necessary to decide whether this proposal is in accordance with the Development Plan and then take account of other material considerations.

The main impacts of the proposal are:-

- * principle of the development
- * impact on the character and appearance of the area
- * impact on residential amenity
- * impact on parking, access and highway safety
- * impact on the environment

Principle of the development

At the heart of national policy within the NPPF is a presumption in favour of sustainable development. The NPPF maintains the importance of supporting sustainable economic development and delivering homes (paragraph 17). The NPPF sets out a presumption in favour of sustainable development.

Paragraph 55 of the NPPF states that to promote sustainable development in rural areas, housing

should be located where it will enhance or maintain the vitality of rural communities. For example, where there are groups of smaller settlements, development in one village may support services in a village nearby. Local planning authorities should avoid new isolated homes in the countryside unless there are special circumstances such as:

- the essential need for a rural worker to live permanently at or near their place of work in the countryside; or
- where such development would represent the optimal viable use of a heritage asset or would be appropriate enabling development to secure the future of heritage assets; or
- where the development would re-use redundant or disused buildings and lead to an enhancement to the immediate setting; or
- *the exceptional quality or innovative nature of the design of the dwelling. Such a design should:*
 - *be truly outstanding or innovative, helping to raise standards of design more generally in rural areas;*
 - *reflect the highest standards in architecture;*
 - *significantly enhance its immediate setting; and*
 - *be sensitive to the defining characteristics of the local area”.*

Paragraph 56 of the NPPF highlights that good design is a key aspect of sustainable development and is indivisible from good planning. Permission should be refused for poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions.

In addition, Policy CG6AP of the Allocations Plan generally reflects the wording of the NPPF in this respect, in that it states that the Council will permit development proposals within the defined areas of Protected Open Land shown on the Proposals Map, provided that they fall within one or more of the following categories:

1. The development represents limited infilling within an established housing or industrial area, is in scale with it and would not adversely affect its character or surroundings; or
2. It forms part of, and is required for, the maintenance of an existing source of employment; or
3. *The development requires a location outside the urban area, but is inappropriate within the Green Belt, and providing it maintains the character and appearance of the countryside; or*
4. The development would be appropriate within the Green Belt.

Where new buildings are permitted they should be sited to form a group with existing buildings wherever possible. In cases where this is not possible, buildings, car parking areas and any other new structures should be sited where they will be well screened and unobtrusive in the landscape. *All buildings and extensions should be of a high standard of design, using materials that are compatible with the landscape.*

In summary, using national planning guidelines, there are a number of principal situations whereby normal policy restraints may be overcome so as to secure planning permission for open countryside housing, one of which is where the dwelling would be of exceptional quality or innovative design.

The applicant in support of the application has submitted an innovation statement to demonstrate the proposals innovative features and high quality of design. The proposal aims to deliver a high quality working building through the creative use of renewable materials. In particular stone excavated from the site will be re-used on various parts of the building, e.g. cladding, and floor finishes. The building would be constructed using a timber frame system with deconstructable joints so that they can be potentially re-used at a later date. The proposed dwelling would also comprise of a sedum roof system which is a 'green living roof' which has a number of environmental benefits, including reducing water run off, noise reduction, thermal insulation, habitat for animals and plants whilst also improving the buildings aesthetics. Externally the building will have a natural stone finish interspersed with Corten steel panel and internally the building will utilise recycled partitions and would be zero carbon.

Given the above it is considered the proposal is of exceptional quality and would sensitively integrate itself into the landscape (a disused quarry) rather than imposing itself on it. This area of Bromley Cross is not an area blessed with many examples of outstanding design and the proposed dwelling has taken account of good practice in terms of sustainability and energy conservation.

In addition, whilst the site is relatively isolated and therefore not readily visible to the public, if seen they would be able to appreciate the nature of the design and attain an understanding of what directions house building might need to take in order to confront the challenge of climate change. On balance and for the reasons stated above, the Local Planning Authority conclude that because of the exceptional quality and innovative design of the proposal, the approach to energy conservation and the treatment of the grounds, the proposal would be consistent with paragraph 55 of the NPPF and policy CG6AP of the Allocations Plan. The principle of the proposal is therefore considered acceptable in this case.

Impact on the character and appearance of the area

As stated early in the appraisal Paragraph 55 of the National Planning Policy Framework 2012 and policy CG3 of the Bolton Core Strategy are particularly relevant in this case.

The proposed dwelling would be sited towards the north eastern boundary of the site adjacent to the rock face with access to the site being off Cox Green Road. The proposed development is considered to be of an exceptionally high quality design which is innovative in its nature and by virtue of the fact that there are also few paragraph 55 attributed dwellings nationally and even less in the north of England.

The design is unique to this site and incorporates the natural environment as part of its overall concept, is rare and again unique to the north of England and more particularly the north west region thus it can reasonably be judged, subjectively of course, as an outstanding example of modern design incorporating the most modern technology in its aims regarding sustainability around use of energy. The dwelling using stone from the quarry and Corten steel panels would harmonise well with the colour of the trees and quarry face when viewed from such a distance which would render the building almost invisible unless approaching along the access road. The proposal would deliver a high quality working building through the creative use of renewable materials. The building would be constructed using a timber frame system with deconstructable joints so that they can be re-used at a later date. The dwelling would also comprise of sedum roof system which is a 'green living roof'. Internally the building will utilise recycled partitions and would be zero carbon.

Given the above it is considered the proposal is of exceptional quality and sensitively integrates itself into the landscape (an unused quarry) rather than imposing itself on it.

A condition requesting a detailed landscape design and future management plan has also been attached.

On the basis of the above, the design of the proposal in respect of its size, design, scale and massing is considered to be acceptable, predominantly by virtue of the exceptional design of the proposed dwelling. The innovative approach of ensuring that the dwelling is zero carbon is also afforded significant weight in this case. Therefore, the proposed development is considered to be in accordance with policies CG3 and OA5 of the Core Strategy and relevant paragraphs within the NPPF.

Impact on residential amenity

The thrust of policy CG4 of the Core Strategy which relates to new development is to provide potential users and neighbours with a satisfactory level of amenity in terms of space, sunlight, daylight, privacy, aspect and layout.

With regards to the future occupants of the dwelling, all the habitable room are served by adequately sized windows which would ensure that the proposed development of would provide adequate residential amenity for the future occupants of the dwelling.

Given the sites isolated location in respect of the nearest residential dwellings, which are located approximately 40m away to the south, it is considered that the proposed dwelling would not result in an unacceptable impact in respect of loss of light privacy and being overbearing in accordance with policy CG4.

Impact on parking, access and highway safety

Core Strategy policy S1.2 seeks to promote road safety in the design of new development. Core Strategy policy P5 seeks to ensure that development is accessible by different types of transport, prioritising pedestrians, cyclists and public transport over the motorised vehicle. Appendix 3 provides guidance on parking standards.

Access to the site would be via the existing well established access road off Cox Green Road. The proposal incorporates ample garaging and on site parking for a number of vehicles and would generate negligible volume onto the surrounding highway network. Highways have been consulted and have no objections to the proposal subject to a number of conditions. The proposal is therefore compliant with policies P5 and S1.2 of the Core Strategy.

Impact on the environment

Core Strategy policy CG2 seeks to ensure that new residential development proposals of 5 or more residential units are built to (a) achieve a Level 3 of the Code for Sustainable Homes, (b) reduce carbon dioxide emissions from the dwellings and (c) a reduction in surface water run-off from the development.

Drainage

The application site is not located within a critical drainage area or Flood Risk 2 or 3 areas. The applicants have not advised how the foul sewage will be disposed, but have stated that the surface water run off will be disposed of via a soakaway. The Council's Drainage Engineers have been consulted and have advised that there appears to be a lack of public sewers in the area where the dwelling is to be built and a lack of other drainage features e.g. watercourses, which could be utilised for discharge purposes. It is therefore unclear where the applicant is intending to discharge to. Given the above, a number of conditions have been attached to ensure adequate details for the drainage systems for both foul and surface water are submitted and approved prior to the commencement of the development.

It is considered that with the imposition of conditions that the development would accord with policy CG2 of the Core Strategy.

Noise and Air Quality

Given the location of the proposal in a predominantly residential area it is not considered there will be any unacceptable impact on the potential future occupiers of the site from neighbouring uses.

Contaminated Land

The site lies on a disused Quarry and stonemasons yard. Given the sensitive end use of the development the Councils Environmental Health Team have requested a condition be attached to ensure that a Preliminary Risk Assessment to assess the actual and/or potential contaminations risks within the site has been submitted to the Local Planning Authority prior to the commencement of the development.

Sustainability

The applicants have in their design and access statement stated that the developer seeks to contribute to the delivery of sustainable development by incorporating high standards on sustainable design and construction. The new dwelling has been designed and constructed to achieve Code 6 of the Code for Sustainable Homes and therefore be zero carbon. It is noted that the Code for Sustainable Homes was withdrawn in 2015 and replaced with the new optional technical housing standards. The applicant has indicated that the development would incorporate a series of design principles to maximize energy efficiency including: -

- Improved building fabric over and above the Building Regulation minimum requirements, including high specification glazing;
- Reduced air permeability over minimum required standards;
- Efficient heating services and control systems (time and temperature controls);
- Energy efficient lighting;
- Rainwater harvesting.

Officers are satisfied that the approach taken by the applicant in respect carbon technologies within the development is acceptable. In addition, it is noted the development would far exceed the carbon dioxide savings required under Part L Building regulations, through the incorporation of energy efficiency design solutions. It is considered that the approach taken to providing high levels of energy efficiency is considered acceptable and in accordance with the NPPF and policy CG2 of the Core Strategy.

Subject to the necessary planning conditions it is considered that the proposal would comply with policy.

Ecology and Biodiversity

The NPPF incorporates measures to conserve and enhance the natural and local environment, including 'Biodiversity and Geological Conservation'. Paragraph 118 of the NPPF requires that in determining planning applications the following principles are applied to conserve and enhance biodiversity:-

- ☐ Significant harm resulting from a development should be avoided, adequately mitigated, or, as a last resort compensated for; and
- ☐ Opportunities to incorporate biodiversity in and around developments should be encouraged.

It is considered the ecological impacts of the development of the scheme are considered below:-

i. Impacts on Habitats

The site is located directly adjacent to the Cox Green Quarry Site of Biological Importance B40 which

is noted Grade A for Lowland Heath, Acid Grassland and Broadleaf Woodland components. These habitats are also Section 41 habitats considered of principle importance for the purpose of conserving biodiversity under the Natural Environment & Rural Community Act 2006. The landscape is generally open and wild in character. The Council's Tree and Woodland officer and Greater Manchester Ecology Unit has offered no objections on the impact of the proposal on the SBI, however, given the end use and that the site will become a dwelling house a condition has been attached restricting the extensions or alteration of the proposed house and also the erection of any additional outbuildings within the site.

ii. Impacts on protected and priority species.

The applicants have submitted an Ecology report (Great Crested Newt Survey) prepared by Pennine Ecological dated May 2013. The SBI supports a range of important habitats and an important population of the protected species great crested newt. The Greater Manchester Ecology Unit have reviewed the report and accept the findings of the ecology survey and assessment that the pond within the site and the immediately surrounding habitat are unlikely to support great crested newts. Nevertheless because of the high population of newts within the quarry proper on the opposite side of Cox Green Road there is a possibility that newts could stray into any construction area and be harmed by works. A Condition to prevent harm to great crested newts during the construction phase have been attached.

iii. Impact on Nesting Birds

Site clearance during the breeding season has the potential to damage or destroy bird nests, which would constitute an offence under the Wildlife and Countryside Act 1981 (as amended). GMEU therefore indicate that no vegetation clearance required by the proposal must not begin if nesting birds are present on site and should occur outside the bird nesting season (March to July inclusive). A planning condition has been attached to ensure this.

iv. Japanese Knotweed

Japanese knotweed has been identified on parts of the application site. Under the terms of the Wildlife and Countryside Act 1981 (as amended) it is an offence to cause this plant to grow in the wild. The Council's Wildlife officer has recommended that a method statement be prepared giving details of measures to be taken to control this plant during the course of any approved development. A condition has been attached to ensure this is carried out.

v. Trees

No trees will be affected or felled in order to accommodate the proposal. The Council's Tree and Woodlands officers have assessed the proposal and has no objections to the proposal, subject to any trees within the site being adequately fenced off during construction.

Given, the above and subject to appropriate conditions being attached the proposal is considered to be in accordance with Policy CG2 of the Core Strategy.

Conclusion

The site is located in a sustainable location, with access to local amenities. The adverse impacts of the proposed development have been considered, assessed and weighed against the benefits of the scheme. It is considered that the impacts associated with the proposed development can be largely mitigated through the use of planning conditions where necessary. It is not considered that the adverse impacts would significantly and demonstrably outweigh the benefits of the development, when considered in the current context. The overall conclusion is that the key material considerations in relation to proposal, justify the site for development. Development of the site represents an opportunity to provide housing in a sustainable location. The proposal is therefore in accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004. Members are

recommended to be minded to approve the proposal.

Representation and Consultation Annex

Representations

Letters:- one letter of objection and one letter with general comments has been received from a property within the immediate area and who have raised the following concerns:-

The site has suffered from very poor drainage and another major issue is the effect that any building and hard landscaping would have on surface run off and drainage into the surrounding area.

The above issue has been addressed in the appraisal.

Consultations

Advice was sought from the following consultees: Highways, Environmental Health, Landscape Development and Design, Trees and Woodlands, Drainage, Greater Manchester Ecology Unit, Economic Strategy, Environment Agency and GMP Design for Security.

Planning History

None Relevant.

Recommendation: Approve subject to conditions

Recommended Conditions and/or Reasons

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason

Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2. The site shall be treated in accordance with a landscape scheme, which shall be submitted to and approved in writing by the Local Planning Authority before development is started. Such scheme shall include full details of trees and shrubs to be planted/removed, walls, fences, boundary and surface treatment and shall be carried out within 12 months of the commencement of development. Any trees or shrubs dying within five years of planting shall be replaced with the same species within twelve months.

Reason

To safeguard the amenity of the area, and to comply with policies CG3 and OA5 of Bolton's Core Strategy.

3. Prior to the commencement of development and to ensure that the proposed development makes a satisfactory contribution to the preservation and enhancement of the visual amenities of the locality. Details of the arrangements to ensure the continued maintenance of all landscaped areas (in conjunction with condition 2 of this approval) within the development shall be submitted to and approved in writing by the Local Planning Authority before any part of the approved development is commenced.

Reason

To ensure that the landscaping carried out is properly maintained on land within the development to the satisfaction of the Local Planning Authority, and to comply with policies CG3 and OA5 of Bolton's

Core Strategy.

4. Prior to the commencement of development the details samples if required of the type and colour of materials to be used for the external walls, roof, windows and doors to be agreed with the Local Planning Authority. The approved materials shall be implemented in full thereafter.

Reason

To ensure the development reflects local distinctiveness and to comply with policy CG3 of Bolton's Core Strategy.

5. No development hereby approved shall be started until all trees within (or overhanging) the site with the exception of those trees clearly shown to be felled (in conjunction with condition 4), have been surrounded by substantial fences which shall extend to the extreme circumference of the spread of the branches of the trees (or such positions as maybe agreed in writing by the Local Planning Authority). Such fences shall be erected in accordance with a specification to be submitted to and approved in writing by the Local Planning Authority and shall remain until all development is completed and no work, including any form of drainage or storage of materials, earth or topsoil shall take place within the perimeter of such fencing.

Reason

To safeguard the amenity, appearance and character of the area in accordance, and to comply with policy CG1.1 of Bolton's Core Strategy.

6. Prior to the commencement of development, or phase of development, hereby approved a detailed method statement for the removal or long-term management /eradication of Japanese knotweed on the site shall be submitted to and approved in writing by the Local Planning Authority. The method statement shall include proposed measures to prevent the spread of Japanese knotweed during any operations such as mowing, strimming or soil movement. It shall also contain measures to ensure that any soils brought to the site are free of the seeds/root/stem of any invasive plant covered under the Wildlife and Countryside Act 1981. Development shall proceed in accordance with the approved method statement.

Reason

Japanese knotweed is an invasive plant, the spread of which is prohibited under the Wildlife and Countryside Act 1981. Without measures to prevent its spread as a result of the development there would be the risk of an offence being committed and avoidable harm to the environment occurring.

7. Prior to the commencement of development hereby approved:-

1. A Site Investigation report shall be submitted to and approved in writing by the Local Planning Authority. The investigation shall address the nature, degree and distribution of land contamination on site and shall include an identification and assessment of the risk to receptors focusing primarily on risks to human health and the wider environment; and

2. The details of any proposed Remedial Works shall be submitted to, and approved in writing by the Local Planning Authority. Such Remedial Works shall be incorporated into the development during the course of construction and completed prior to occupation of the development; and

3. A Verification Report shall be submitted to, and approved in writing by, the Local Planning Authority. The Verification Report shall validate that all remedial works undertaken on that phase were completed in accordance with those agreed by the LPA. The development shall be implemented in accordance with the approved details.

Reason

In the interests of public safety and to comply with policy CG4.3 of Bolton's Core Strategy.

8. Prior to the commencement of any development, details of the foul drainage scheme shall be submitted to and approved in writing by the Local Planning Authority. Foul shall be drained on a

separate system. No building shall be occupied until the approved foul drainage scheme has been completed to serve that building, in accordance with the approved details. This development shall be completed maintained and managed in accordance with the approved details.

Reason

To ensure foul water from the site is adequately drained and to comply with policy CG1.5 of Bolton's Core Strategy.

9. Prior to the commencement of development surface water drainage works should be implemented in full in accordance with details that have been submitted to and approved in writing with the Local Planning Authority. Before these details are submitted an assessment shall be carried out of the potential for disposing of surface water by means of a sustainable drainage system in accordance with the principles set out in the National Planning Policy Framework, and the results of the assessment provided to the Local Planning Authority. Where a sustainable drainage system is to be provided, the submitted details shall:

- 1) Provide information about the design storm period and intensity, the method employed to delay and control the surface water discharged from the site and the measures taken to prevent pollution of the receiving groundwater and/or surface waters.
- 2) Include a timetable for its implementation, and
- 3) Provide a management and maintenance plan for the lifetime of the development which shall include the arrangements for adoption by any public authority or statutory undertaker and any other arrangements to secure the operation of the scheme throughout its lifetime

Reason

To ensure the site provides satisfactory means of surface water drainage and to comply with policy CG1.5 of Bolton's Core Strategy.

10. Notwithstanding the approved plans and before the approved development is first brought into use no less than 3 car parking spaces with minimum dimensions of 2.5 metres by 5.5 metres shall be provided within the curtilage of the site, details of which are to be submitted to and approved by the Local Planning Authority. Such spaces shall be made available for the parking of cars at all times the premises are in use.

Reason

To ensure that adequate provision is made for vehicles to be left clear of the highway and to comply with policy P5 and Appendix 3 of Bolton's Core Strategy.

11. Prior to the development hereby approved being first occupied, a scheme detailing how parts of the site to be used by vehicles are to be laid out, constructed, surfaced (using permeable materials), drained and lit shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be implemented in full and thereafter made available for the use of vehicles at all times the development is in use.

Reason

To encourage drivers to make use of the parking and circulation area(s) provided and to reduce the risk of flooding, and to comply with policies P5 and CG1.5 of Bolton's Core Strategy.

12. The garages hereby approved shall be made available at all times for the parking of motor vehicles.

Reason

The loss of garage spaces would be likely to lead to an increase in on-street parking to the general detriment of highway safety and in order to comply with policy P5 and Appendix 3 of Bolton's Core Strategy.

13. The development hereby permitted shall be carried out in complete accordance with the following approved plans:

14076-01 - Site Survey dated May 2015
14076-02 - Plans as Proposed dated May 2015
14076-04 - Elevations as Proposed dated May 2015
14076-05 - Site Layout dated May 2015
14076-06 - White Elevations dated May 2015
14076-07 - Existing Site Buildings June 2015
14076-08 - Location Plan dated dated 24.06.2015
14076-09 - Block Plan dated June 2015

Reason

For the avoidance of doubt and in the interests of proper planning.

14. Notwithstanding the provisions of the Town and Country (General Permitted Development Order) 2015 (or any order and re-enacting that Order with or without modification), no development of the types described in Part 1, Classes A, B, D and E of Schedule 2 of that Order shall be undertaken without the express permission of the Local Planning Authority.

Reason

To safeguard the amenity of the area and to comply with policies CG3 and OA5 of Bolton's Core Strategy and policy CG6AP of Bolton's Allocations Plan.

15. Development shall not take place other than in accordance with the exact recommendations in sections 4.2 of the Ecology report (Great Crested Newt Survey) prepared by Pennine Ecological dated May 2013.

Reason

To safeguard the habitats of protected species and to comply with policy CG1 of Bolton's Core Strategy.

16. No tree felling or vegetation clearance shall take place within the optimum period for bird nesting (March to July inclusive) unless nesting birds have been shown to be absent by a suitably qualified ecologist.

Reason

To protect and prevent unnecessary disturbance of nesting birds and to comply with policy CG1.1 of Bolton's Core Strategy.

Notes

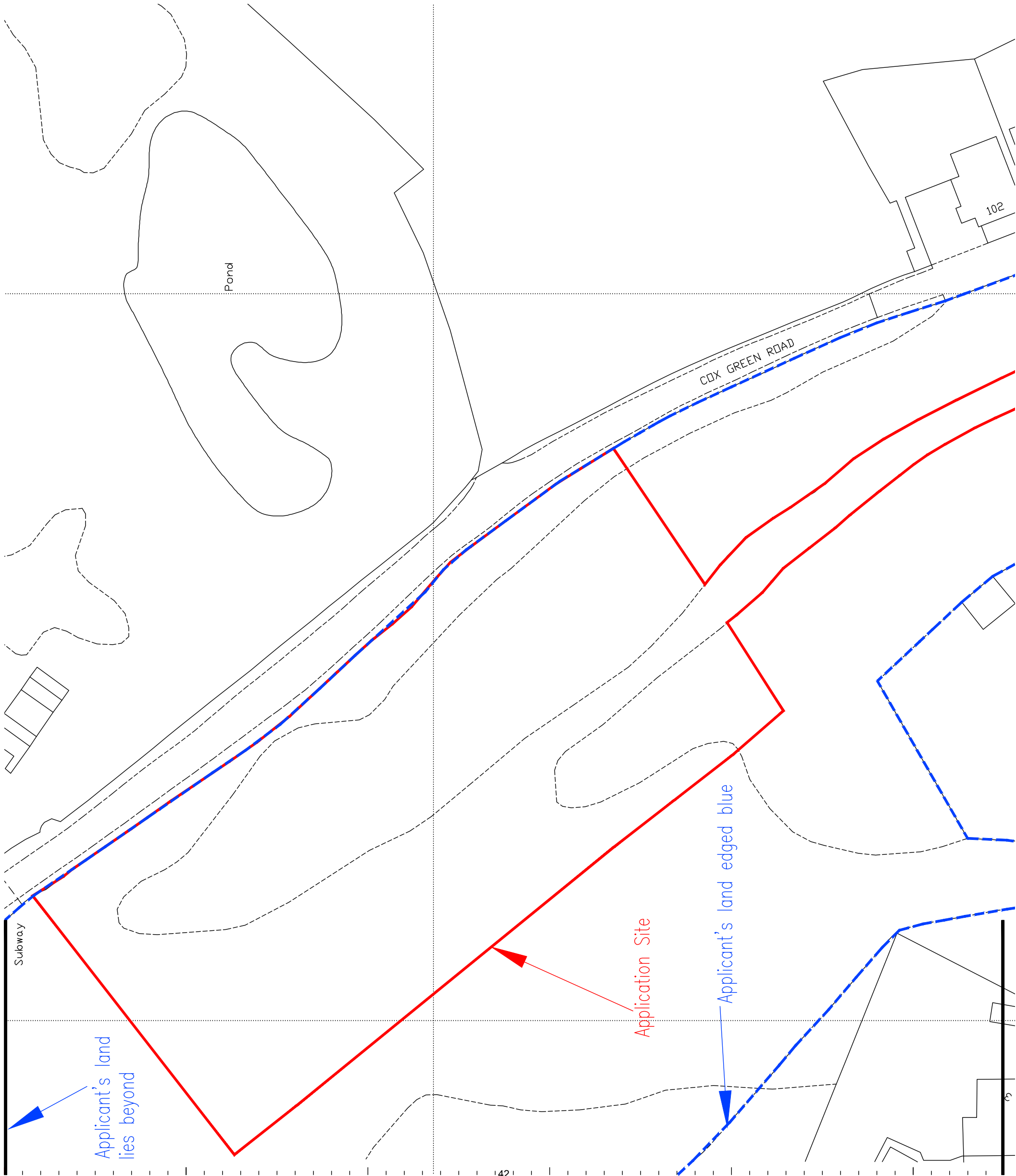
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Rev	Date	Drawn by	Comments

Client

Mr & Mrs H Gregory

Project

Stone Masons Yard

Drawing
Block Plan
Date June 2015
Drawn by OS
Scales 1:1250 @ A3

Job No - Dwg No - Rev

14076 - 09



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Part structure remaining

1938
1910

1930
1938
1910

Part structure remaining

1930

Part structure remaining

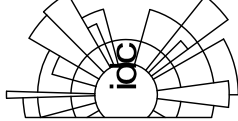
Part structure remaining

1938

Part structure remaining

1938

Cox Green Road



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Rev Date Drawn by Comments

Client

Mr and Mrs H Gregory

Project

Stone Mason's Yard

Drawing
Existing Site Buildings

Date
June 2015

Scales

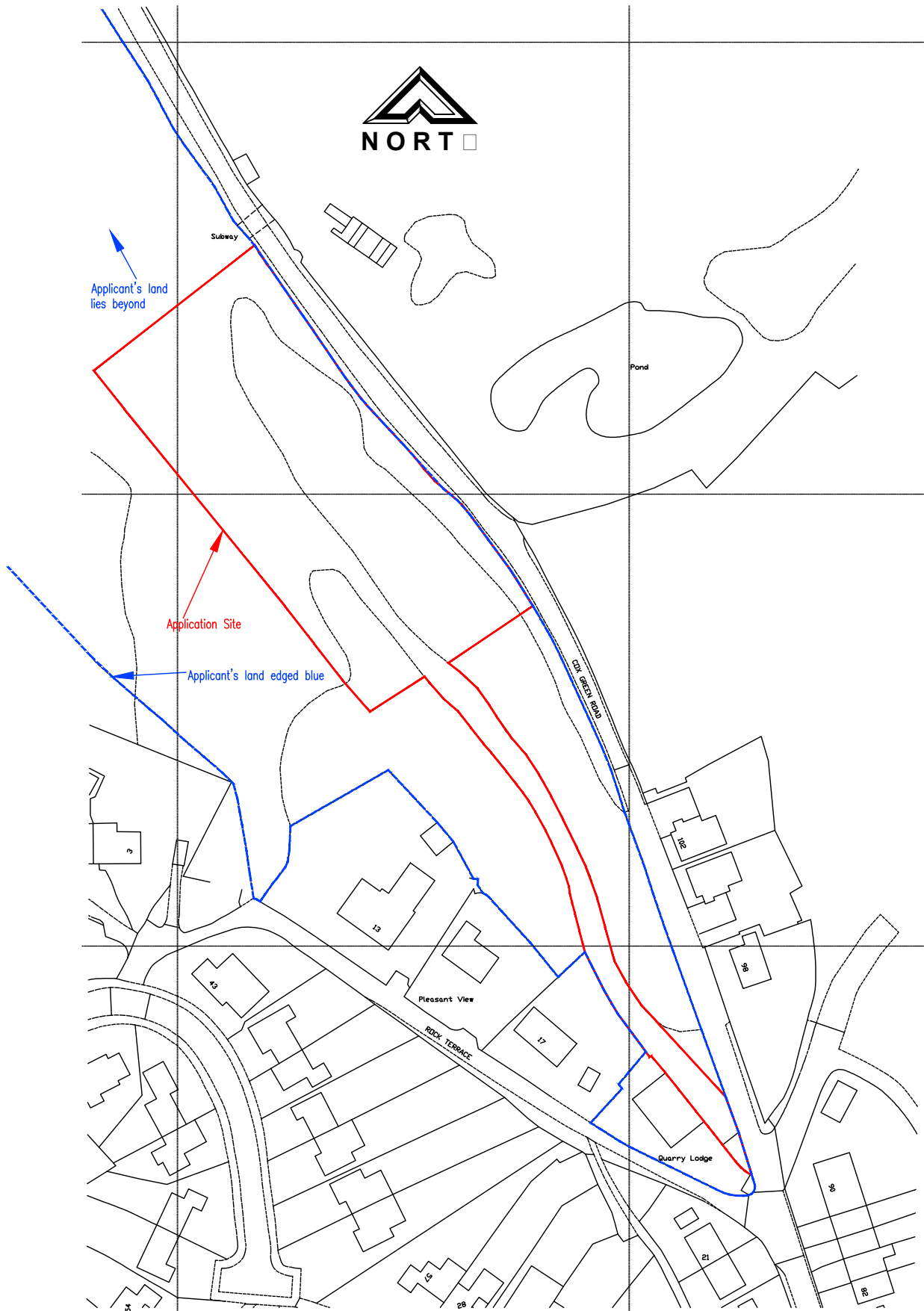
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Drawn by

JNP / SA

Job No - Draw No - Rev

14076 - 07 -



Client
Mr & Mrs Gregory

Project

Stone Merchants Yard

Drawing
Location Plan

Date
24-06-2015

Job No - Dwg No - Rev

14076 - 08

Drawn by
OS

Scales
1:1250 @ A4



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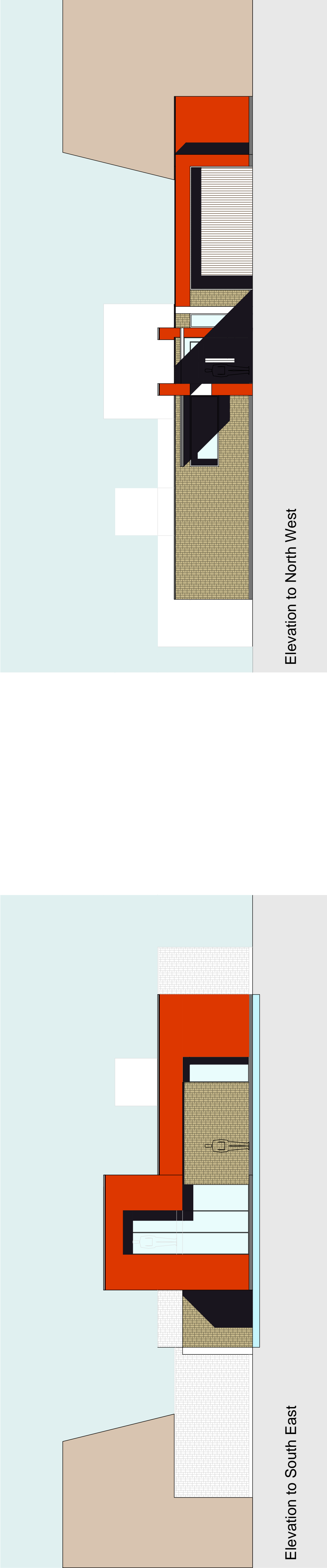
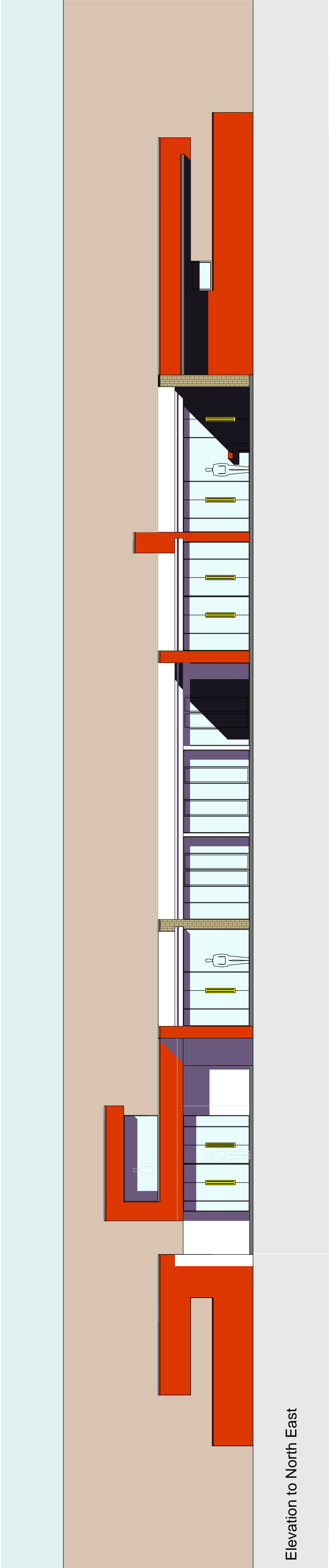
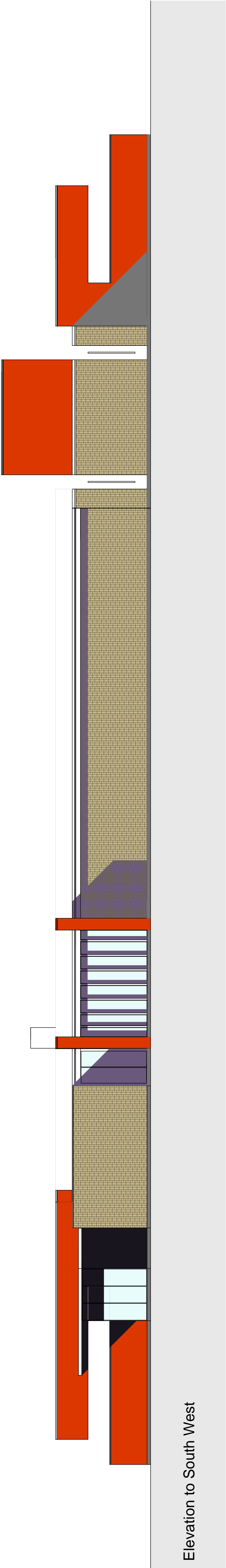
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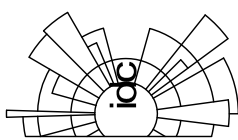
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Rev	Date	Drawn by	Comments
Client			
Mr and Mrs H Gregory			
Project			
Stone Mason's Yard			
Drawing			
Elevations as Proposed			
Date	May 2015	Drawn by	Scales
		JNP / SA	May 2015
Job No - Desg No - Rev			
14076 - 04 -			



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Ground Floor Plan

Roof and Second Floor Plan

Rev Desc Drawn By Comments

Client Mr and Mrs H Gregory

Project Stone Mason's Yard

Drawing Plans as Proposed

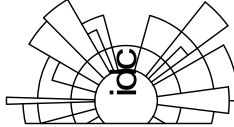
Date May 2015

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14076 - 02 -



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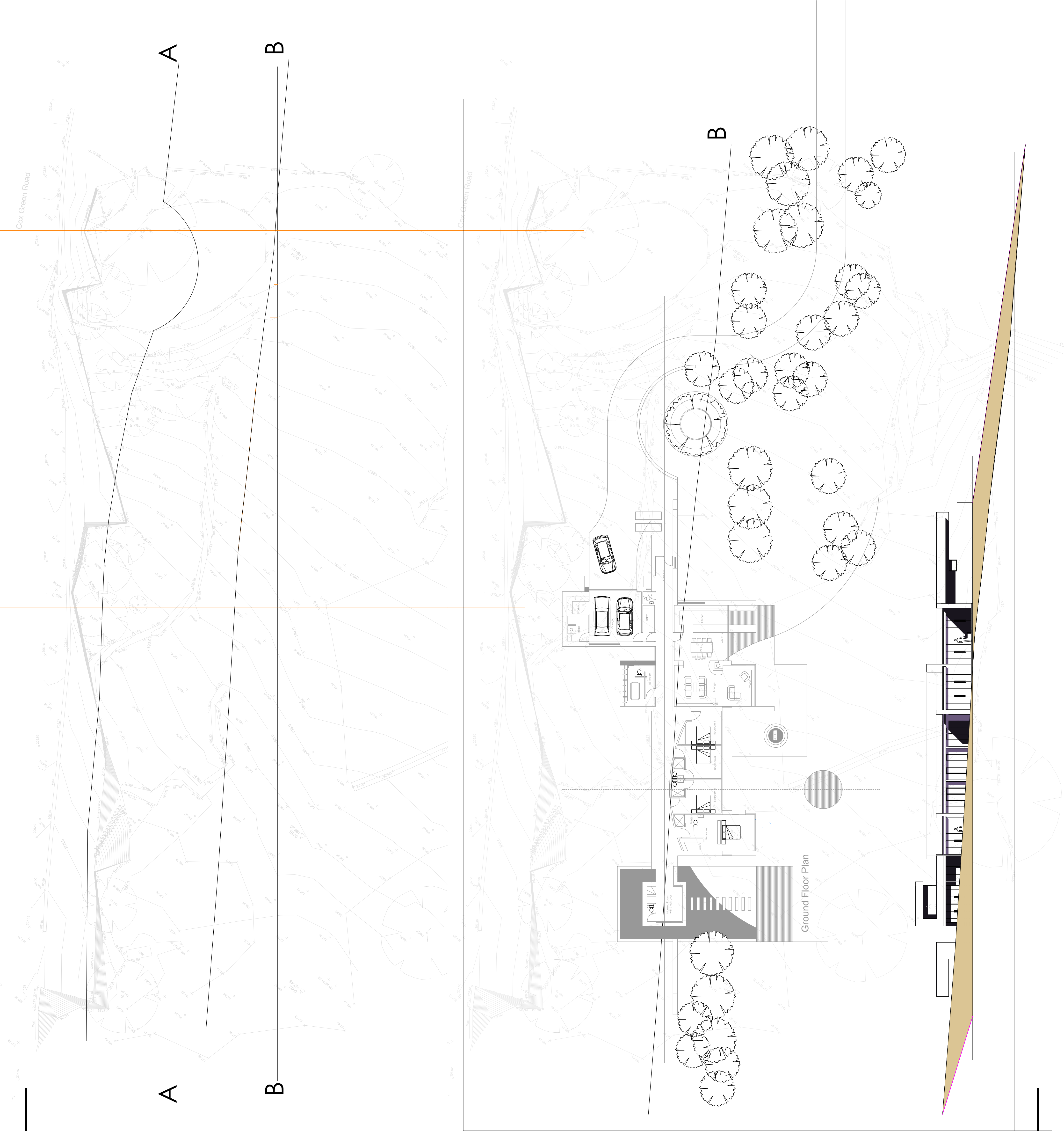
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Rev	Date	Drawn by	Comments
Client Mr and Mrs H Gregory			
Project Stone Mason's Yard			

Drawing Site Layout			
Date	May 2015	Drawn by	JNP / SA
Scale		Scale	May 2015
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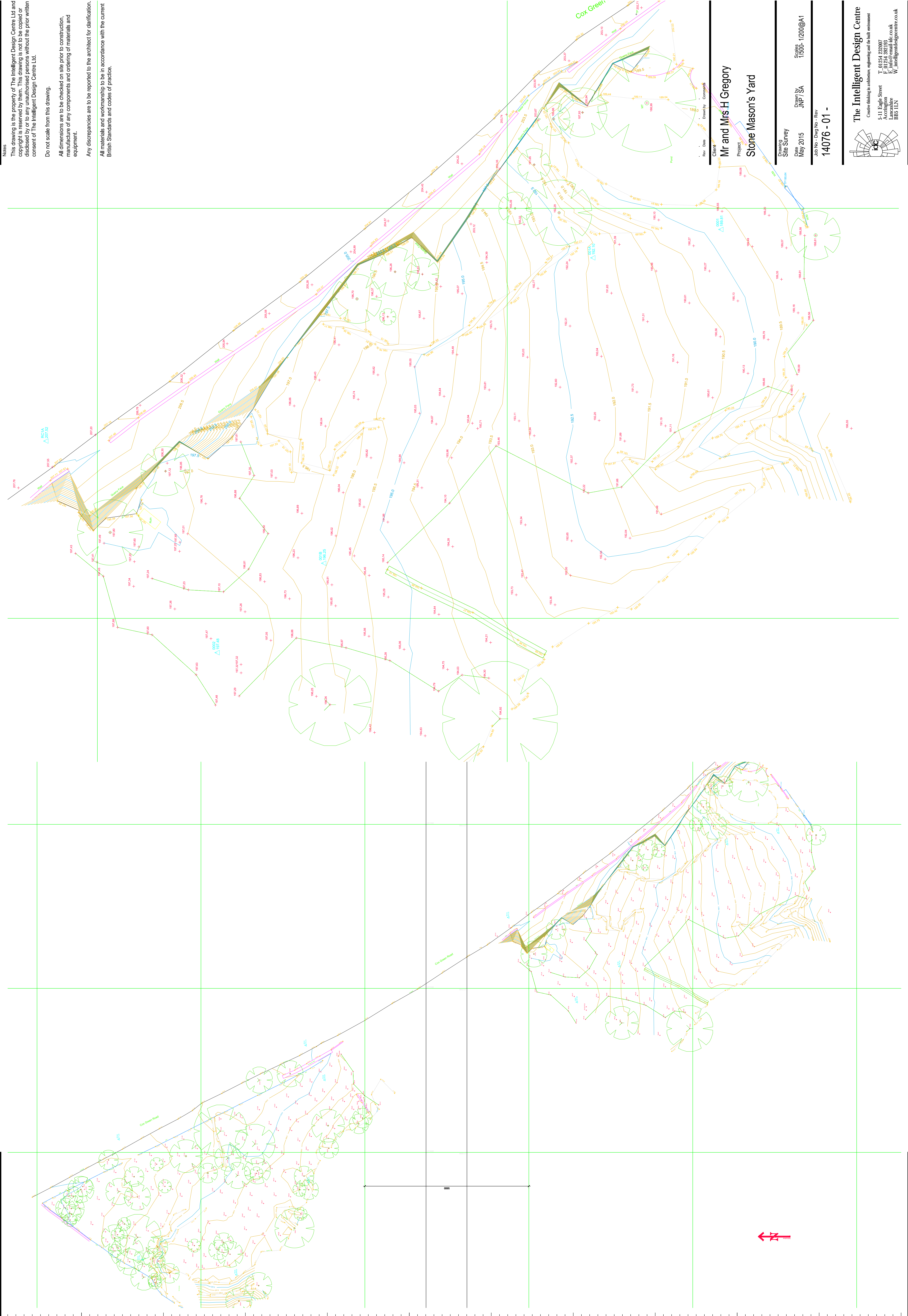
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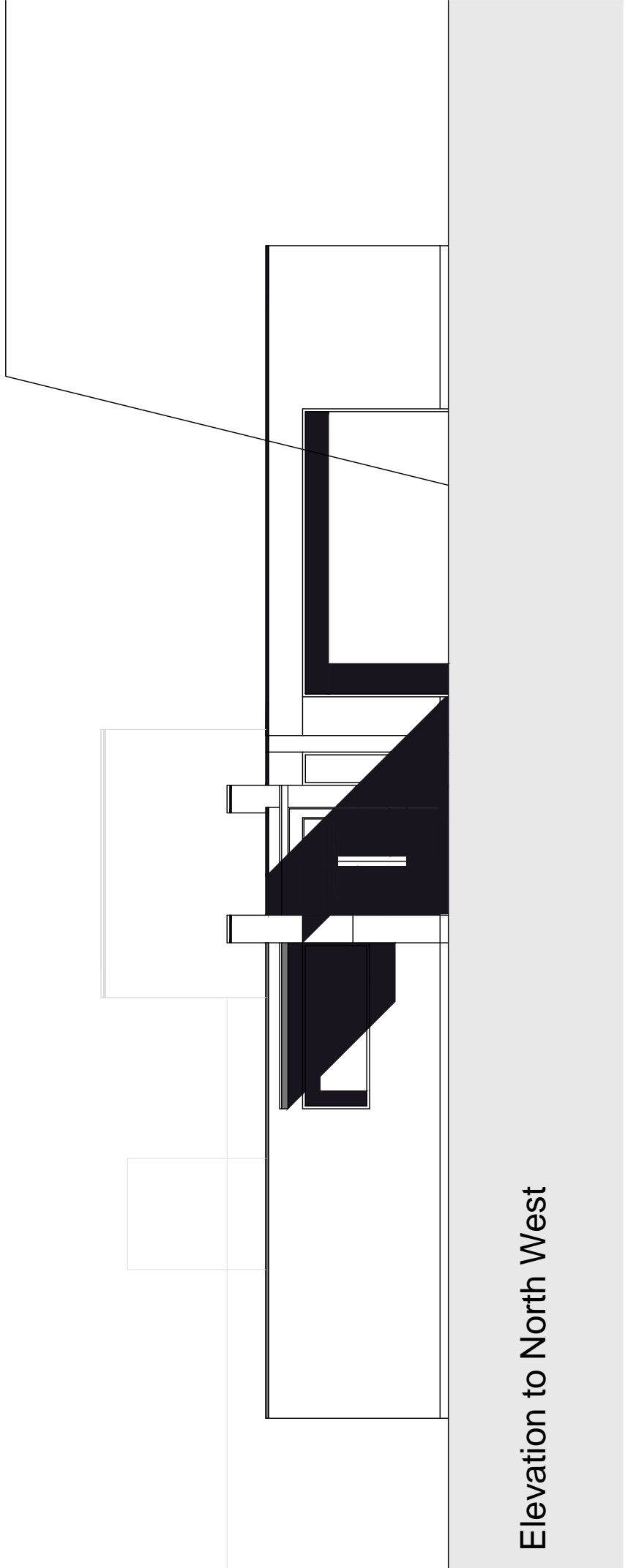
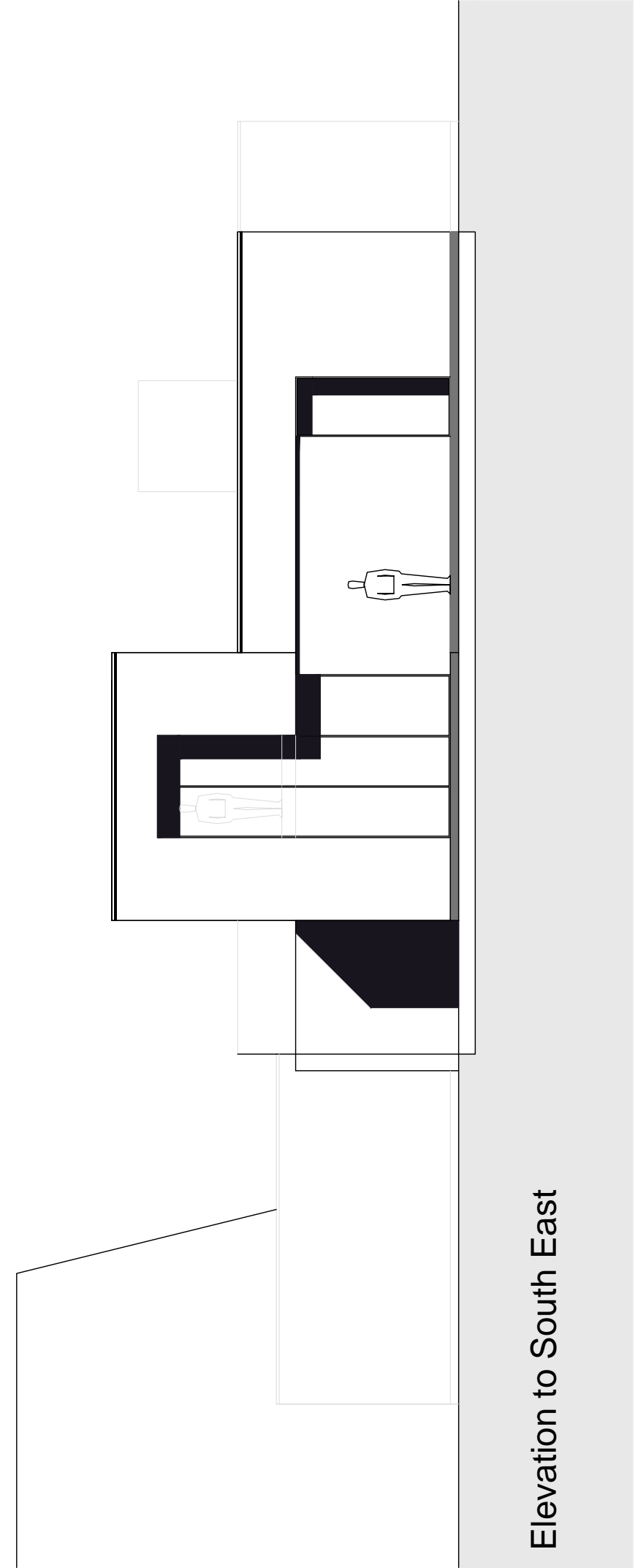
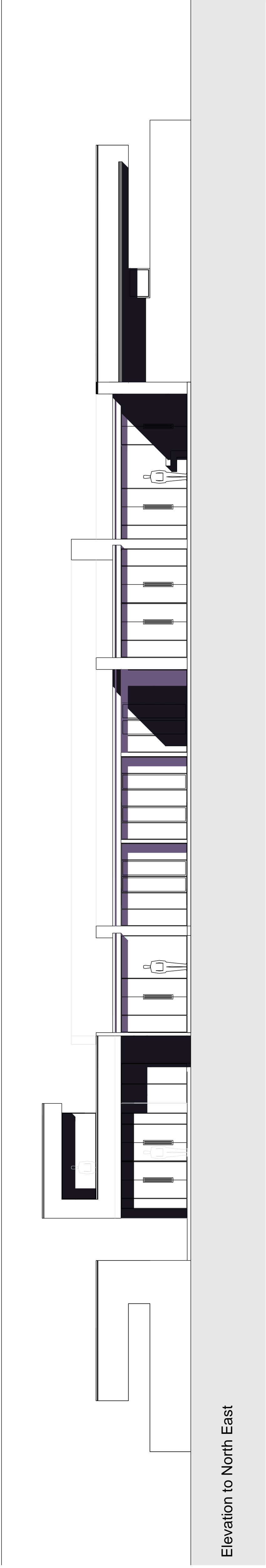
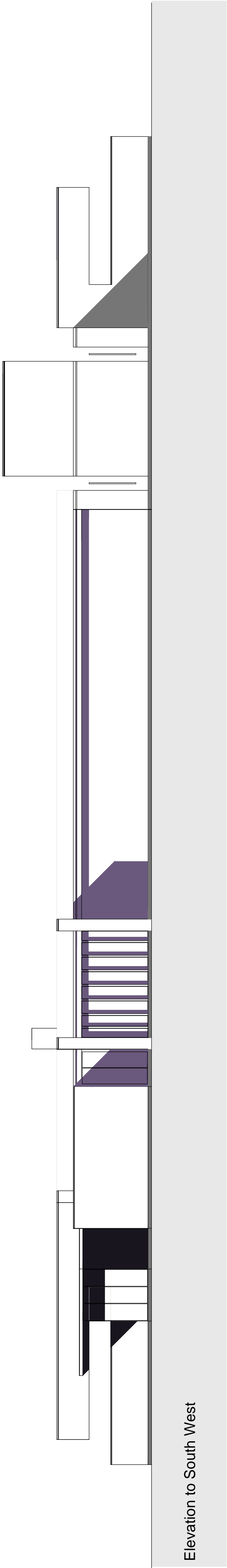
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Project	Stone Mason's Yard
Rev	0001
Drawn by	JNF/SA
Date	May 2015
Scale	1/500 - 1/200@A1
Job No - Draw No - Rev	14076 - 01 -

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**Application number
94843/15**



**Development & Regeneration Dept
Development Management Section**

Town Hall, Bolton, Lancashire, BL1 1RU
Telephone (01204) 333 333

**Bolton
Council**

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Date of Meeting: 10/03/2016

Application Reference: 94843/15

Type of Application: Full Planning Application
Registration Date: 16/09/2015
Decision Due By: 10/11/2015
Responsible Officer: Jeanette Isherwood

Location: 14 KILMAINE DRIVE, BOLTON, BL3 4RU

Proposal: CHANGE OF USE OF LAND TO DOMESTIC USE AND
TEMPORARY 5 YEAR PERMISSION FOR RETENTION OF
BOUNDARY FENCE AT SIDE AND REAR OF PROPERTY WITH
ONE DOUBLE GATE AND TWO SINGLE GATES

Ward: Heaton and Lostock

Applicant: Mr Iqbal
Agent :

Officers Report

Recommendation: Refuse

Background

The application was deferred at the Committee meeting of 19th November 2015 to enable further negotiations. Members requested amended plans detailing a reduction in the area of side garden to be encompassed by the fence. The area was to be reduced by half, together with a 1-1.5 metre set back of the fence from the frontage to enable the turning head to remain unobstructed.

The item was to be further considered at the January Committee meeting.

Officers conducted a further site visit on Friday 4th December 2015 to advise the applicant of Members' request.

The applicant requested that the application be deferred from the January meeting and considered at the February meeting, whilst they considered the requested amendments.

The applicant further requested that the proposal be again deferred and considered at March Committee whilst amended plans were drawn up.

To date no amended plans have been received and therefore Officers' recommendation is unchanged.

Proposal

The proposal comprises the change of use of open land to domestic garden and retention of the 2 metre high fence which encloses this land and the remainder of the curtilage of the property. The fence is constructed of concrete post and slab with wooden panels and has double gates facing the

turning head.

The retention of the fence is proposed for a temporary period of five years to enable planted landscaping to grow and provide the level of privacy required.

The fence encompasses a street lighting column existing at the site.

Site Characteristics

This detached property is sited on a large corner plot at the head of a cul-de-sac where Kilmaine Drive meets Chesterton Drive. The original boundary fence for the property extended two panel widths from the side of the property, turning ninety degrees and further extending to the southern rear boundary. To the side of the original fence was an open grassed area with trees fronting the turning head, this area has now been enclosed. A public walkway runs parallel to the new fence and is used as an access route from Chesterton Drive to St Bernards and Beaumont Primary Schools to the south.

Opposite the property, on Chesterton Drive are small detached bungalows set at a lower level. No 2 directly overlooks the area of land included in this application and subsequent new fence.

The character of the immediate area is open plan, residential properties with the majority of properties having open frontages.

Policy

National Planning Policy Framework (NPPF)

Core Strategies Policies: S1.2 Road Safety; CG3 The Built Environment; CG4 Compatible Uses; OA4 West Bolton.

SPD General Design Principles

SPD House Extensions

Analysis

Section 38 of the Planning and Compulsory Purchase Act 2004 requires applications to be determined in accordance with policies in the Development Plan unless material considerations indicate otherwise.

Applications which are not in accordance with Development Plan policies should be refused unless material considerations justify granting permission.

Similarly, proposals which accord with Development Plan policies should be approved unless there are material considerations which would justify a refusal of permission.

It is therefore necessary to decide whether this proposal is in accordance with the Development Plan and then take account of other material considerations.

The main impacts of the proposal are:-

- * impact on the character and appearance of the dwelling and the surrounding area
- * impact on the amenity of neighbouring residents
- * impact on highway safety

Impact on the Character and Appearance of the Dwelling and the Surrounding Area

Policy CG3 of the Core Strategy states that the Council will conserve and enhance local distinctiveness, ensuring development has regard to the overall built character and landscape quality of the area, and will require development to be compatible with the surrounding area, in terms of scale, massing, grain, form, architecture, street enclosure, local materials and landscape treatment. Policy OA4 of the Core Strategy states that the Council will conserve and enhance the character of the existing physical environment, and will ensure that development in West Bolton has particular regard to the overall density, plot sizes, massing and materials of the surroundings – these features should be retained where possible.

SPD House Extensions provides general advice on household developments and offers guidance relating to the effect of development on the street scene and the character and appearance of the area.

The area of land to which this application relates was previously an open grassed area and appears to be a design feature used throughout the estate, adjacent to 'end of row' properties. More specifically in this case to maintain an open aspect adjacent to a public walkway. Furthermore, the trees that have been removed from the land (albeit unprotected) were seen to have contributed to the amenity of the area.

The fence which extends to the kerb of the road and to the edge of the walkway is situated in a prominent location at the junction of two roads and a turning head. The walkway is well used by pedestrians walking between the different cul-de-sacs and taking children to school. It is visible from the north along Chesterton Drive and from properties opposite to the north and west.

It is considered that the fence itself, due to its siting, creates a strident feature within the street scene and the loss of a large expanse of grassed area, that is mirrored throughout the estate is detrimental to the overall character and appearance of the area.

The applicant has submitted details indicating that the additional land required and subsequent fence was needed to ensure a safe, private environment for her children to play. They further submit that one of the children has a medical condition, the symptoms of which can lead to mobility issues requiring intermittent use of crutches or a wheel chair.

Notwithstanding this information Officers are of the opinion that these requirements can be met with a reduced scheme and landscaping which would have a lesser impact upon the visual appearance of the street scene and the character and appearance of the area.

The proposed fence is considered to represent an incongruous feature on the street scene and is contrary to Core Strategy Policies CG3 and OA4.

Impact on the Amenity of Neighbouring Residents

Policy CG4 of the Core Strategy states that the Council will ensure that new development is compatible with surrounding land uses and occupiers, protecting amenity, privacy, safety and security.

SPD General Design Principles provides general advice relating to the impact of developments on neighbouring properties, particularly in relation to natural light, privacy and overlooking, together with setting out the Council's minimum interface standards between dwellings.

The fence has been erected close to the front elevation of 2 Chesterton Drive and is within 8 metres of their main elevation. This distance falls short of the Council's recommended interface distance and is further compounded by the difference in ground levels with 14 being on a higher level.

It is therefore considered that the proposal would have a detrimental impact on the outlook and living conditions of these residents, contrary to Core Strategy Policy CG4.

Impact on Highway Safety

Policy S1.2 states that the Council will promote road safety in the design of new development.

SPD House Extensions provides general advice on house extensions and offers guidance relating to the impact of extensions on highway safety.

Objectors to the proposal have raised concerns regarding the use of the turning head on Chesterton Drive being used as a car park for taxis used by the Applicant who has a driveway accessed from Kilmaine Drive. Concern has also been raised to the use of the enclosed land.

The Council's Highway Engineer has raised objection to the fence on highway grounds and states the following:-

The fence must be set back a minimum distance of 1.5m from the edge of the carriageway to avoid affecting the street lighting column and cables and to provide overhang space for vehicles using the turning head. A minimum distance of 2.0m must be retained from the adopted public footpath to avoid creating a ginnel effect.

Discussions have taken place with the applicant with regard to setting the fence back, however no agreement has been reached.

The proposal is considered to be contrary to Core Strategy Policy S1.

Conclusion

The fence creates a strident and incongruous feature within the street scene and is considered to have a detrimental impact on the living conditions of surrounding neighbours contrary to policies CG3, CG4 and OA4 of the Core Strategy. The siting of the fence in close proximity to the highways is considered to be detrimental to highway safety, contrary to policy S1 of the Core Strategy. The loss of the open area detracts from the feature of the original open plan estate to the further detriment of the character and appearance of the area.

Members are recommended to refuse the application.

Representation and Consultation Annex

Representations

Two letters of support have been received together with a petition in support of the application.

Ten letters of objection have been received, including one from the Ladybridge Residents Association, objecting on the following grounds:-

- changes the walkway into unsightly, unsafe alley
- creates a precedent affecting the open plan aspect of the estate
- affects parking of cars for school drop off etc
- affects the visual amenity of the estate
- not in-keeping with the street scene
- affects the outlook from principal windows
- impacts on children's safety
- no need for additional garden space
- includes double gates - speculation for future development/use of the land
- creates an accident blind spot in relation to views of the road from the walk way
- temporary permission is a delaying tactic

Consultations

Advice was sought from the following consultees: The Council's Tree and Woodland Officers, The Council's Highway Engineers.

Planning History

Permission refused for the retention of the fence under reference 93587/15

Permission granted for the erection of a porch and single storey extension together with the conversion of the garage under reference 76917/07.

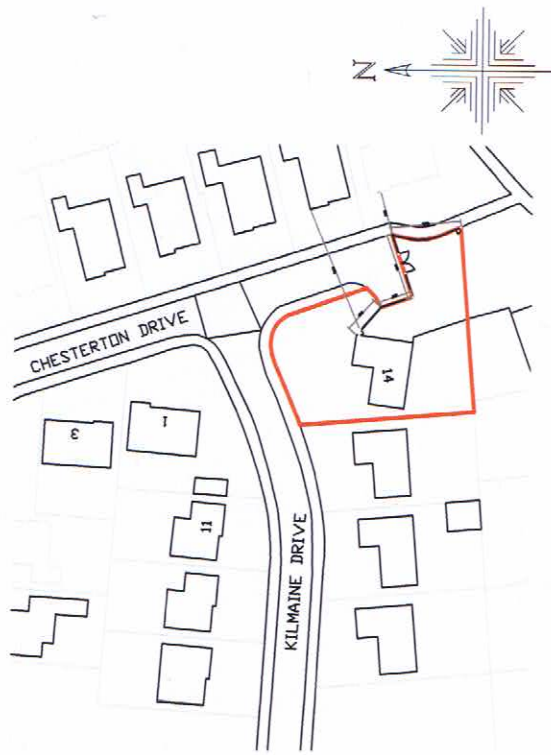
Recommendation: Refuse

Recommended Conditions and/or Reasons

1. The proposed fence would, by virtue of its design, height and siting be detrimental to the character and appearance of the area and in particular would impact detrimentally on the outlook and living conditions of neighbouring residents at 2 Chesterton Drive and is contrary to Policy CG3 and CG4 of Bolton's Core Strategy and Supplementary Planning Document - "General Design Principles".
2. The proposal will result in the loss of an open grassed area to the detriment of the character and appearance of the area, and is therefore contrary to Policy CG3 of Bolton's Core Strategy.
3. The proposal will result in insufficient space to the turning head at Chesterton Drive to safely manoeuvre vehicles and is therefore contrary to Policy S1 of Bolton's Core Strategy.

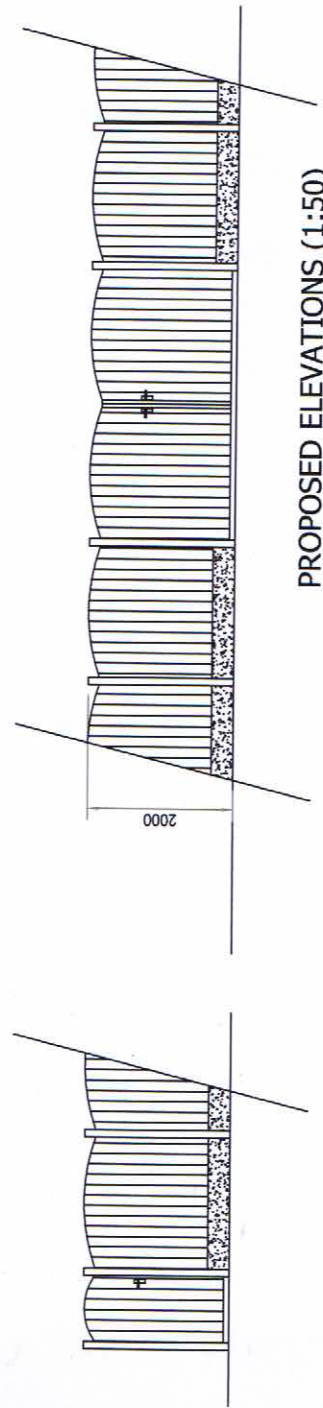


SITE PLAN (1:200)



LOCATION PLAN (1:1250)

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Ordnance Survey 0100031673



PROPOSED ELEVATIONS (1:50)

RAD

The White House,
42-44 Chorley New Road,
Bolton
BL1 4AP

Tel : 01204 322196
Fax : 01204 214110
Mob: 07790 361104
Email: info@radesignprojects.co.uk

Project

14 KILMAINE DRIVE
BOLTON
BL3 4RU

Amendments

Client

MR. Z. IQBAL

Drawn RA

Date

FEBRUARY 2015

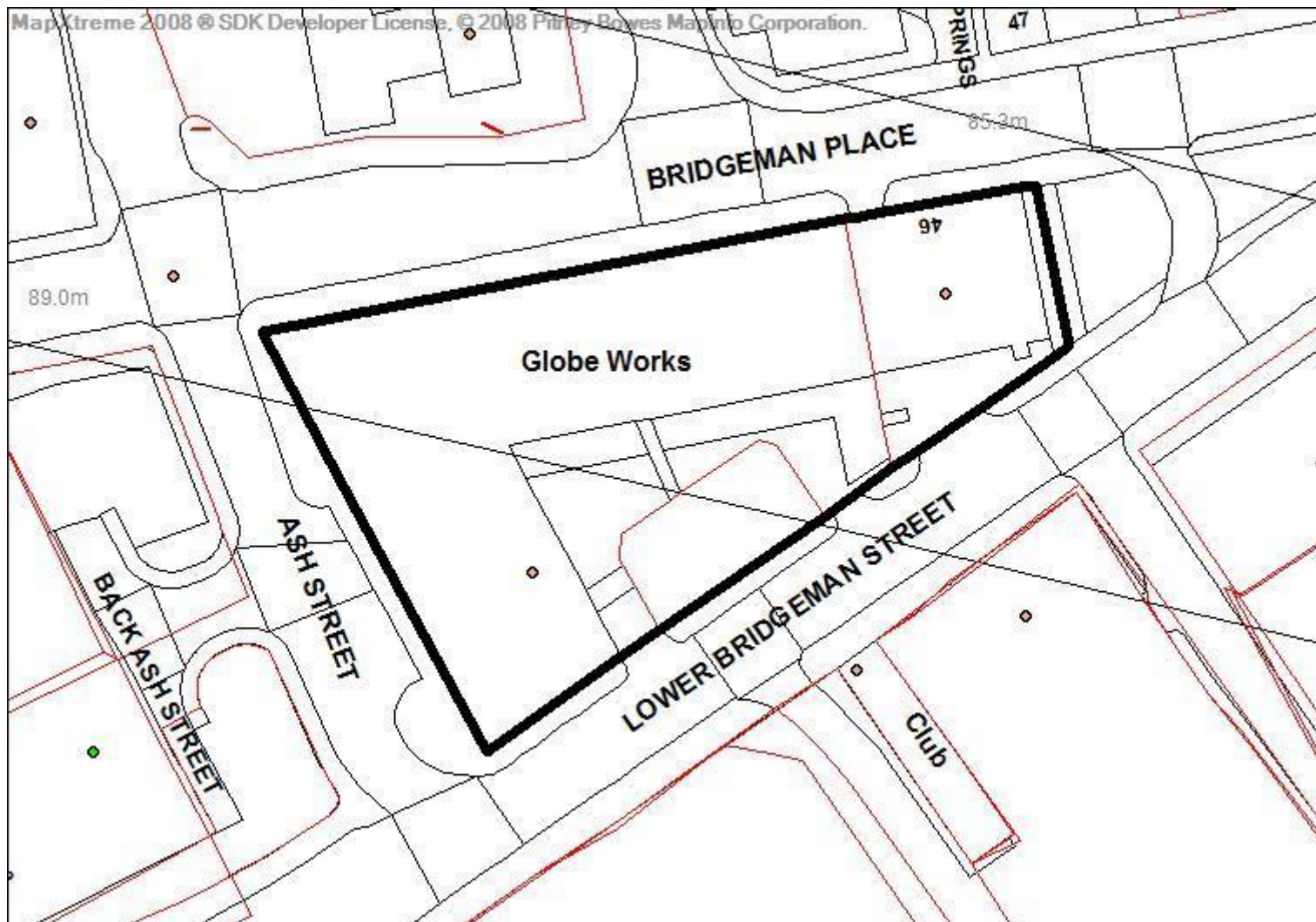
Scale

as indicated

Drawing Number

RAD/1169/15/1

Application number 94898/15



Development & Regeneration Dept
Development Management Section

Town Hall, Bolton, Lancashire, BL1 1RU
Telephone (01204) 333 333

Bolton Council

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Date of Meeting: 10/03/2016

Application Reference: 94898/15

Type of Application: Full Planning Application

Registration Date: 25/11/2015

Decision Due By: 23/02/2016

Responsible Officer: **Martin Mansell**

Location: **GLOBE WORKS, LOWER BRIDGEMAN STREET, BOLTON, BL2 1DG**

Proposal: PART DEMOLITION, CONVERSION AND EXTENSION OF BUILDING TO FORM 124 APARTMENTS WITH ASSOCIATED CAR PARKING.

Ward: **Great Lever**

Applicant: Silverwells Ltd

Agent : Neil Pike Architects

Officers Report

Recommendation: **Approve subject to conditions**

Proposal

Consent is sought to extend and convert this large industrial building into 124 apartments, comprising:-

- 10 three bed apartments
- 90 two bed apartments
- 24 one bed apartments

A two-storey former office building fronting Lower Bridgeman Street would be demolished to provide an off-road "pick up / drop off" facility, some landscaping and to provide a more open aspect to some of the south-facing apartments. An additional floor would be added to the six-storey element fronting Bridgeman Place, taking the form of an extension to the north-facing sloping glazed facade of the existing top floor of the mill. An existing four storey element fronting Ash Street would be extended by a further two storeys, following the existing vertical lines of this element. The existing chimney would be retained but not used for residential purposes.

Vehicular access would be solely from Lower Bridgeman Street via the off-road "pick up / drop off" facility and a ramp to the lower ground floor car park which would provide 20 parking spaces. The existing vehicular access from Bridgeman Place would be closed.

The Applicant proposes the following contributions under Policy IPC1:-

- a contribution of £30,000 towards public realm improvements in the vicinity of the application site
- improvements to the exterior appearance of the building - brick cleaning, removal of redundant clutter etc
- architectural lighting to the building
- landscaping to the pick up / drop off facility fronting Lower Bridgeman Street
- the potential to assist in the maintenance of the triangle of highway land to the east of the site

Members are advised that no objections were received following consultation on the proposed development and therefore the application does not appear at Planning Committee due to the Council's Scheme of Delegation. Instead, Officers took the view that Members should have the opportunity to consider issues such as:-

- the reduced financial contribution offer
- the impact of the extensions on the town centre streetscene and skyline
- the impact of the residential use on the employment allocation at Merchant's Quarter

Site Characteristics

Globe Works is a complex of former mill buildings on the edge of Bolton town centre. It is located on an triangular island site bounded by and directly fronting the major highways of Lower Bridgeman Street and Bridgeman Place together with Ash Street to the west. It is reasonably prominent in the streetscene when viewed from the south east of the town centre and is consistent with the other industrial buildings that form the Merchants Quarter area (Shiffnall Street / Salop Street). The building is four storeys high at its lowest point and six storeys high at its highest point fronting Lower Bridgeman Street. Uses are typical of other former mill buildings in Bolton - subdivided into generally small scale employment uses. The complex consists for four main elements:-

- Bridge House, a four storey building located at the eastern apex of the triangular site
- office building fronting Lower Bridgeman Place
- a four storey traditional mill building fronting Ash Street and Lower Bridgeman Street
- a six storey traditional mill building fronting Bridgeman Place

The complex does not benefit from any statutory heritage designation but is considered to contain elements that are locally distinctive.

Policy

National Planning Policy Framework - building a strong and competitive economy, ensuring the vitality of town centres, promoting sustainable transport, delivering a wide choice of high quality homes, requiring good design, promoting healthy communities, meeting the challenge of climate change, conserving and enhancing the historic environment, facilitating the use of minerals

Core Strategy Objectives

SO3 Economic Opportunities of Bolton Town Centre and the M61, SO4 Transforming Bolton Town Centre, SO5 Bolton's Economy, SO6 Accessibility, SO9 Crime and Road Safety, SO10 Climate Change, SO11 Built Heritage, SO14 Inclusive Housing, SO15 Sustainably Located Housing

Core Strategy Policies

P1 Employment Sites, P5 Transport

S1 Crime and Road Safety

CG1 Biodiversity, Open Space, Flood Risk and Climate Change, CG2 Sustainable Development, CG3 Design and the Built Environment, CG4 Compatible Uses

SC1 Housing Targets

TC7 Merchant's Quarter, TC11 Design in Bolton Town Centre

IPC1 Infrastructure Contributions

Supplementary Planning Documents

General Design Principles, Building Bolton, Sustainable Design and Construction, Merchant's Quarter

Analysis

Section 38 of the Planning and Compulsory Purchase Act 2004 requires applications to be determined in accordance with policies in the Development Plan unless material considerations indicate otherwise.

Applications which are not in accordance with Development Plan policies should be refused unless

material considerations justify granting permission.

Similarly, proposals which accord with Development Plan policies should be approved unless there are material considerations which would justify a refusal of permission.

It is therefore necessary to decide whether this proposal is in accordance with the Development Plan and then take account of other material considerations.

The main impacts of the proposal are:-

- * impact on the character and appearance of the area
- * impact on road network
- * impact on living conditions
- * impact on the public realm
- * impact on employment and economic development
- * impact on housing provision

Impact on the Character and Appearance of the Area

Section 39 of the Planning and Compulsory Purchase Act 2004 places a general duty on Local Planning Authorities that in the exercise of their powers they have regard to the desirability of achieving good design.

The National Planning Policy Framework recognises the role of the planning system in creating a high quality built environment and notes that well-designed buildings and places can improve the lives of people and communities. Pursuing sustainable development involves seeking positive improvements in the quality of the built, natural and historic environment, as well as in people's quality of life, including replacing poor design with better design. The Framework contains 12 core land-use planning principles that should underpin both plan-making and decision-taking. One of these principles is that planning should always seek to secure high quality design and a good standard of amenity for all existing and future occupants of land and buildings. Planning decisions should aim to ensure that developments will function well and add to the overall quality of the area.

Policy SO11 of Bolton's Core Strategy is a strategic policy and seeks to conserve and enhance the best of Bolton's built heritage and landscapes, and improve the quality of open spaces and the design of new buildings. Core Strategy Policy CG3 seeks to ensure that development proposals display innovative, sustainable design that contributes to good urban design, respects and enhances local distinctiveness, and has regard to the overall built character and landscape quality of the area. Proposals should also be compatible with the surrounding area, in terms of scale, massing, grain, form, architecture, street enclosure, local materials and landscape treatment including hard and soft landscaping and boundary treatment. Historical associations should be retained where possible. The Council will also seek to conserve and enhance the heritage significance of heritage assets and heritage areas, recognising the importance of sites, areas and buildings of archaeological, historic, cultural and architectural interest and their settings; ensure development is designed in an inclusive manner which is accessible and legible to all, regardless of age, gender, background or disability; encourage the incorporation of design measures into new developments that allow adaptation and resilience to the impacts of climate change and extreme weather events and also to reduce the threat of fuel poverty, through the careful selection of aspect, layout and massing, and by making buildings increasingly energy efficient.

Core Strategy Policy TC11 relates specifically to development in Bolton Town Centre and states that the council and its partners will protect, strengthen and enhance the distinctive townscape qualities of Bolton town centre. Development should conserve and enhance the special nature of the

conservation areas and listed buildings; ensure that development along the gateways to the town centre enhances the townscape through the use of high quality design and improved street frontages and pedestrian permeability; ensure streets are designed in accordance with the Public Realm Implementation Framework to achieve a high standard of design which exhibits safety, consistency and accessibility, particularly for pedestrians, cyclists and users of public transport; require development to respect and enhance existing vistas; have regard to the existing hierarchy of built forms as indicated in the Building Bolton SPD; make efficient and effective use of land in the town centre due to the existing levels of high density development, ensuring that development provides adequate amenity space and privacy, or attractive public areas, where appropriate for the site.

The extension to the six-storey building fronting Bridgeman Place is considered to be acceptable as it follows the line of the existing sloping north-facing line of the glazed facade of the existing top floor of the mill. For this reason, it is considered that the extension will read in the street scene as a sympathetic addition, avoiding the "boxy" appearance of similar high-level additions to other buildings of a large scale. Similarly, the two-storey extension to the existing four-storey element would be constructed to follow the existing Ash Street elevation and is designed with fenestration to follow the regular pattern of the existing building. It is not proposed that materials would be the same as the existing building - this would be a lightweight structure faced in cladding situated above a brick building, but this is considered to be acceptable as buildings can often show different periods of development by way of differing materials provided that this is done appropriately in terms of colour and texture.

The demolition of the office building fronting Lower Bridgeman Street is regrettable - in some ways this is the most locally distinctive element of the complex. However, Officers accept that the demolition of this structure is necessary to make the development acceptable in highway terms and to open up the aspect of the south-facing apartments.

The submitted plan lists a number of improvements to the outward appearance of the building and these would be required by condition. It is considered, in any case, that these improvements would be necessary to make the development marketable.

The impact on the character and appearance of the area is considered to be acceptable.

Impact on the Road Network

Policy SO9 of Bolton's Core Strategy is a strategic objective and seeks to, amongst other things, improve road safety. Policy P5 seeks to ensure that new development takes into account accessibility, pedestrian prioritisation, public transport, servicing, parking and the transport needs of people with disabilities. Policy S1 seeks to promote road safety.

This is a sensitive site in terms of highway impact - Lower Bridgeman Street and Bridgeman Place either side of the site together form the two arms of the major route to and from the south east corner of Bolton town centre with each road taking a single directional flow of major traffic towards the major junction with the A666 St Peters Way and eventually linking to the A58 Bury Road. Both Lower Bridgeman Street and Bridgeman Place are considered to be the type of highway where vehicular traffic takes precedence over other uses and users - traffic dominates the immediate vicinity of the site for the majority of any 24 hour period.

The site layout has been the subject of discussions with the Council's Highway Engineers. Improvements to the proposal have been achieved such as closing off redundant vehicular entrances and improving the radius to Lower Bridgeman Street. The 20 car parking spaces proposed are low relative to the scale of the development but are considered to be acceptable given the exceptionally sustainable location of the site close to town centre and the major public transport nodes of Bolton

railway station and the new Interchange.

The proposed use is not considered to be likely to give rise to significant changes in the nature of vehicular or other movements over and above the existing lawful use. It is also noted that the Council's Highway Engineers do not raise an objection. The proposal is considered to comply with Core Strategy Policies SO9, P5 and S1.

Impact on Living Conditions

The National Planning Policy Framework contains 12 core land-use planning principles that should underpin both plan-making and decision-taking. Two of these principles are that planning should always seek to secure a good standard of amenity for all existing and future occupants of land and buildings and reduce pollution.

Policy CG4 of Bolton's Core Strategy seeks to ensure that new development is compatible with surrounding land uses; protects amenity, privacy, safety and security; does not cause unacceptable nuisance or pollution; and takes potential historic ground contamination into account.

A professional acoustic survey was submitted with the application which found that the predominant noise sources affecting the building are the two major highways either side of the site. Recommendations are made in relation to the acoustic performance of the replacement windows and a condition will be imposed requiring that the recommendations of the survey be implemented in full.

Subject to the implementation of the recommendations of the acoustic survey, the use is considered to be appropriate for this area, despite the generally industrial context dominated by highway infrastructure. The lack of private amenity is not considered to be sufficient to render the proposal unacceptable. The proposal is considered to comply with Policy CG4 of Bolton's Core Strategy

Impact on the Public Realm

The National Planning Policy Framework requires development proposals to make appropriate contributions towards matters such as affordable housing, education, health and open space and this national policy finds its expression locally within Policy IPC1 of Bolton's Core Strategy. However, this policy is clear that within the confines of Bolton town centre the Council will primarily seek contributions to secure high quality improvements to the public realm. To this end, the Council adopted in 2008 a Public Realm Implementation Framework for the town centre that sets a figure for contributions for residential developments of over 15 units of £85 per square metre.

The Public Realm Implementation Framework would place a requirement of £1,085,620 towards public realm improvements based on the floor space involved. The PRIF was adopted under different economic circumstances and whilst there has been a marked improvement in development interest in the last year or two, the figure resulting from the PRIF calculation is considered to be unrealistic. However, this does not mean that no contribution should be made.

As described in the proposal section above, in lieu of a Section 106 Agreement under PRIF, the Applicant proposes the following:-

- a contribution of £30,000 towards public realm improvements in the vicinity of the application site
- improvements to the exterior appearance of the building - brick cleaning, removal of redundant clutter etc
- architectural lighting to the building
- landscaping to the pick up / drop off facility fronting Lower Bridgeman Street
- the potential to assist in the maintenance of the triangle of highway land to the east of the site

The benefits of the contributions and improvement works proposed, taken together, are considered to be acceptable given the prominent location of the building. The location of the building is such that improvements to its fabric can be considered to be improvements to the street scene in themselves, given the high numbers of people who see the site everyday. This is a mill regeneration scheme, consistent with the aims of the Bolton Mills Strategy. Members are also advised that this figure is consistent with other town centre developments such as the student accommodation at Great Moor Street and Bradshawgate.

The impact on the public realm is considered to be significantly less than originally anticipated by the PRIF in 2008 but is still considered to be of benefit.

Impact on Employment and Economic Development

The National Planning Policy Framework contains 12 core land-use planning principles that should underpin both plan-making and decision-taking. One of these principles is that planning should proactively drive and support sustainable economic development to deliver the infrastructure, business and industrial units and thriving local places that the country needs. In the section "Building a Strong, Competitive Economy" it states that significant weight should be placed on the need to support economic growth through the planning system.

The Council has adopted the Sustainable Community Strategy which identifies two main aims - to narrow the gap between the most and the least well off and to ensure economic prosperity. The Core Strategy is consistent with this, seeking a prosperous Bolton by making sure that jobs are provided in accessible locations in a range of different sectors.

The site lies within the Merchant's Quarter allocation of the town centre and is therefore subject to Policy TC7 of Bolton's Core Strategy, which states:-

The Council will ensure that Merchant's Quarter will remain in predominantly employment uses focused on office, business and creative industries and will encourage the refurbishment of buildings for office, business and creative industry uses.

The Council's adopted policy therefore seeks predominantly employment uses in this location rather than residential. The adopted Merchant's Quarter SPD envisaged buildings being mainly used for office and light industry uses with perhaps a small amount of commercial at ground floor, particularly fronting Bradshawgate and a limited amount of residential - perhaps the top floor of some buildings where appropriate. However, this is not what is now proposed and, on the face of it, the proposal for total residential use is contrary to the aims of the Merchant's Quarter SPD and Core Strategy Policy TC7.

That said, Officers take the view that whilst there has been some success in regenerating the buildings of Merchant's Quarter for quality employment uses there appears to be little or no evidence of interest in Globe Works for such uses. In this instance, the benefits of the improvements and occupancy of the building are considered to justify a move away from the adopted policy towards residential use.

Impact on Housing Provision

The National Planning Policy Framework recognises the role of the planning system in providing the supply of housing required to meet the needs of present and future generations and the need to boost significantly the supply of housing. Housing applications should be considered in the context of the presumption in favour of sustainable development. The Framework contains 12 core land-use planning principles that should underpin both plan-making and decision-taking. Two of these principles are that planning should proactively drive and support sustainable economic development

to deliver the homes and thriving local places that the country needs whilst encouraging the effective use of land by reusing land that has been previously developed provided that it is not of high environmental value.

The Core Strategy plans for an average of 694 additional dwellings per annum between 2008 and 2026, an overall total of 12,492 dwellings. The location of new housing will reflect the overall spatial option of concentrating development in Bolton town centre, renewal areas and at Horwich Loco Works. Mill sites will be a source of land for housing, especially in the renewal areas, and the Action Plan for Mills that the council has prepared will provide evidence to guide the future uses of specific sites.

The Housing Market Assessments have provided an evidence base to inform the required mix of housing types. This shows that there is a requirement to construct more larger houses than has recently been the case, as well as to continue to provide for the increasing proportion of small households.

Policies SO14, SO15 and SO16 of Bolton's Core Strategy are strategic objectives within the "Strong and Confident Bolton" theme and seek to provide housing that meets the needs of everybody, reflecting the needs of an ageing population and a growth in the number of households, focus new housing in the existing urban area, especially in Bolton town centre, council-owned housing areas and in mixed-use developments on existing older industrial sites and to develop mixed communities which encourage community cohesion and ensure access for all to community and cultural facilities.

Members will be aware of the need to seek to achieve housing targets for the Borough and it is considered that the 124 dwellings proposed here would make a reasonably significant contribution to this. The impact on housing provision is considered to be acceptable.

Value Added to the Development

The proposal was subject to significant pre-application discussions between Officers and the Applicant, seeking to agree matters such as the principle of the residential development in an allocated employment area and negotiating the financial contributions.

Conclusion

This is considered to be a regeneration proposal, bringing life to a traditional industrial building in accordance with the Council's Mill Strategy. The extensions and demolition required to facilitate this are considered to be acceptable. Despite the location between two major highways it is considered that the impacts of noise and road safety can be successfully mitigated by design and by the imposition of appropriate conditions. Whilst the adopted policy for Merchant's Quarter contains a presumption against residential use, Officers note the benefit of making a significant contribution to housing targets. The public realm contribution is less than was envisaged when the Public Realm Improvement Strategy was adopted but it is considered that the economic circumstances are different and Officers accept that the improvement and occupancy of a building in such a prominent location can be taken to be an improvement to the public realm in themselves.

On balance, the application is recommended for approval.

Representation and Consultation Annex

Representations

None. The application appears at Planning Committee at the request of Officers.

Consultations

Advice was sought from the following consultees: Highways Engineers, Drainage Officers, Economic Strategy Officers, Strategic Development Unit, Coal Authority, Greater Manchester Archaeological Services, Primary Care Trust and NHS Property Services.

Planning History

The site has no relevant planning history.

Recommendation: **Approve subject to conditions**

Recommended Conditions and/or Reasons

1. The development hereby permitted shall be begun before the expiration of 3 years from the date of this permission.

Reason

Required to be imposed pursuant to section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2. Phase II Report
Should the approved Phase I Report recommend that a Phase II Report is required, then prior to commencement of any site investigation works, design of the Phase II site investigation shall be submitted to, and approved in writing by, the Local Planning Authority. Site investigations shall be carried out in accordance with the approved design and a Phase II Report shall then be submitted to, and approved in writing by, the Local Planning Authority prior to commencement of development. The Phase II Report shall include the site investigation data, generic quantitative risk assessment, detailed quantitative risk assessment (if required) and recommendations regarding the need or otherwise for remediation.

Should the Phase I Report recommend that a Phase II Report is not required, but during construction and prior to completion of the development hereby approved, contamination or gas migration is found or suspected, the developer shall contact the Local Planning Authority immediately and submit proposals for investigation and remediation of the contamination or gas migration within seven days from the date that it is found or suspected to the Local Planning Authority for approval in writing.

Options Appraisal

Should the Phase II Report recommend that remediation of the site is required then unless otherwise agreed in writing with the Local Planning Authority, no development shall commence unless or until an Options Appraisal has been submitted to, and approved in writing by, the Local Planning Authority. The Options Appraisal shall include identification of feasible remediation options, evaluation of options and identification of an appropriate Remediation Strategy.

Implementation of Remediation Strategy

No development shall commence, unless otherwise agreed in writing with the Local Planning Authority, until the following information relating to the approved Remediation Strategy has been submitted and approved by the Local Planning Authority:

- i) Detailed remediation design, drawings and specification;
- ii) Phasing and timescales of remediation;
- iii) Verification Plan which should include sampling and testing criteria, and other records to be retained that will demonstrate that remediation objectives will be met; and

- iv) Monitoring and Maintenance Plan (if appropriate). This should include a protocol for long term monitoring, and response mechanisms in the event of non compliant monitoring results.

The approved Remediation Strategy shall be fully implemented in accordance with the approved phasing and timescales and the following reports shall then be submitted to the Local Planning Authority for approval in writing:

- v) A Verification Report which should include a record of all remediation activities, and data collected to demonstrate that the remediation objectives have been met; and
- vi) A Monitoring and Maintenance Report (if appropriate). This should include monitoring data and reports, and maintenance records and reports to demonstrate that long term monitoring and maintenance objectives have been met.

Reason

To ensure that the development is safe for use and to comply with policy CG4.3 of Bolton's Core Strategy.

- 3. Prior to the commencement of development details of a scheme of acoustic insulation (including new, replacement or improved glazing) which seeks to achieve the recommendations of section 5 of the submitted acoustic survey shall be submitted to and approved by the Local Planning Authority. Such details as are approved shall be implemented in full prior to the first occupation of any of the approved residential units and retained in full thereafter.

Reason

To protect future residents from noise disturbance and to comply with policy CG4 of Bolton's Core Strategy.

- 4. No development shall be commenced unless and until full details of the provision of a scheme of public realm works has been submitted to and approved in writing by the Local Planning Authority. This scheme shall be implemented entirely in accordance with the approved details prior to first occupation of the building and be so retained thereafter.

Reason

To enhance the character and appearance of the area and to comply with policies IPC1 and CG3 of Bolton's Core Strategy.

- 5. Prior to the commencement of development full details of the highway works comprising the promotion of a loading bay order in the layby on Ash Street shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be implemented in full prior to the development being first brought into use and retained thereafter.

Reason

In the interests of highway safety and to comply with policies P5 and S1.2 of Bolton's Core Strategy.

- 6. Before development commences details of the signing scheme within the site to inform drivers of the proposed one way movement through the site off/onto Lower Bridgeman Street shall be submitted to and approved by the Local Planning Authority. The approved signing scheme shall be implemented in full before the development hereby approved is first occupied or brought into use and retained thereafter.

Reason

In the interests of highway safety and to comply with policies P5 and S1.2 of Bolton's Core Strategy.

- 7. No development shall be commenced unless and until a detailed scheme showing the design, location and size of a bin store has been submitted to and approved by the Local Planning Authority and such works that form the approved scheme shall be completed before the development is brought into use, and retained thereafter.

Reason

To ensure the development safeguards the character and visual appearance of the locality and the living conditions of nearby residents, and to comply with policies CG3 and CG4 of Bolton's Core Strategy.

8. Before development commences details of the provision to be made for cycle parking within the site shall be submitted to and approved by the Local Planning Authority. Such details as are approved shall be implemented in full before the development hereby approved is first brought into use and retained thereafter.

Reason

To encourage cycle use and provide adequate facilities for cyclists and to comply with appendix 3 of Bolton's Core Strategy.

9. No development shall commence unless details of a package of physical improvements works to the building, consistent with the details contained on drawing ref K719/08 rev F, have been submitted to and approved by the Local Planning Authority, Such details as are approved shall be implemented in full within 6 months of first occupation.

Reason

In lieu of improvements to the public realm and to comply with policy IPC1 of Bolton's Core Strategy.

10. Prior to the commencement of development, a detailed specification for all doors and windows hereby approved shall be submitted to and approved by the Local Planning Authority. The development shall be completed in accordance with the approved details, which shall thereafter be retained.

Reason

To ensure the development safeguards the character and visual appearance of the locality and to comply with policy CG3 of Bolton's Core Strategy.

11. No development shall be commenced until samples of the facing materials to be used for the external walls and roofs have been submitted to and approved in writing by the Local Planning Authority.

Reason

To ensure the development safeguards the character and visual appearance of the locality and to comply with policy CG3 of Bolton's Core Strategy.

12. Prior to commencement of development a scheme indicating the provision to be made for disabled people to gain access including level or ramped access, shall be submitted to and approved by the Local Planning Authority. The approved scheme shall be implemented in full before the development hereby approved/permitted is first brought into use and thereafter retained unless otherwise agreed in writing with the Local Planning Authority.

Reason

To ensure persons with disabilities are able to use the buildings pursuant to the provisions of the Chronically Sick and Disabled Persons Act 1970.

13. Trees and shrubs shall be planted on the site in accordance with a landscape scheme to be submitted and approved in writing by the Local Planning Authority prior to the development being first brought into use. The approved scheme shall be implemented in full and carried out within 6 months of the occupation of any of the buildings or the completion of the development, whichever is the sooner, or in accordance with phasing details included as part of the scheme and subsequently approved by the Local Planning Authority. Any trees and shrubs that die or are removed within five years of planting shall be replaced in the next available planting season with others of similar size and species.

Reason

To reflect and soften the setting of the development within the landscape and to comply with policy CG3 of Bolton's Core Strategy.

14. Prior to the development hereby approved being first occupied or the existing redundant vehicular accesses onto Lower Bridgeman Street and Bridgeman Place shall be closed to vehicles and the existing highway (kerbing and footway) made good to adoptable footway standards. There shall thereafter be no means of vehicular access to or from Lower Bridgeman Street and Bridgeman Place, other than as shown on drawing ref: K719/00 rev F .

Reason

In the interests of highway safety and to comply with policies P5 and S1.2 of Bolton's Core Strategy.

15. Prior to the development hereby approved being first occupied or the means of vehicular access to the site from Lower Bridgeman Street shall be constructed in complete accordance with details which will have been submitted to and approved by the Local Planning Authority.

Reason

In the interests of highway safety and in order to comply with policies S1 and P5 of Bolton's Core Strategy.

16. Prior to first occupation, details of an architectural lighting scheme shall be submitted to and approved by the Local Planning Authority. Such details as are approved shall be implemented in full within six months of first occupation and retained full thereafter.

Reason

To safeguard the amenity and character of the area and to safeguard the living conditions of nearby residents and to comply with policies CG3 and CG4 of Bolton's Core Strategy.

17. Prior to the development being first occupied or brought into use, details (including a brick or masonry specification and colour scheme) of the treatment to all boundaries to the site shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be implemented in full within 21 days of the Local Authorities approval, unless otherwise agreed in writing with the Local Planning Authority and retained thereafter.

Reason

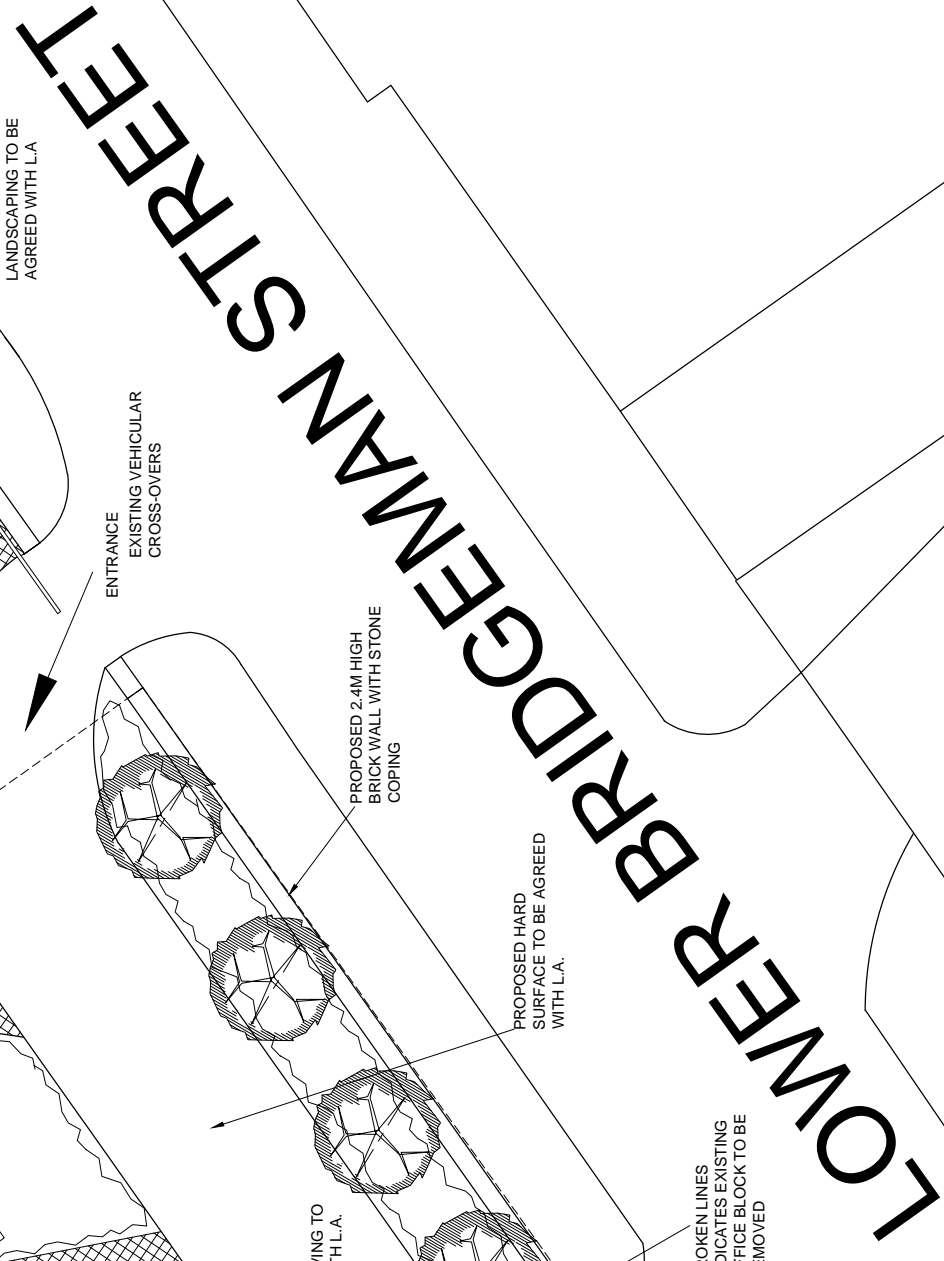
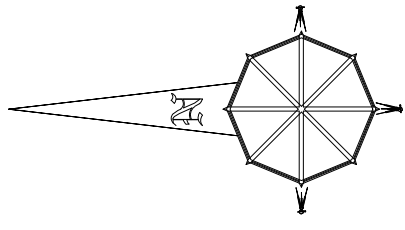
To ensure adequate standards of privacy and amenity are obtained and the development reflects the landscape and townscape character of the area and in order to comply with policies CG3 and CG4 of Bolton's Core Strategy.

18. The development hereby permitted shall be carried out in complete accordance with the following approved plans:

K719/00 rev F
K719/08 rev F

Reason

For the avoidance of doubt and in the interests of proper planning.



PROPOSED SITE PLAN

PROPOSED SITE PLAN

CLIENT:	Sliverwells Limited
DWG NO:	K719/00
SCALE:	1/200 @ A1
DRAWN BY:	D.D.
DATE:	29/06/15
REV:	F

MICHIGAN HOUSE 17-19 CHORLEY NEW ROAD, BOLTON, BL1 4QR
TEL: 01204 392233 FAX: 01204 528505
WWW.NELPKEARCHITECTURE.CO.UK EMAIL: INFO@NELPKEARCHITECTURE.CO.UK

Application number 94926/15



Development & Regeneration Dept
Development Management Section

Town Hall, Bolton, Lancashire, BL1 1RU
Telephone (01204) 333 333

Bolton Council

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Date of Meeting: 10/03/2016

Application Reference: 94926/15

Type of Application: Full Planning Application

Registration Date: 05/10/2015

Decision Due By: 29/11/2015

Responsible Officer: Paul Bridge

Location: DUNSCAR ARMS, 547 DARWEN ROAD, BROMLEY CROSS, BOLTON, BL7 9ED

Proposal: CHANGE OF USE AND TWO STOREY AND SINGLE STOREY EXTENSIONS AT REAR OF PUBLIC HOUSE TO FORM 4 NO. SELF CONTAINED FLATS INCLUDING WROUGHT IRON WALKWAY AND BALUSTRADING AT SIDE

Ward: Bromley Cross

Applicant: Oscar Developments Ltd

Agent : Building Design Services

Officers Report

Recommendation: Approve subject to conditions

Background

Members of the Committee will recall that the planning application was deferred at the Planning Committee held on the 17th December 2016 to seek amendments to the proposal in respect of the following issues:-

- Lack of parking provision.
- Relocation of proposed external staircase.
- Reduction in the size of the proposed rear extensions.

The amended plans seek to address those issues.

Highway Safety/Parking Provision.

The original scheme did not provide any parking within the curtilage of the site. The applicant's agent has tried to accommodate parking provision within the site. Due to the constraints of the site of the site, it is not possible to provide a single space which would enable a vehicle to enter and leave the site in a forward gear. Members should be aware that officers during consideration of the proposal did not find any substantive evidence that the proposal would lead to a significant increase in on-street parking or have any consequential impact upon highway safety contrary to policies S1 of the Core Strategy. The Councils Highway Engineers were also consulted and had no objections to the proposal.

External Staircase

The applicant has looked at alternative locations for the staircase, which provides access to the first floor, this has included an internal staircase. The applicant has advised that whilst an internal staircase could be accommodated, this would lead to a loss of one of the residential units which

would not make the scheme viable. In order to overcome the Committee's concerns over loss of privacy and overlooking the applicants have proposed a 'baffle' screen option would be approximately 1.8m in height. The case officer has assessed the amended plans in respect of design and also loss of privacy and overlooking and is satisfied that the proposal would not have unacceptable impact upon the residential amenity of neighbouring occupiers and would serve to protect the character of the existing building and conservation area in accordance with all the relevant policies contained within the Core Strategy, relevant Supplementary Planning Documents and the NPPF.

Rear Extensions

During consideration of the original application, Members raised concerns over the size and siting of the rear extensions and the potential for them to have an unacceptable impact on the neighbouring residential dwelling in respect of loss of light and overbearing. In order to address Members' concerns the Applicant has amended the single storey rear element of the proposal. The adjoining dwelling at No.545 Darwen Road, projects approximately 1.4m beyond the main rear elevation of the existing building. Whilst this is not an extension to a residential dwelling, the principles of the adopted House Extension SPD can be applied in this case. The House Extension SPD considers two storey rear extensions up to 4m in length on terraced properties to be acceptable. The proposed two storey element would project approximately 2.7m beyond the main rear elevation of No.545 Darwen Road and would not project beyond a 45 degree line taken from the midpoint of nearest habitable room window in the main rear elevation and is therefore considered to be acceptable. No amendments have been made to the size of the two storey element of the proposal.

In respect of the single storey rear extension, the length would remain the same in that it projects 2.5m beyond the proposed two storey element and approximately 5.2m along the common boundary with No.545 Darwen Road. Whilst single storey extensions of this length are normally not considered acceptable there is an existing brick wall approximately 1.93m in height which runs the full length of the boundary and also a smoking shelter located in the corner of the site adjacent to No.545. The proposed single storey element would protrude approximately 0.7m above this and now has a hipped roof which slopes upwards and away from the common boundary, thus reducing the impact of the proposal on the occupiers of No.545 Darwen Road. Given the above, the orientation of the sun and that the proposed amendment to the single storey elements roof the proposal is considered acceptable.

Proposal

Planning permission is sought for the proposed change of use of the existing public house and a part two storey/part single storey extension at rear of the public House to form 4 no. self-contained flats including wrought iron walkway and balustrading at side. The existing single storey side element would be demolished in order to accommodate the proposal.

Flats 1 and 2 would be located on the ground floor and would have 2 bedrooms, whilst flats 3 and 4 would be located on the second floor and have one and two bedrooms respectively. Access to flat 1 would be via the existing front entrance, flat 2 via a side entrance with access to flats 3 and 4 being via a new external staircase and platform on the northern side elevation.

In order to accommodate the proposal there will be a new part single/part two storey rear extension. The proposed single storey element would extend the existing single storey rear element by approximately 2.5m to 5.2m in length (when measured along the common boundary with No.545). It would span the full width of the main rear elevation and would have a finished height of approximately 3.8m with a sloping roof. The proposed two storey element would sit directly above the proposed single storey element and would also span the full width of the main rear elevation. It would have an overall height of approximately 7.6m with a dual pitched roof.

The rear extensions would be constructed out of similar materials as the host building.

The external staircase and platform would be sited on the northern side elevation and would be constructed out of wrought iron.

There would also be a number of elevational alterations. These include the infilling of a window in the main front elevation and the insertion of an additional window and entrance door in the northern side elevation.

No car parking spaces are proposed within the site.

Site Characteristics

The application site comprises of a vacant two storey stone built public house. The ground floor of the property comprises of a drinking area, games room, bar, toilets and stores which formed part of the public house operation. To the first floor is the unoccupied former living quarters of the premises.

The site is located on Darwen Road, which is set in a predominantly residential area. Access to the first floor of the property is currently via an internal staircase within the public house. To the rear of the property, beyond the yard area of the public house is small access pathway and residential dwellings. Directly adjoining is a row of terraced residential dwellings, whilst to the north of the site is No.549 Darwen Road which is a residential dwelling.

Policy

National Planning Policy Framework

Core Strategy Policies:- S1 - Safe, P5 - Accessibility, CG3 - The Built Environment, CG4 Compatible Uses and OA6 - Kearsley and Little Lever.

Supplementary Planning Documents - Accessibility, Transport and Safety

Planning Control Policy Notes relating to Highway Considerations and Planning Out Crime.

Analysis

Section 38 of the Planning and Compulsory Purchase Act 2004 requires applications to be determined in accordance with policies in the Development Plan unless material considerations indicate otherwise.

Applications which are not in accordance with Development Plan policies should be refused unless material considerations justify granting permission.

Similarly, proposals which accord with Development Plan policies should be approved unless there are material considerations which would justify a refusal of permission.

It is therefore necessary to decide whether this proposal is in accordance with the Development Plan and then take account of other material considerations.

The main impacts of the proposal are:-

- * principle of development;
- * impact on the character and appearance of the surrounding area;
- * impact on the amenity of existing residents and future occupiers;
- * impact on highway safety/parking provision;

* impact on crime and the fear of crime.

Principle of Development

The National Planning Policy Framework (NPPF) identifies public houses as community facilities and makes it clear that their loss should be resisted. Paragraph 70 states that “planning policies and decisions should plan positively for the provision and use of shared space, community facilities (such as local shops, meeting places, sports venues, cultural buildings, public houses and places of worship) and other local services to enhance the sustainability of communities and residential environments” as well as “guard against the unnecessary loss of valued facilities and services, particularly where this would reduce the community’s ability to meet its day-to-day needs”.

As a community facility the loss of the public house should be resisted where possible, however, its reuse or redevelopment should be encouraged where there is a lack of demand for the existing use. The policy does not define community facilities but paragraph 70 of the NPPF makes it clear that public houses should be treated as community facilities. The Dunscar Arms public house has not been in operation for a number of months. Whilst no details of any expressions of interest have been provided, given the pub has remained vacant (albeit for a relatively short period of time) this would suggest there is a lack of demand for the existing use.

At the heart of national policy within the NPPF is a presumption in favour of sustainable development. The NPPF maintains the importance of supporting sustainable economic development and delivering homes (paragraph 17). Furthermore NPPF paragraph 51 sets out local planning authorities should identify and bring back into residential use empty housing and buildings in line with local housing and empty homes strategies. Given the property has been vacant, its conversion to apartments would be likely to maintain and potentially improve the appearance of the building.

Given the above, the proposed change of use is considered to be sustainable development in accordance with the principles set out in the NPPF and the relevant policies within the Council's Core Strategy.

Impact on the Character and Appearance of the Surrounding Area

Policy CG3 of the Core Strategy states that the Council will conserve and enhance local distinctiveness, ensuring development has regard to the overall built character and landscape quality of the area, and will require development to be compatible with the surrounding area, in terms of scale, massing, grain, form, architecture, street enclosure, local materials and landscape treatment. In addition, the Council will aim to conserve and enhance the heritage significance of heritage assets and heritage areas, recognising the importance of sites, areas and buildings of archaeological, historic, cultural and architectural interest and their settings.

Policy OA5 of the Core Strategy relates specifically to development in North Bolton and states that the Council will conserve and enhance the character of the existing physical environment, especially the conservation areas, the historic listed Smithills Hall and park and the historic townscape cores.

Regard should be had to relevant legislation (principally the Planning (Listed Buildings and Conservation Areas) Act 1990) and to national and local policy and guidance when considering the implications of the proposal. Such policy guidance includes the government's 'National Planning Policy Guidance' (NPPF). There is a need to have reference to the primary legislation (Planning (Listed Buildings and Conservation Areas) Act 1990) which should not be over-looked including as it sets out certain clear requirements:

(a) With respect to listed buildings, Section 66(1) of the Act states that decision makers must have "special regard to the desirability of preserving the building or setting or any features of special

architectural or historic interest which it possesses."

(b) Similarly, with respect to buildings or other land in conservation areas, Section 72 (1) of the Act states that "special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area."

These are fundamental legislative requirements that cannot be set to one side and it is particularly noted that this means decision-making regarding the historic environment is not just a case of balancing harm against benefit as is more the approach set out in the NPPF. The NPPF requires an appraisal of the conservation area to understand its character before testing the proposal against it. This effectively allows one to still 'preserve and enhance' the character of the area and building, but rather makes a clearer distinction on granting permission for development that specifically respects those elements of a conservation area that are of significance. Where proposals do not have a harmful impact on the significance of the heritage asset, they are by definition preserving it.

The application site is located on Darwen Road, which is located within the Dunscar Fold Conservation Area.

The proposed alterations to the building are listed comprehensively above. When taken as whole, the proposals represent appropriate changes that will serve to preserve the character of the existing building. Given that the proposed materials and external finishes would complement the existing building and would not unacceptably affect the appearance of the building, they are considered to thereby preserve the appearance of the existing building and conservation area and are considered acceptable when viewed in context with the existing building.

Given the nature of the proposals, it is considered that the proposed extensions would be an appropriate scale and would respect the existing building and with the combination of the proposed materials (a condition has been attached in respect of the external staircase) would be consistent with the design of the existing building and would serve to protect the character of the existing building and conservation area in accordance with all the relevant policies contained within the core strategy and relevant Supplementary Planning Documents and the NPPF.

Impact on the Amenity of Existing Residents and Future Occupiers

Policy CG4 of the Core Strategy has the objective of ensuring that proposal do not adversely affect the level of residential amenity neighbouring occupants can reasonably expect to enjoy.

Future Occupiers

All new development, alterations and extensions to existing buildings should provide potential users with a satisfactory level of amenity in terms of space, sunlight, daylight, privacy, aspect and layout. Development should not usually be permitted where it would have an unacceptable impact on the amenity of occupiers and users of other development.

The proposed flats are considered to be of an appropriate size to be functional and would provide any potential future occupiers with adequate living space. All of the habitable rooms within the flats are served by way of windows which would provide an adequate source of both light and outlook to these habitable rooms. It is therefore considered that the proposed flats are sufficient in size and design.

There would be a small area of communal open space formal open space to the side and rear of the property for the flats and there are areas of open space within walking distance of the site. In addition, the property is located on Darwen Road, which is within close proximity to a number of services and is in a sustainable location with access to regular public transport links. It is therefore

considered that the sustainability of the location and close proximity of open spaces mitigate the limited amount of open space contained within the curtilage of the property. Bin storage would be located in areas to the side of the building which would provide sufficient space for bin storage for the four proposed flats.

Neighbouring Residents

There are a number of residential dwellings adjoining and adjacent to the site. The proposed change of use to flats would result in the former Dunscar Arms public house being brought back into use from being vacant. The site is located on a busy main road location and there are residential properties both adjoining and adjacent to the site, however the use of the upper floors of the property as flats is not considered to unacceptably impact upon the residential amenity of these properties. In addition, it is considered the proposed use would not increase the potential for noise and disturbance than the previous use as a public house. As such any issues in this respect already exist and the proposal would not exaggerate this to an unacceptable degree. Conditions have been attached to ensure adequate sound insulation between the adjacent dwelling and each flat is incorporated into the scheme.

In respect of loss of privacy and overlooking adequate screening is provided at ground floor level by the existing stone boundary walls.

The existing window at first floor level in the side elevation would be relocated further towards the main rear elevation. Whilst this window would serve a habitable room it would only offer direct views towards the side gable end and front garden area of No.549 Darwen Road.

There would be both habitable and non-habitable room windows introduced into the main rear elevation of the two storey rear extension at first floor level. A distance of approximately 6m would be maintained to the rear boundary and these windows would directly face the blank side gable end of No.1 Dunscar Fold. In respect of the other windows these are existing and are sited in positions which would not result in an unacceptable loss of privacy and overlooking to neighbouring residents.

The proposed external staircase would be sited to the side of the building to provide access to the flats at first floor level. Whilst the impact on privacy is acknowledged, it is noted that the staircase would only provide access to the flats and would therefore not be used as intensively as say a balcony or raised platform. In addition, whilst there would be views from the stairs into the adjacent front garden area (which can also be viewed from Darwen Road), these would be fleeting and only on access and egress to the property.

It is not considered that the external staircase would cause any unacceptable and significant impact on privacy of the adjoining dwellings.

In respect of loss of light/overbearing, the adjoining dwelling at No.545 Darwen Road, projects approximately 1.4m beyond the main rear elevation of the existing building. Whilst this is not an extension to a residential dwelling, the principles of the adopted House Extension SPD can be applied in this case. The House Extension SPD considers two storey rear extensions up to 4m in length on terraced properties to be acceptable. The proposed two storey element would project approximately 2.7m beyond the main rear elevation of No.545 Darwen Road and is therefore considered to be acceptable.

In respect of the proposed single storey element this would project approximately 5.2m along the common boundary. The existing single storey element projects 2.7m. Whilst single storey extension of this length are normally not considered acceptable there is an existing brick wall approximately 2.1m in height which runs the full length of the boundary and also a smoking shelter located in the

corner of the site adjacent to No.545. Given the above, the orientation of the sun and that the proposed single storey element has a sloping roof which reduces in height the further it projects along the common boundary with No.545, the proposal is considered acceptable.

Adequate separation would also be maintained to the adjacent dwelling at No.549 Darwen to prevent any unacceptable impact upon their residential amenity.

There are no principal habitable room windows in neighbouring dwellings that would directly face the proposed rear extensions.

As such, it is not considered that the proposal would result in an unacceptable impact upon of the residential amenity of neighbouring occupiers in accordance with policy CG4 of the Council's Core Strategy.

Impact on Highway Safety/Parking Provision

No parking is provided within the curtilage of the development due to the constraints of the site. The site was formerly in use as a public house, with living quarters on the upper floor. Notwithstanding the likely traffic generation from the proposal, having regard to the nature of the previous use on site, which could have given rise to significant trip numbers if in full use, the Local Planning Authority consider it unlikely that the proposal would lead to a significant increase in potential vehicles using the site. It is however noted that there are a number of streets and areas further along Darwen Road which allow for unrestricted on street parking. Therefore, even if the use were to lead to an increase in vehicles using the site, and taking into account increased parking from residents in the evening, there appears to be some capacity to accommodate an increase in on-street parking in the local area.

In addition, the site is located within an accessible location which is served by good public transport links allowing for trips on foot and public transport. The Councils Highway Engineers have been consulted and have no objections to the proposal, subject to a number of conditions. Consequently, the Local Planning Authority find no substantive evidence that the proposal would lead to a significant increase in on-street parking or have any consequential impact upon highway safety in accordance with policies S1 of the adopted Core Strategy.

Impact on Crime and the Fear of Crime

Flat 1 would be accessed via the door on the front elevation. Given the location of the door there would be a high level of natural surveillance from Darwen Road, with the proposed entrance being overlooked by passing traffic, pedestrians and neighbouring properties.

Flat 2 and the two first floor flats would be accessed via a door at the side of the property which is accessed via the side entrance. Whilst not entirely desirable to have an access from the side of the building with restricted natural surveillance, there is activity in the immediate area due to the busy Darwen Road. The proposed plans show external lighting is proposed on the side elevation. A condition has been attached requesting further details of external lighting to ensure it is fit for purpose.

In addition as the proposal is a residential conversion of an existing building rather than a new build this access arrangement, is on balance considered acceptable. Given the above and subject to a condition requiring the lighting measure to be incorporated in the proposal, it is considered that the proposal is in accordance with policy S1 of adopted Core Strategy.

Other Issues

The site is within an area defined by the Coal Authority as high risk. The applicants have provided a

Coal Mining Risk Assessment which has been reviewed by the Coal Authority and who has advised that they have no objections to the proposal.

Conclusion

The proposed alterations to the site would complement the host building and the surrounding area without compromising existing/future occupiers and adjoining uses or highway safety. The proposal complies with policy and is recommended for approval subject to conditions.

Representation and Consultation Annex

Representations

Letters:- One letter has been received in response to the planning application publicity and which has raised the following issues:- (i) the development is incompatible with the area and (ii) the external works and structures will infringe upon the residents of the Dunscar Fold Conservation Area (iii) the proposed use would increase traffic congestion and would impact on highway safety.

The above issues have been addressed in the appraisal.

Elected Members:- None

Consultations

Advice was sought from the following consultees: Highway Engineers, Design for Security, Coal Authority and Pollution Control.

Planning History

None Relevant

Recommendation: **Approve subject to conditions**

Recommended Conditions and/or Reasons

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason

Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.
2. Before the development hereby approved is first brought into use a scheme shall be submitted to and approved in writing with the Local Planning Authority for external security lighting for flats 2, 3 and 4. The lighting shall be designed to an illumination value of 5 lux at the facades nearest residential property. No other lighting equipment may then be used withi the development other than as approved by the Local Planning Authority. The approved scheme shall be implemented in full before the development is first brought into use and retained thereafter.

Reason

To minimise light intrusion to the residential amenity of the area from the increase and alteration of commercial, industrial and recreational uses in the area.
3. Prior to the commencement of development hereby approved, all developer obligations shall be fulfilled to enable the Local Highway Authority to carry out a review of Traffic Regulation Orders in the locality and to enable the Local Highway Authority to consult, advertise, promote and implement Traffic Regulation Orders to mitigate the likely impact of the development.

Reason

In the interests of highway safety.
4. Prior to the commencement of development full details of the highway works at Darwen Road comprising of a bus stop clearway shall be submitted to and approved in writing by the Local

Planning Authority. The approved scheme shall be implemented in full prior to the development being first brought into use and retained thereafter.

Reason

In the interests of highway safety.

5. Prior to the commencement of the development full details of the colour and materials of the staircase hereby approved shall be submitted to and approved in writing by the Local Planning Authority. The staircase shall be powder coated in the approved colour prior to installation and shall be maintained as such thereafter.

Reason

To safeguard the amenity of the area.

6. Prior to the commencement of development full details of the colour and materials of the staircase hereby approved shall be submitted to and approved in writing by the Local Planning Authority. The staircase shall be powder coated in the approved colour prior to installation and shall be maintained as such thereafter.

Reason

To safeguard the amenity of the area.

7. No development shall take place unless and until a scheme to acoustically insulate the floor(s)/ceiling(s) between Ground Floor and First Floor in line with guidance in Section 5 of Building Regulations 2000, Approved Document E, has been submitted to and approved by the Local Planning Authority. Such works that form the approved scheme shall be completed before the commencement of the use and retained thereafter.

Reason To minimise impact of noise disturbance on the residential amenity of the area.

8. No development shall take place unless and until a scheme to acoustically insulate the party walls between all rooms in each flat in line with guidance in Section 5 of Building Regulations 2000, Approved Document E, has been submitted to and approved by the Local Planning Authority. Such works that form the approved scheme shall be completed before the commencement of the use and retained thereafter.

Reason To minimise impact of noise disturbance on the residential amenity of the area.

9. Prior to the development hereby approved being first occupied or brought into use, all Traffic Regulation Orders required by the Local Highway Authority to mitigate the impact of the development shall be implemented in full.

10. The development hereby permitted shall be carried out in complete accordance with the following approved plans:

06 - Location Plan dated 2015

03 - Existing Elevations dated 01.05.2015

01 Rev A - Existing Plans dated 15.02.2015

04 - Proposed Elevations Rev A dated 01.05.2015

02 - Proposed 4 x 1/2 bed Rev A dated 02.03.2015

05 - Site Plan dated 18.02.2015

Reason

For the avoidance of doubt and in the interests of proper planning.

11. The external surfaces of the rear extensions hereby permitted shall be of a similar colour, texture and size of those of the existing building, and shall be retained thereafter.

Reason

To ensure the development visually reflects the existing building.

General Notes :

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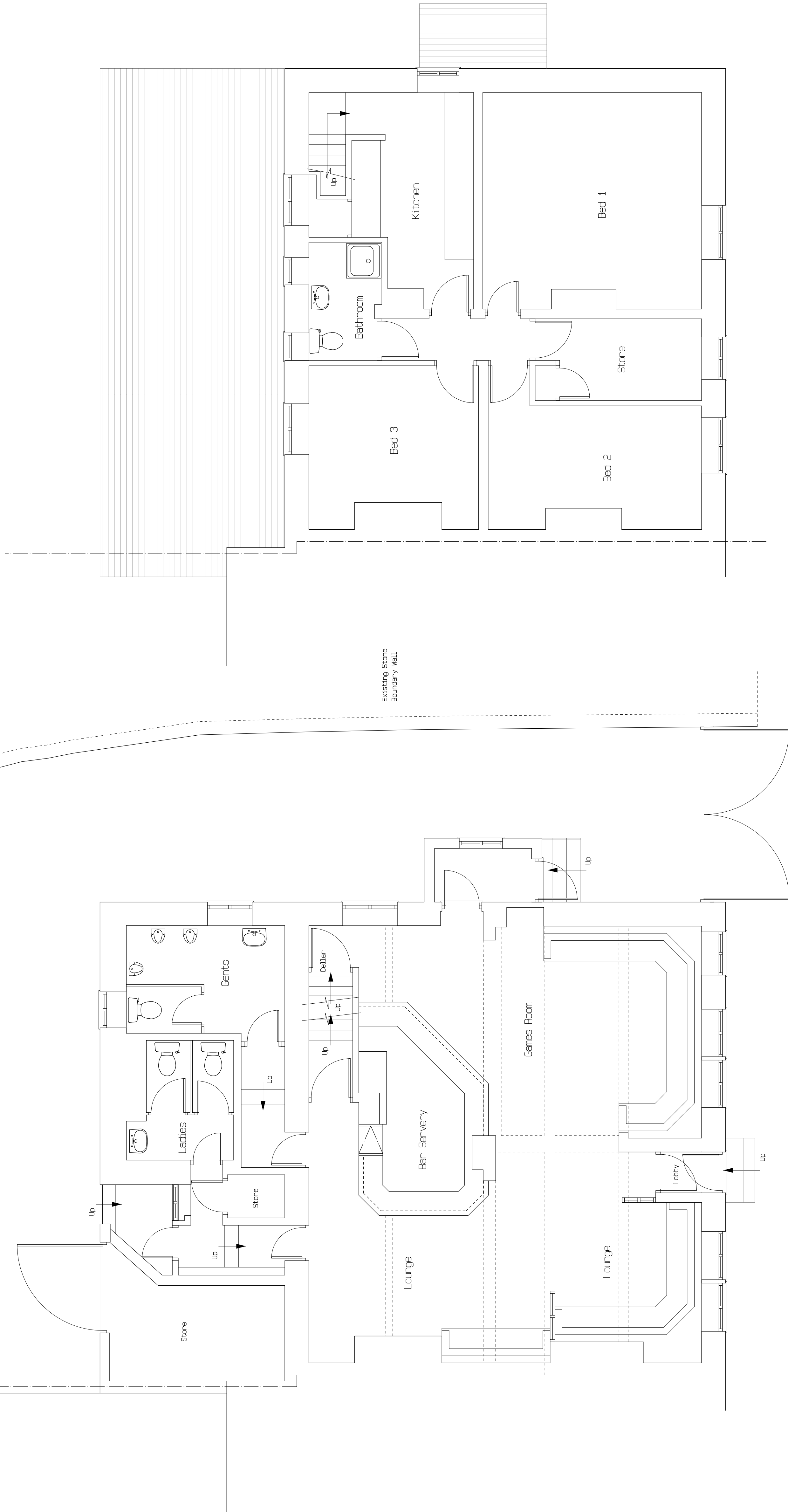
All Levels to be checked on site by the Contractor and any discrepancies to be referred back to the Architect / Technologist before proceeding with any work.

All component sizes and references to be checked with the manufacturer prior to ordering any materials.

The positions and designation of any Monobats for Foul, Surface Water on Combined Drainage runs on site to be checked and traced by the Contractor, and confirmed prior to commencement of any new drainage works.

Any existing drainage runs with additional connections are to be made, to be checked as necessary to ensure they are suitable to accommodate any additional capacity and the type of effluent being connected to.

All relevant Boundary positions to be checked prior to proceeding with any Building Construction, and all necessary Party Wall agreements entered into prior to the commencement of any Building works.



Existing First Floor

A	Boundaries Added	18.02.15 J. C.
Rev	Comment	Date Initials

<h1>BUILDING DESIGN SERVICES</h1> <p><i>Chartered Architectural Technologist</i></p>	
<p>30 Hatford Close, Brighton, Bolton, BL2 6TN. Tel : 01204 - 383793. Mob : 07966 : 211995. Jeff.bds93@hotmail.co.uk</p>	
Client :	Oscar Developments Ltd.
Project :	The Dunsicar Arms, Darwen Road, Bromley Cross.
Drawing :	Drawn : J. C.
Existing Plans	Date : 15.02.2015.
	Scale : 1:50 @ A1 - 1:100 @ A3
Job Number :	21315
	Drawing Number : 01 Rev : A

General Notes :

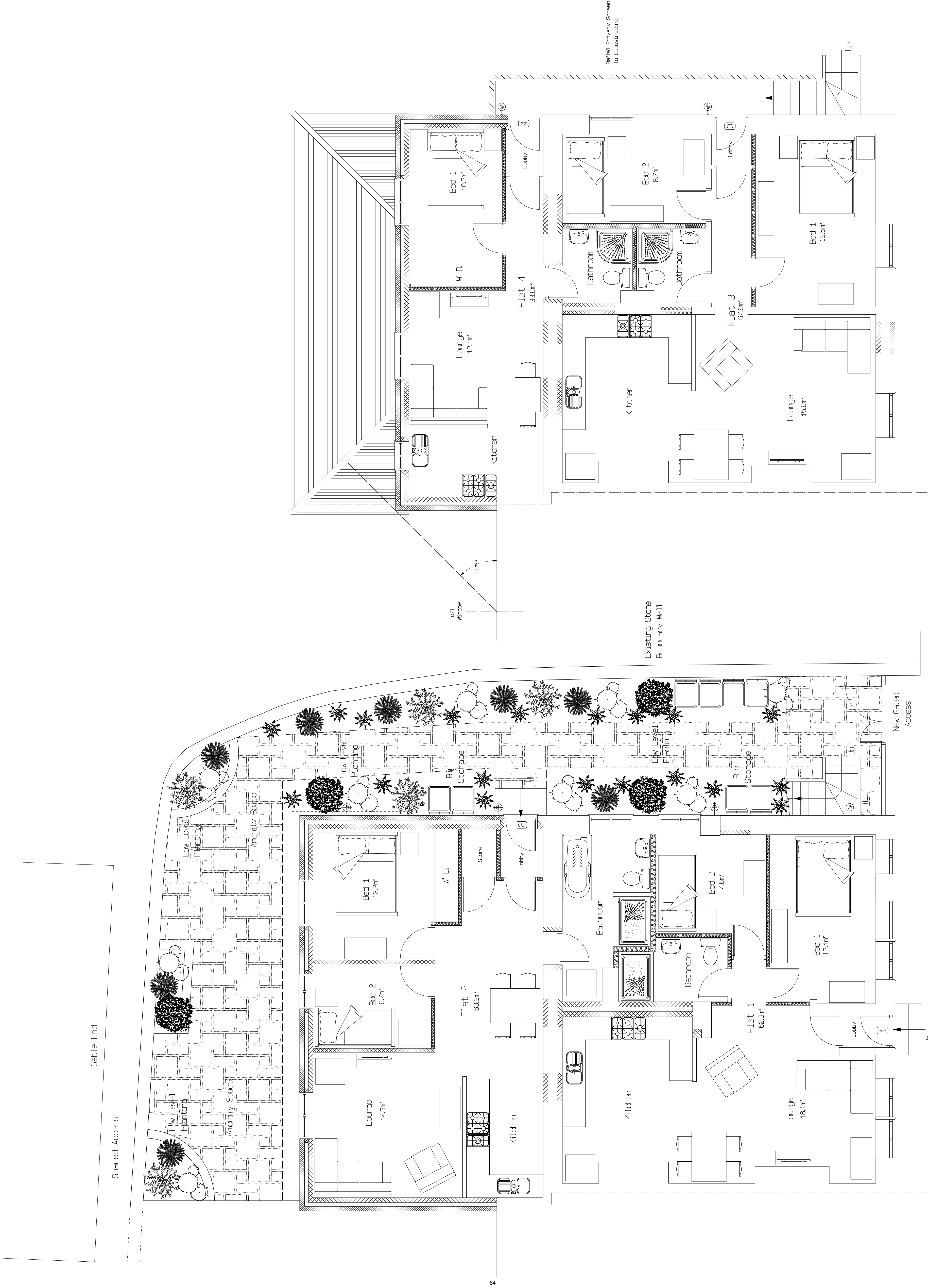
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All component sizes and references to be checked with the manufacturer prior to ordering any materials. The positions and designation of any Nipples for Fall, Surface Water or Combined Drainage runs on site to be checked and traced by the Contractor, and confirmed prior to commencement of any new drainage works. Any existing drainage runs to which additional connections are to be made, to be checked as necessary to ensure they are suitable to accommodate any additional capacity and the type of effluent being connected.

All relevant Boundary positions to be checked prior to proceeding with any Building Works, and all necessary Party Wall agreements entered into prior to the commencement of any Construction.



Proposed Ground Floor

Proposed First Floor

A	Amended to suit Planners	20.01.16 J. C.
Rev	Comments	Date Initials

BUILDING DESIGN SERVICES
Chartered Architectural Technologist

10 Harpford Close, Brightonmet,
Bolton. BL2 6TN.
Tel : 01204 : 383293. Mob : 07966 : 211995.
jeff.bds93@hotmail.co.uk

Client :	Oscar Developments Ltd.
Project :	The Dunscur Arms, Darwen Road, Bramley Cross.
Drawing :	Proposed 4 x 1 / 2 Bed
Drawn :	J. C.
Date :	02.03.2015.
Scale :	1:50 @ A1 - 1:100 @ A3
Job Number :	21315
Drawing Number :	02 Rev : A

General Notes :

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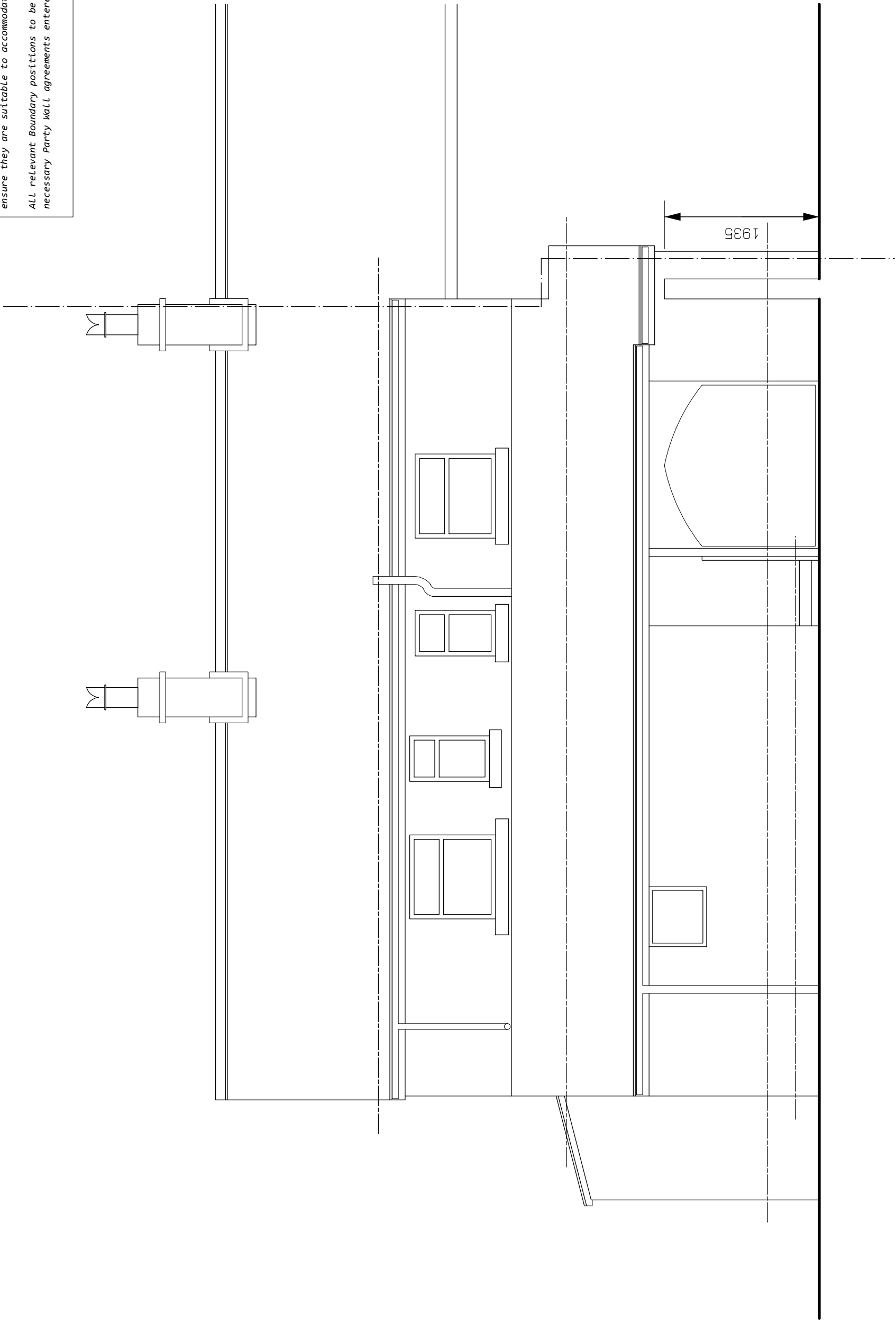
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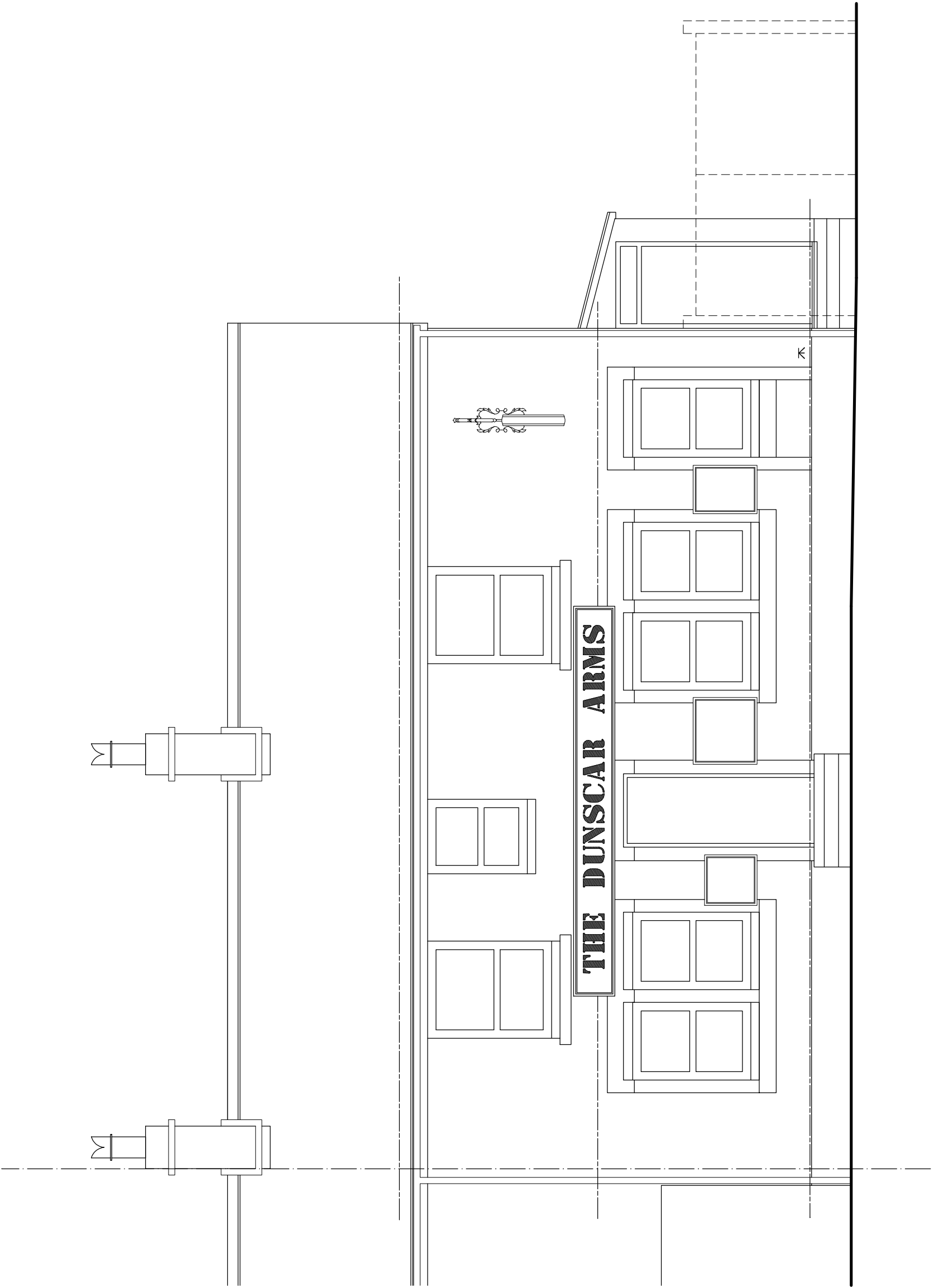
All component sizes and references to be checked with the manufacturer prior to ordering any materials.

The positions and designation of any Manholes for Foul, Surface Water or Combined Drainage runs on site to be checked and traced by the Contractor, and confirmed prior to commencement of any new drainage works. Any existing drainage runs to which additional connections are to be made, to be checked as necessary to ensure they are suitable to accommodate any additional capacity and the type of effluent being connected.

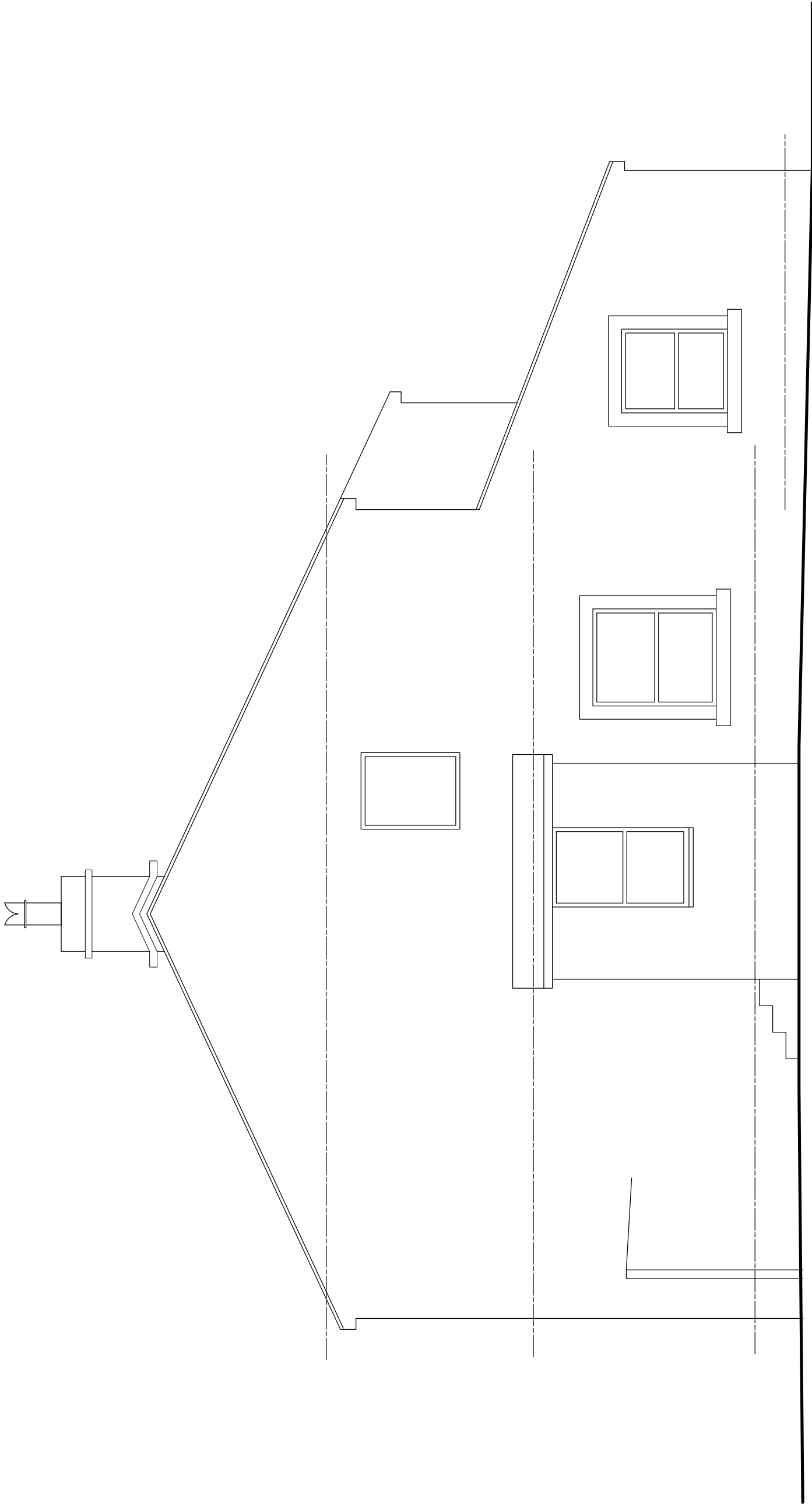
All relevant Boundary positions to be checked prior to proceeding with any Building Works, and all necessary Party Wall agreements entered into prior to the commencement of any Construction.



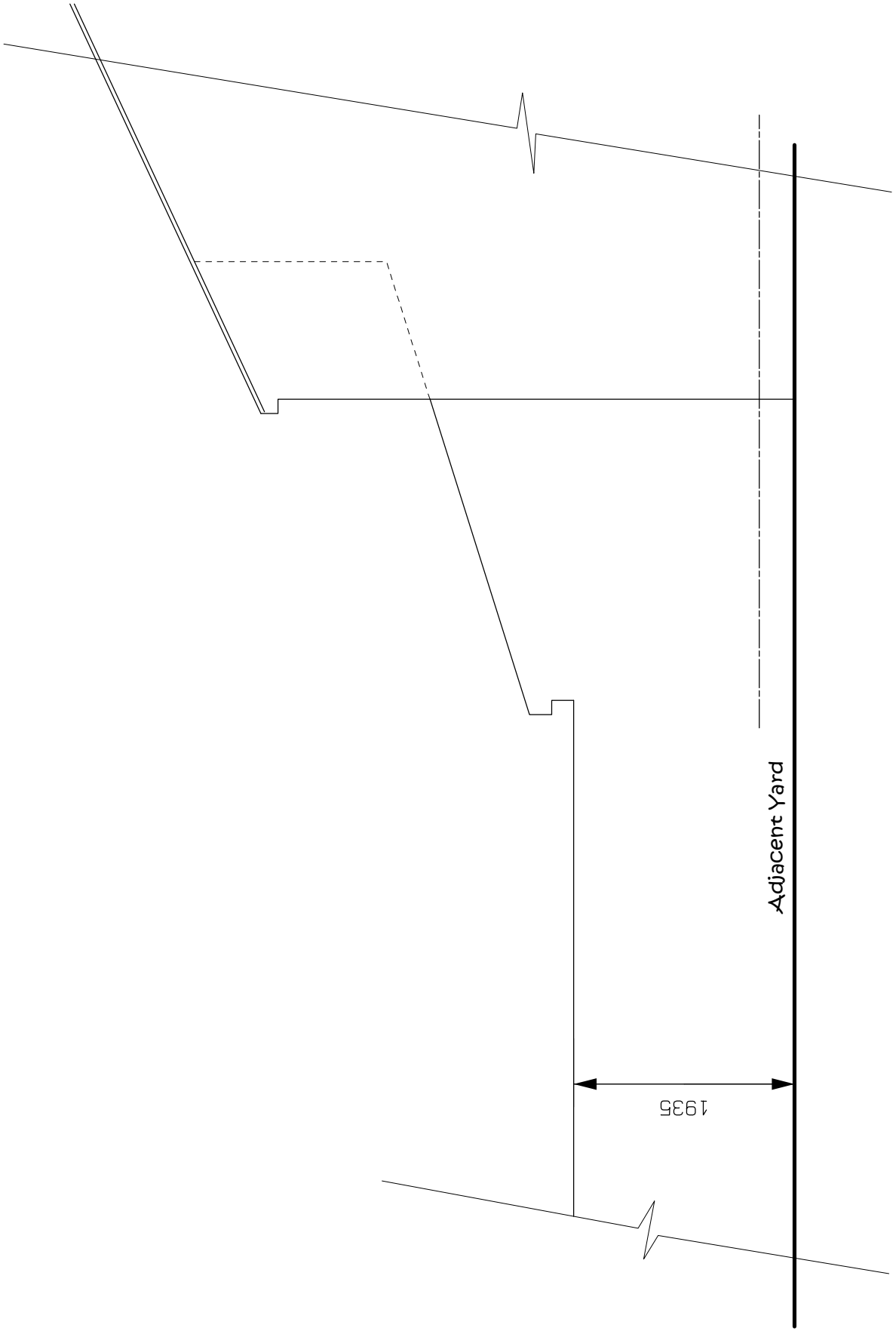
Existing Rear Elevation



Existing Front Elevation



Existing Side Elevation



Existing Side Elevation

A	Amended to Suit Planners	20.01.16 J. C.
	Drawn : J. C.	Date : 01.03.2015.
BUILDING DESIGN SERVICES <i>Chartered Architectural Technologist</i>		
10 Harpford Close, Brightonmet, Bolton, BL2 6TN. Tel : 01204 : 383293, Mob : 07966 : 211995. jeff.bds93@hotmail.co.uk		
Client : Oscar Developments Ltd.		
Project : Dunscar Arms, Darwin Road, Bromley Cross.		
Drawing : Existing Elevations		
Job Number : 21315		
Scale : 1:50 @ A1 - 1:100 @ A3		
Drawing Number : 03 Rev : A		

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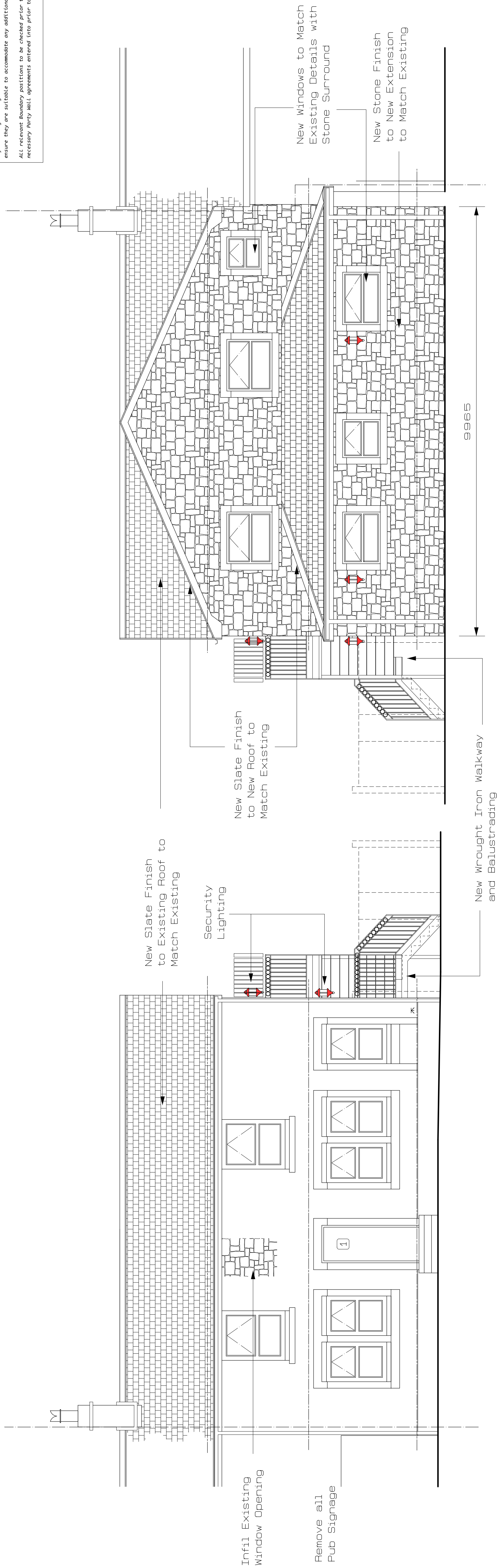
Do not scale off this drawing, all dimensions to be checked on site by the Contractor and any discrepancies to be referred back to the Architect / Technologist before proceeding with any work.

All levels to be checked on site by the Contractor and any discrepancies to be referred back to the Architect / Technologist before proceeding with any work.

All component sizes and references to be checked with the manufacturer prior to ordering any materials.

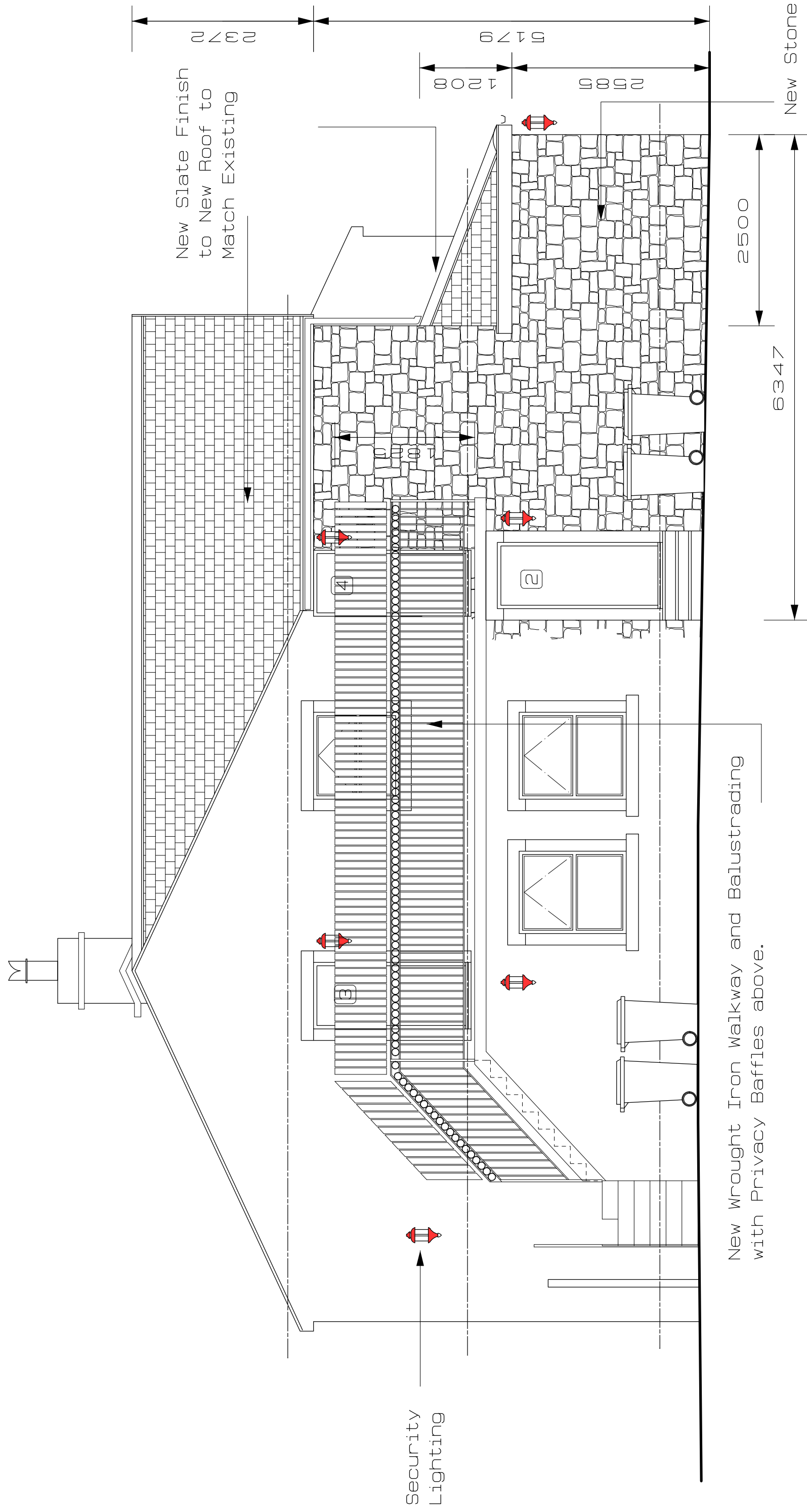
The positions and designation of any Memholes for Fall, Surface Water or Combined Drainage runs on site to be checked and traced by the Contractor, and confirmed prior to commencement of any new drainage works. Any existing drainage runs to which additional connections are to be made, to be checked as necessary to ensure they are suitable to accommodate any additional capacity and the type of effluent being connected.

All relevant Boundary Positions to be checked prior to proceeding with any Building Works, and all necessary Party Wall agreements entered into prior to the commencement of any Construction.

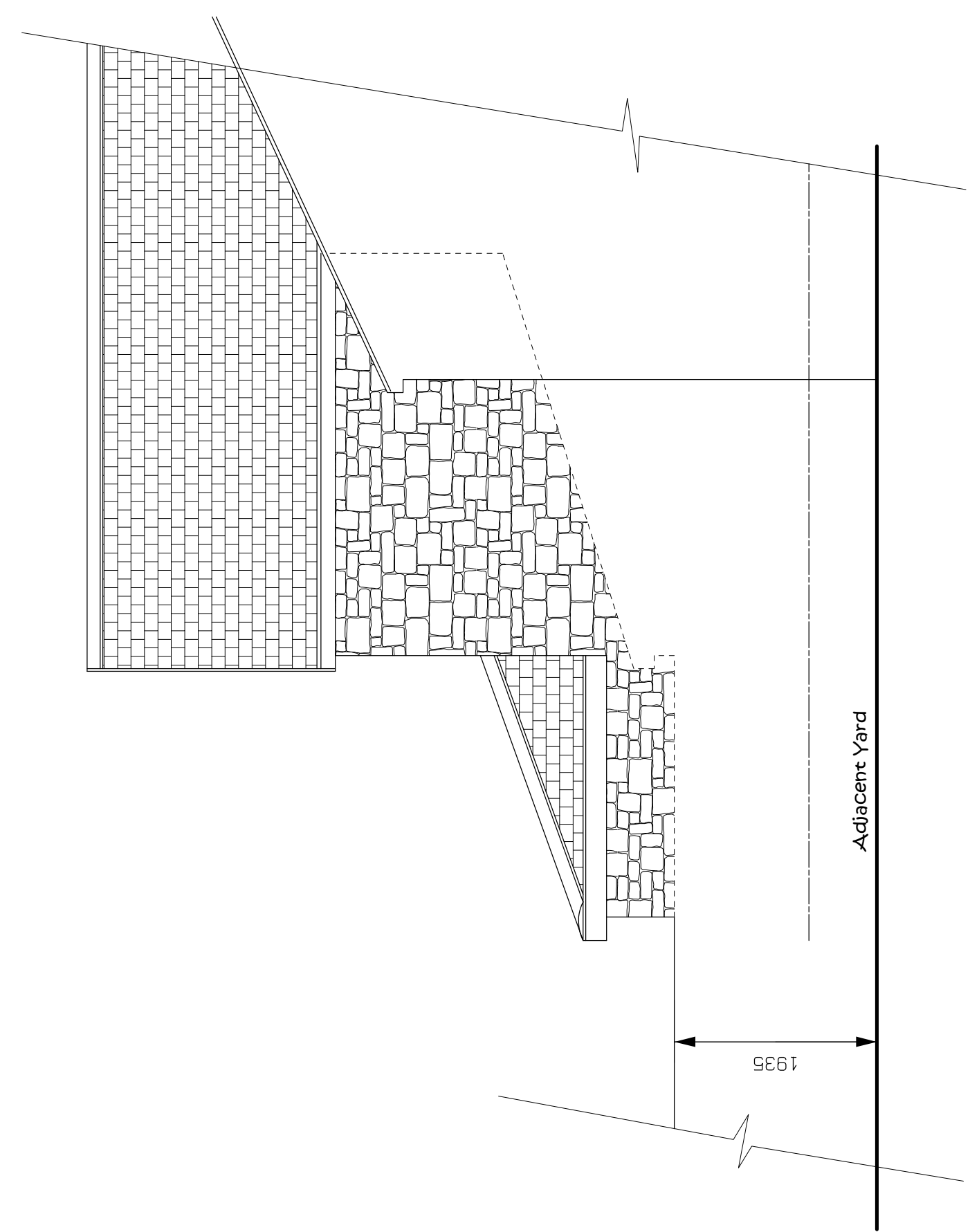


Proposed Front Elevation

Proposed Rear Elevation



Proposed Side Elevation



Proposed Side Elevation

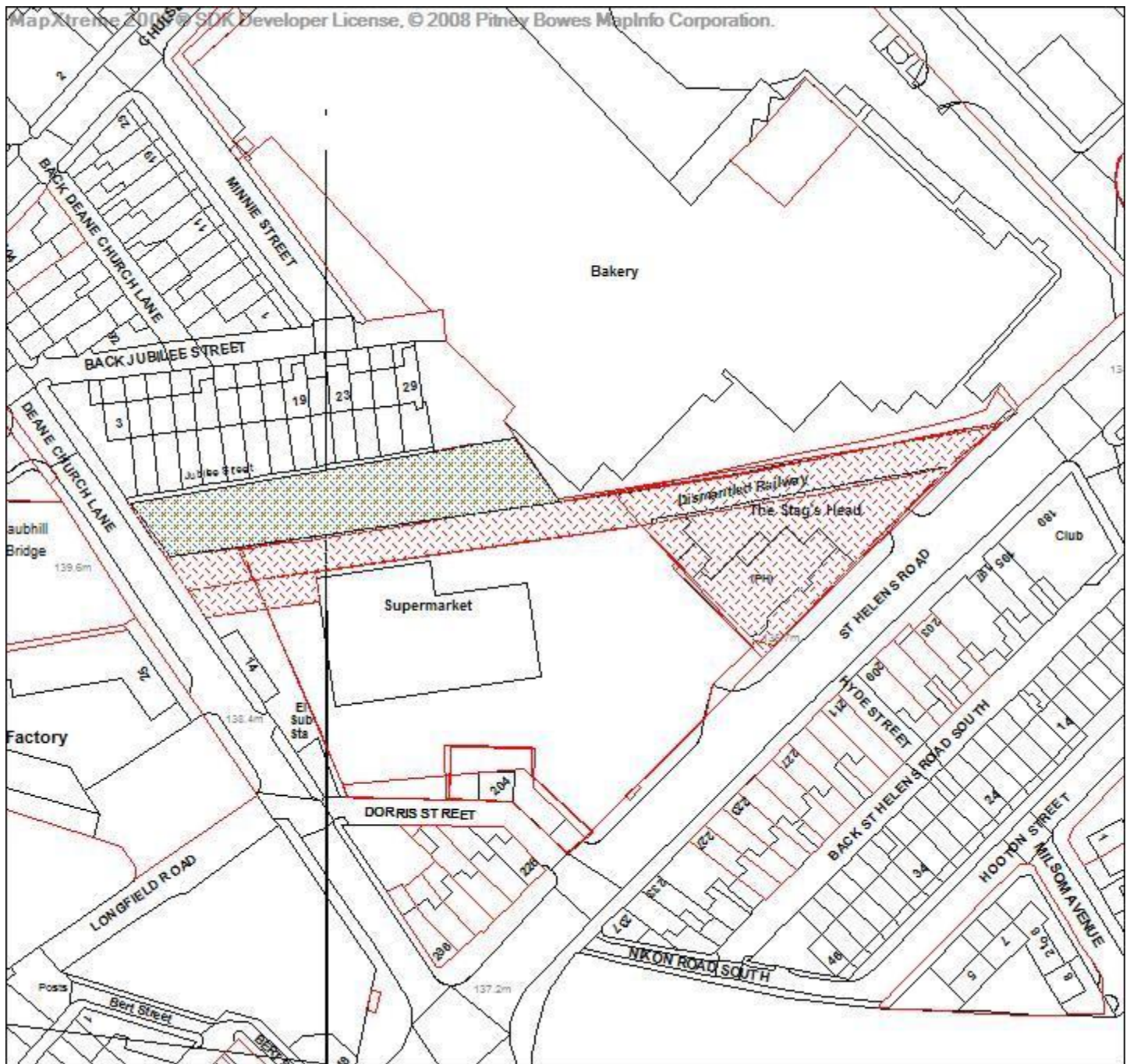
A Amended to Suit Planners
Date 20.01.16 J. C.
Initials

BUILDING DESIGN SERVICES
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Tel : 01204 : 383293, Mob : 07966 : 211995.
jeff.bds93@hotmail.co.uk

Client :	Oscar Developments Ltd.
Project :	Duns-car Arms, Darwin Road, Bromley Cross.
Drawing :	Proposed Elevations
Drawn :	J. C.
Date :	01.03.2015.
Scale :	1:50 @ A1 - 1:100 @ A3
Job Number :	21315
Drawing Number :	04 Rev : A

Application number 95030/15



Development & Regeneration Dept
Development Management Section

Town Hall, Bolton, Lancashire, BL1 1RU
Telephone (01204) 333 333

Bolton Council

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Date of Meeting: 10/03/2016

Application Reference: 95030/15

Type of Application: Full Planning Application
Registration Date: 24/11/2015
Decision Due By: 18/01/2016
Responsible Officer: Jeanette Isherwood

Location: 200 ST HELENS ROAD, BOLTON, BL3 4EB

Proposal: CHANGE OF USE FROM PUBLIC HOUSE TO A FUNCTION AND CONFERENCE FACILITY ON GROUND FLOOR AND OFFICES ON FIRST FLOOR TOGETHER WITH DORMER AT REAR, SINGLE STOREY REAR EXTENSION AND CAR PARKING TO LAND AT REAR INCLUDING ERECTION OF LIGHTING

Ward: Rumworth

Applicant: Mr Ali
Agent : Smusa1

Officers Report

Recommendation: Refuse

Background

The proposal is a resubmission of an almost identical scheme that was refused under delegated powers on 6th July 2015 under reference 93685/15. The application was refused for the following reasons:-

- The proposed development will increase noise and activity in and around the premises, along with increased light pollution from the floodlights, to the detriment of the living conditions of nearby residents and is contrary to Policy CG4 of Bolton's Core Strategy and Planning Control Policy Note No.16 - Floodlighting.
- The proposal makes insufficient provision for car parking in connection with the proposed development which is likely to result in on-street traffic and parking problems, to the detriment of highway safety, and is thus contrary to Policies S1 and P5 of Bolton's Core Strategy.
- The proposed development would be contrary to Policy CG1.2 of Bolton's Core Strategy in that it would be likely to result in damage to and ultimately the unacceptable loss of trees from the site, to the detriment of the character, appearance and amenity of the application site and the area in which it is set.

Enforcement History

The Council first received complaints regarding the change of use of the premises - and the formation of a car park with floodlighting - in June 2014. The complaints centred around noise

disturbance from the venue, traffic noise from the unauthorised car park together with light disturbance with the introduction of floodlighting to the rear and the unauthorised removal of trees. All the works were unauthorised and without the benefit of planning permission. A planning application to regularise the breach was not submitted and, therefore, on 6th November 2014 the Council served an Enforcement Notice. The Notice became effective on 11th December 2014 and required the owner to take the following steps:

- i. Permanently cease to use the premises (marked "A" on the attached site plan) as a functions and conference venue.
- ii. Permanently cease to use the land (within the hatched area on the attached site plan) for the parking of motor vehicles.
- iii. Permanently dismantle and remove from the land, to an authorised place of disposal, all lighting columns and floodlights shown for identification purposes on photograph 1 marked "B", "C", "D" and "E" and within the hatched area on the attached plan.
- iv. Remove all the deposited aggregate material which forms the hardstanding, to an authorised place of disposal, shown for identification purposes on photograph 2 marked "F" and within the hatched area in the attached plan, to a maximum depth of 300mm.
- v. Replace the removed aggregate material with 200mm of subsoil to be rotovated to a depth of 150mm to break up compaction and to remove stones larger than 50mm including rubble contaminants, top off with 100mm of top soil and re-seed it with grass. All removed contaminants to be taken to an authorised place of disposal.

Steps (i) and (ii) should have been complied with within 24 hours after the notice took effect; step (iii) within 30 days; step (iv) within 3 months; step (v) within 6 months. The Notice should have been fully complied with by 11th June 2015. However the owners have failed to comply with any of the requirements of the Notice.

In the interim period, the Council accepted two planning applications from the owner in an attempt to regularise the situation. The first application was withdrawn whilst the second application was refused, as per the above details.

Enforcement Officers have advised the owners that they should appeal against the decision to refuse the second planning application (93685/15) or the Council would begin preparing papers for prosecution for non-compliance with the Enforcement Notice. However, the owners did not appeal against the decision. Papers for prosecution have been prepared and it would be usual practice for the Council to now lodge those papers in the magistrates court. However, this process has been held in abeyance whilst this planning application is determined.

It is a criminal offence to contravene the requirements of a valid Enforcement Notice. The maximum penalty is a fine up to £20,000. Furthermore, as the owner has been operating the business since 11th June 2015, in contravention of the Enforcement Notice, Officers believe that the Council would stand a reasonable chance of gaining substantial costs from the owner by virtue of the Proceeds of Crime Act (POCA) as it is highly likely that the owner has benefited financially from the criminal offence.

Proposal

The application proposes to retain a change of use from a public house (A4) to a wedding hall/conference facility (D2) on the ground floor and offices (B1) on the first floor, together with 1 no. dormer at the rear, a single storey rear extension and car parking to land at the rear. The repositioning of 5 metre high floodlighting is also proposed.

The proposed car park is in situ and the floodlighting already in use.

The application proposes an increase in staff from 2 part time employees to 22 full time employees.

The hours of opening for the offices are proposed at 9:00am - 5:00 pm Monday to Saturday

The hours of opening of the venue are 5:00pm to 11:30pm Monday to Sunday including bank holidays.

Site Characteristics

The Manor is located on St Helen's Road and was formerly The Stags Head Public House. A small car park is to the side of the property; it is accessed directly from St Helen's Road. The area contains a multitude of uses some commercial, some residential. Asda supermarket adjoins the site to the south west. A parking area separates the respective buildings. Opposite is a row of terraces containing a number of retail uses interspersed with residential occupations. To the north is an industrial unit together with a row of terraced properties on Jubilee Street. These properties are sited behind the disused railway embankment and are therefore set at a higher level.

To the west is a traffic light controlled junction at Deane Church Lane and Hudson Road. Regular bus services run along St Helen's Road providing links into and out of Bolton town centre.

Policy

National Policy Framework

Bolton Core Strategy Policies: CG1 Green Bolton; CG3 Design and the Built Environment; CG4 Compatible Uses; RA1 Inner Bolton; P5 Accessibility; S1 Safe Bolton.

SPD General Design Principles

Analysis

Section 38 of the Planning and Compulsory Purchase Act 2004 requires applications to be determined in accordance with policies in the Development Plan unless material considerations indicate otherwise.

Applications which are not in accordance with Development Plan policies should be refused unless material considerations justify granting permission.

Similarly, proposals which accord with Development Plan policies should be approved unless there are material considerations which would justify a refusal of permission.

It is therefore necessary to decide whether this proposal is in accordance with the Development Plan and then take account of other material considerations.

The main impacts of the proposal are:-

The main impacts of the proposal are:-

- * principle of converting a public house
- * impact on the character and appearance of the area
- * impact on residential amenity
- * impact on parking provision
- * impact on protected trees.

Principle of Converting a Public House

There are no planning restrictions which require the property to remain as a public house, therefore its use needs to satisfy the relevant national and local policies.

Impact on the Character and Appearance of the Area

The National Planning Policy Framework states that planning should always seek to secure high quality design and a good standard of amenity for all existing and future occupants of land and buildings. The Government attaches great importance to the design of the built environment. Good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people.

Core Strategy Policy CG3 seeks to ensure that development proposals display innovative, sustainable design that contributes to good urban design, respects and enhances local distinctiveness, and has regard to the overall built character and landscape quality of the area. Proposals should also be compatible with the surrounding area, in terms of scale, massing, grain, form, architecture, street enclosure, local materials and landscape treatment including hard and soft landscaping and boundary treatment. Historical associations should be retained where possible. Policy RA1 relates to Inner Bolton and states that the Council will ensure that development has particular regard to massing and materials used.

The proposed rear extension is of irregular, triangular shape, 12.378 metres wide and 13.569 metres long incorporating a flat roof. Although large in size the proposal is relative to the size of the plot and sited to the rear, not particularly visible from any public vantage point. The property has a distinct 'Tudor style' design using a beam effect and render with the new extension continuing this.

The proposed dormer is situated to the rear and does not overlook any residential accommodation. The style of the dormer is one small individual, dual pitched dormer of the same material and design as the existing building.

The proposed extension and dormer are not considered to have a detrimental impact on the character and appearance of the area and are considered to comply with policies CG3 and RA1 of Bolton's Core Strategy.

Impact on Residential Amenity

Policy CG4 of the Core Strategy states that the Council will ensure that new development is compatible with surrounding land uses and occupiers, protecting amenity, privacy, safety and security, and does not generate unacceptable nuisance, odours, fumes, noise or light pollution.

Section 6 of SPD "General Design Principles" provides policy guidance regarding the siting and operation of floodlights. The floodlights are sited approximately 30 metres from the fronts of properties on Jubilee Street. Although there is a ground level difference, the height and angle of the lights are on a level with the ground floor windows of these properties. The Council's recommended guidelines for use at this distance (20 to 34 metres) are as follows:-

- 09.00 and 21.00 Monday to Friday,
- 09.00 and 18.00 Saturdays and
- 09.00 and 17.00 Sundays for a temporary period of one year in order to monitor the impact upon residential properties nearby.

The positioning of the current floodlighting has been amended and detailed as 'facing away' from the

properties on Jubilee Street (however this is not yet apparent on site). However the use of the lights remains contrary to section 6 of the SPD and the new position of the floodlighting brings it closer to the properties to the rear on Jubilee Street.

The Council's Pollution Control Officers were consulted and had no objections subject to conditions regarding the following:-

- Possible ground contamination
- Lighting Lux levels
- Filtration methods for cooking odours
- Restrictions to opening hours and deliveries

Notwithstanding the above, the Environmental Health Officer commented further that the applicant had submitted insufficient information to demonstrate if the specifics of the proposed lighting condition could actually be met. There has been no detailed information submitted as to the new position of the lighting (only that it will be closer to residential properties) to fully assess if the current issues can actually be addressed in the new location with redirection.

The wedding venue is to be in use until 23:30, 7 days a week.

The new proposal was to address the issues of disturbance to the residents of Jubilee Street. As such the rear parking area has now been suggested as an 'informal' parking area for staff. However, if staff were to use this car park area to the rear this would still result in disturbance to the neighbours when leaving the venue upon its closure.

Officers do not consider that the amendments to the previous application have successfully addressed previous issues with regard to impacts on nearby residents and it therefore remains contrary to CG4 of Bolton's Core Strategy.

Impact on Parking Provision

Core Strategy policy S1 seeks to promote road safety in the design of new development. Core Strategy policy P5 seeks to ensure that development is accessible by different types of transport, prioritising pedestrians, cyclists and public transport over the motorised vehicle.

The site is situated on St Helens Road, a busy thoroughfare between Bolton and Westhoughton. The proposal details an increase in parking from 6 spaces to 22 and includes the provision of an informal staff parking area to the rear, adjacent to the embankment.

The Highways and Engineers Officers were consulted with their comments as follows:-

As with the previous application 93685/15, there would be insufficient turning space at the end of the informal staff parking area to allow vehicles to turn. This would result in inconvenience and possible underuse of the spaces, which would be exacerbated by the lack of formal car park space markings. In addition, as with the previous application, it is considered that the amount of parking for visitors would be insufficient to cater for the numbers of visitors to the large venue.

On the basis that the venue is marketed as a 'Modern Marriage Venue' and described as such in paragraph 6.1 of the applicant's Design and Access Statement. Highways Engineers offered the further following comments:-

For the B1 office space a calculation of 8 spaces is required.

For the D2 use, the Council's parking standards fail to address the issue of modern wedding venues. The comparison with cinema, bingo hall or concert hall is the closest that the D2 standards allow and equates to 13 spaces based on a maximum of 100 people. If recommended for approval a condition should be imposed to limit the maximum number of people to 100.

However, in terms of traffic generation, a wedding venue could be more accurately compared to an A3 restaurant use, which would equate to 29 spaces based on a maximum of 200 sq m of public floor area, modern wedding venues often attract vehicle numbers far in excess of the Council's maximum parking standards and as a result, overspill on-street parking occurs to the detriment of highway safety and residential amenity.

It is noted that Highways have stated that conditioning the number of attendees to the venue could dispel parking issues. However a condition such as this would be unenforceable and therefore difficult to control, possibly leading to over capacity of the venue and therefore this does not outweigh the initial concerns.

In view of the historical residential complaints with regards to traffic disturbance it is clear that the applicants statement that, *"the current venue has operated at this site for a number of years without any known detriment to residential amenity"* is not correct as the change of use was brought to the attention of the Council whilst investigations of a number of complaints were ongoing.

It is considered that the available parking, due to problems highlighted, would be insufficient to cater for the numbers of visitors to the large venue and it is therefore considered that the proposal does not comply with policies P5 and S1 of the Core Strategy.

impact on Trees

Policy CG1.2 of the Core Strategy states that the Council will safeguard and enhance biodiversity in the borough by protecting sites of urban biodiversity including trees, woodland and hedgerows from adverse development.

The Council's Tree and Woodlands Officers have highlighted a number of issues. These include the following:-

- A complaint was received during the summer that trees and soil were being removed from the linear car parking area to the rear of the supermarket. I visited the site and spoke to the owner who advised that they were clearing the area of rubbish. I advised that excavation works should not occur next to the protected trees. They advised that they would not excavate further than they had at the time of the meeting. Visiting the site today it is clear that excavation works have continued cutting into the embankment where the trees stand. It is recommended that this embankment is reinstated to protect the long term health of the trees.
- Directly to the rear of Manor House there was a high hedge of Privet bushes which provided a valuable screen to the large industrial unit/offices to the rear. Attempts had been made to remove this in 2010 and along with the dumping of hard core on the site. This was the subject of an investigation by planning enforcement officers. It is understood that the owner agreed to retain the hedge and not to remove it. This hedge has now been removed. It is recommended that a landscape strip of trees/shrubs is provided along the back boundary line to replace this lost landscaping.

- The submitted landscape plan for the current application is not appropriate for the area.

It is therefore considered that due to the number of issues highlighted the proposal does not comply with Policy CG1.2 of Bolton's Core Strategy

Conclusion

Officers conclude that the amendments to the previous application are not sufficient to address the previous reasons for refusal and therefore the proposal is considered to be contrary to Bolton Core Strategy Policies CG4, S1, P5 and CG1 and the guidance within section 6 of SPD General Design Principles.

Members are therefore recommended to refuse the application.

Representation and Consultation Annex

Representations

Letters:- Four letters of objection have been submitted with concerns being as follows:-

- Noise disturbance - Banging car doors and people shouting
- Loss of trees
- Light disturbance
- Loud music at unsociable hours
- Flouting of Planning Laws
- Lack of parking
- Highway safety issues due to increased traffic
- Light pollution

Elected Members:- The Ward Members for Rumworth have requested that the final determination of this planning application is made by the Planning Committee.

Consultations

Advice was sought from the following consultees; Highways Engineers, Pollution Control Officers, Coal Authority, Trees and Woodlands Officers.

Planning History

Permission refused for an almost identical scheme under reference 93685/15

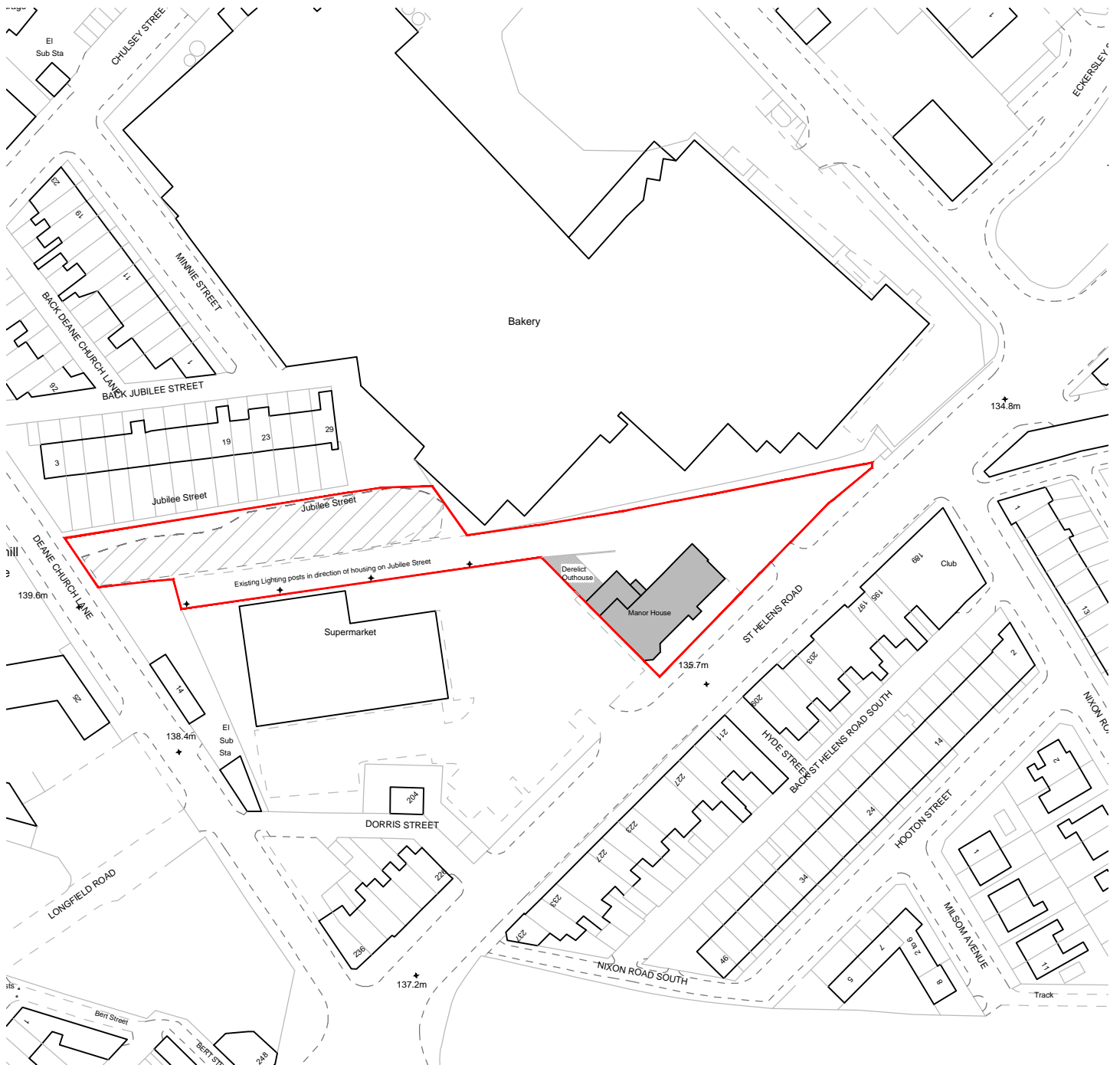
Permission was granted for a two storey rear extension and 2m boundary fence/wall under reference 83849/10

Permission was grants to change the use of the property to Offices (B1) under reference 82463/09

Recommendation: Refuse

Recommended Conditions and/or Reasons

1. The proposed development will increase noise and activity in and around the premises, along with increased light pollution from the floodlights, to the detriment of the living conditions of nearby residents and is contrary to Policy CG4 of Bolton's Core Strategy and the guidance within section 6 of SPD "General Design Principles".
2. The proposal makes insufficient provision for car parking in connection with the proposed development which is likely to result in on-street traffic and parking problems, to the detriment of highway safety, and is thus contrary to Policies S1 and P5 of Bolton's Core Strategy.
3. The proposed development would be contrary to Policy CG1.2 of Bolton's Core Strategy in that it would be likely to result in damage to and ultimately the unacceptable loss of trees from the site, to the detriment of the character, appearance and amenity of the application site and the area in which it is set.

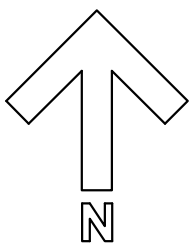


Site Location

Scale 1:1250 @ A3



Site Boundary —
Existing Building



NOTES:

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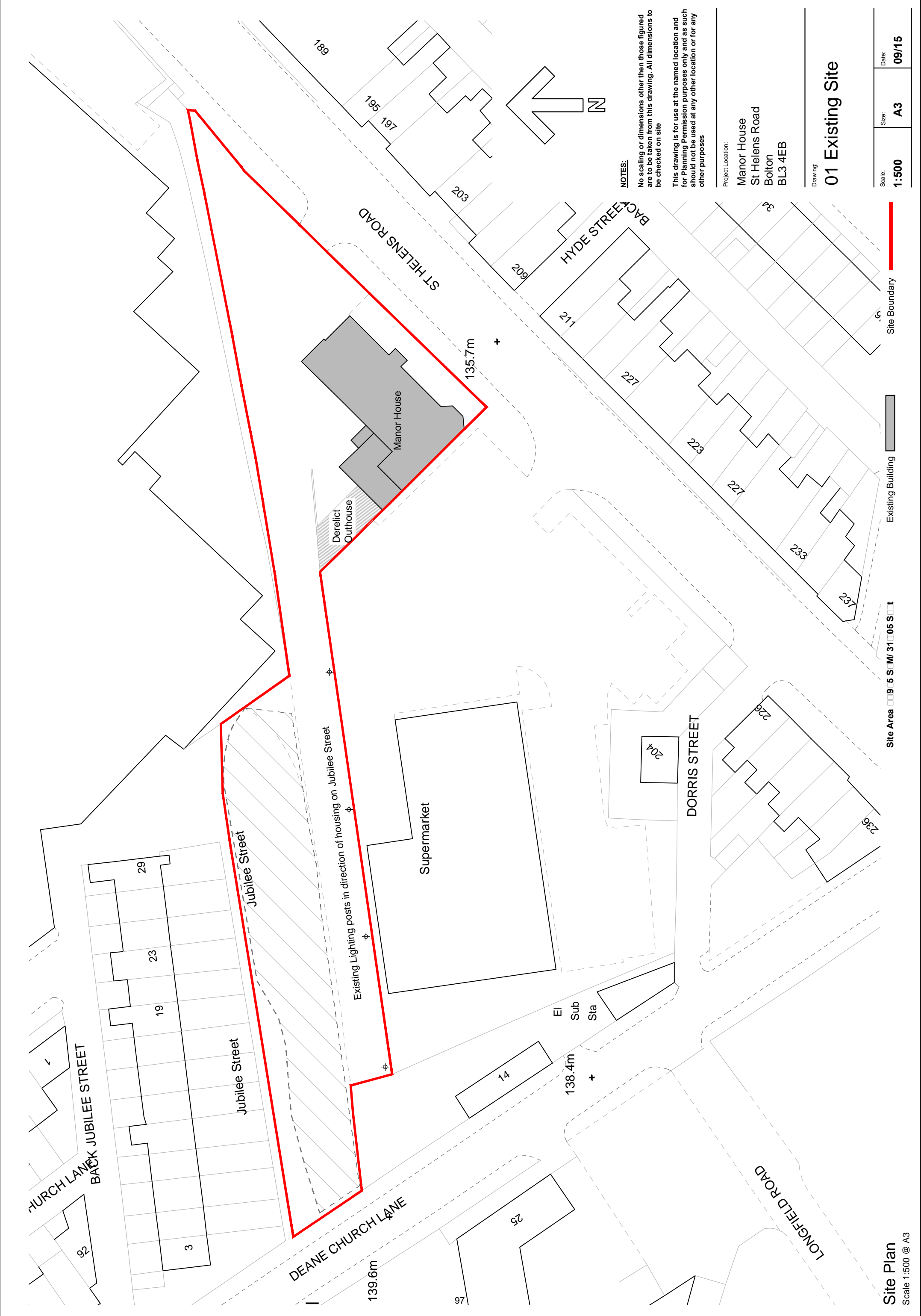
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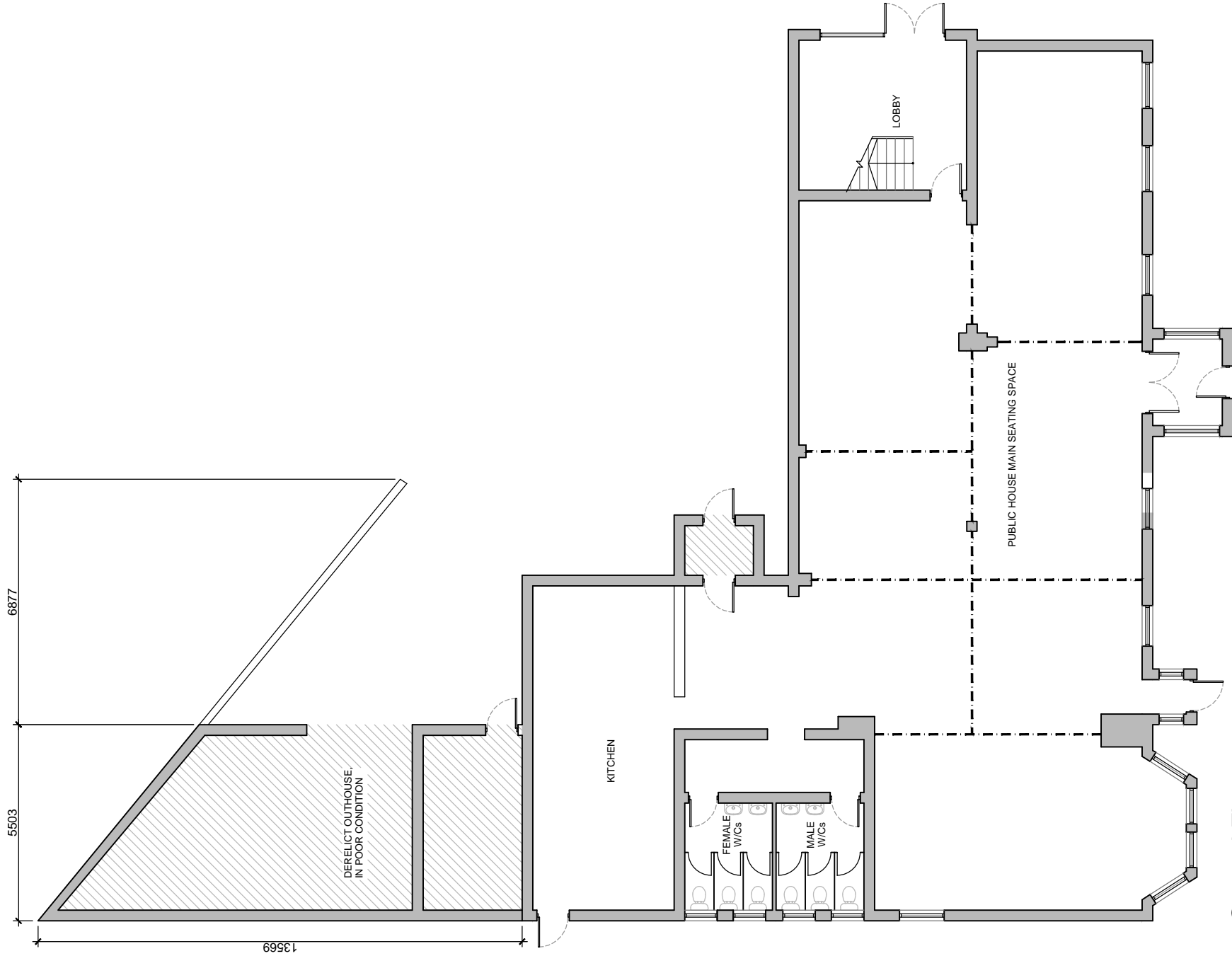
Manor House
St Helens Road
Bolton
BL3 4EB

Drawing:

00 Site Location

Scale:	Size:	Date:
1:1 50	A3	09/15





Area to be demolished

Existing

NOTES:

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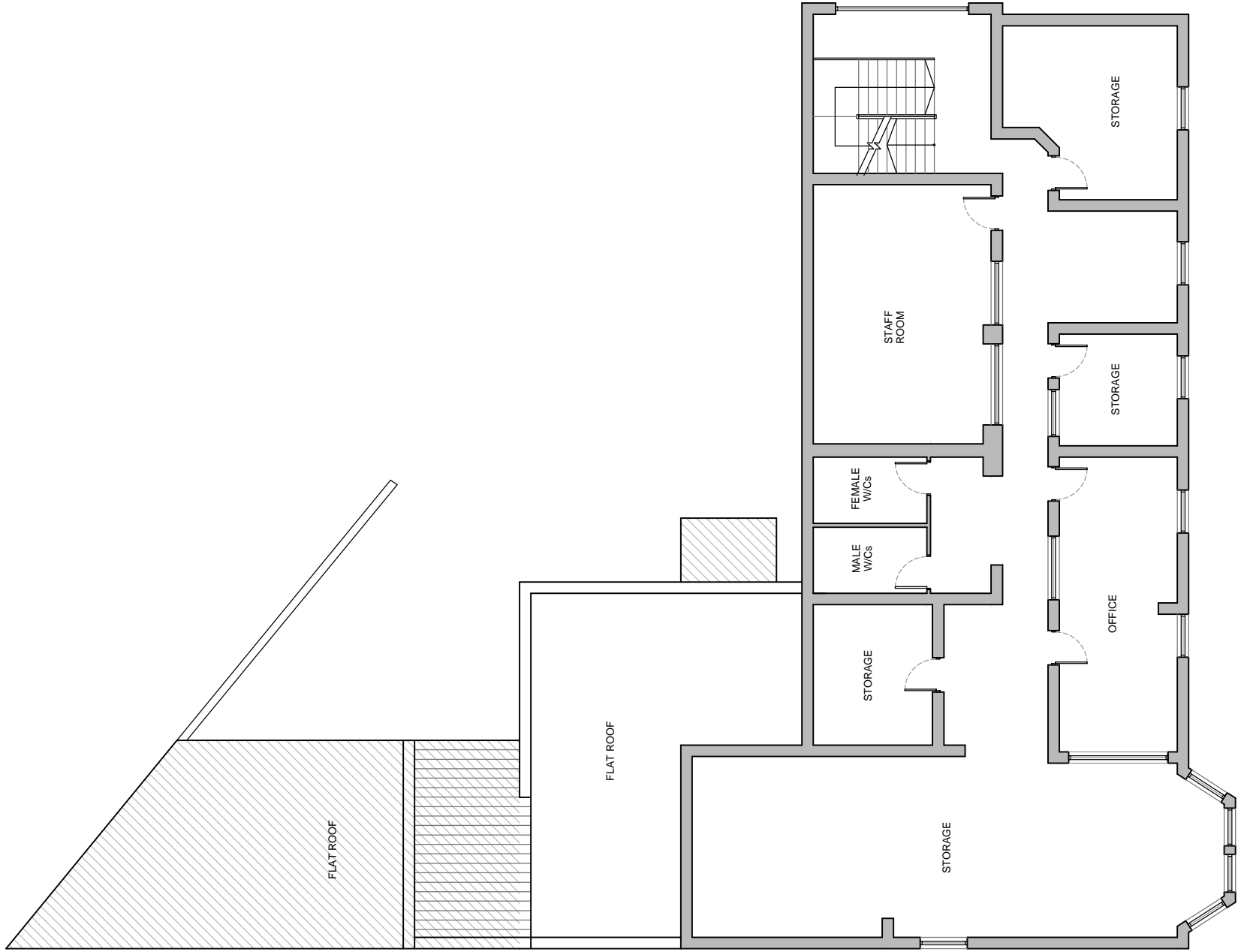
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Manor House
St Helens Road
Bolton
BL3 4EB

Drawing:

02 Existing Ground Floor

Scale:	Size:	Date:
1:150	A3	09/15



First Floor

Area to be demolished

Existing

NOTES:

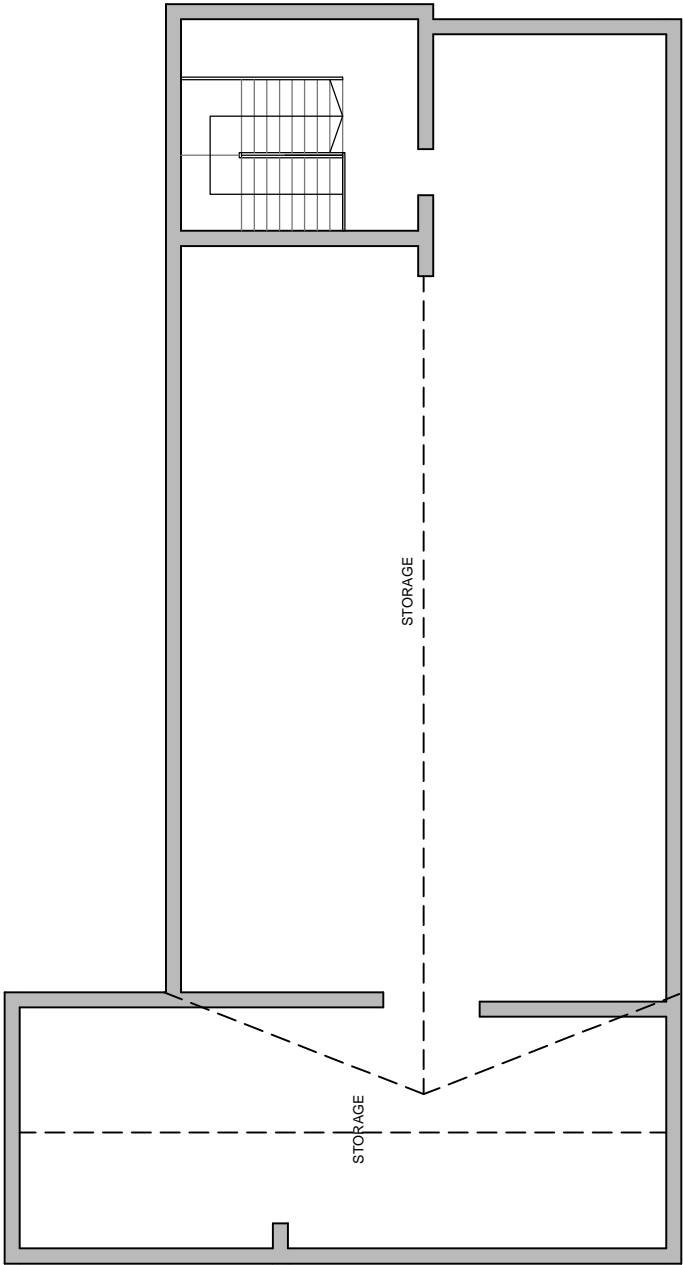
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Project Location:
Manor House
St Helens Road
Bolton
BL3 4EB

Drawing:
03 Existing First Floor

Scale:	Size:	Date:
1:150	A3	09/15



Second Floor

NOTES:

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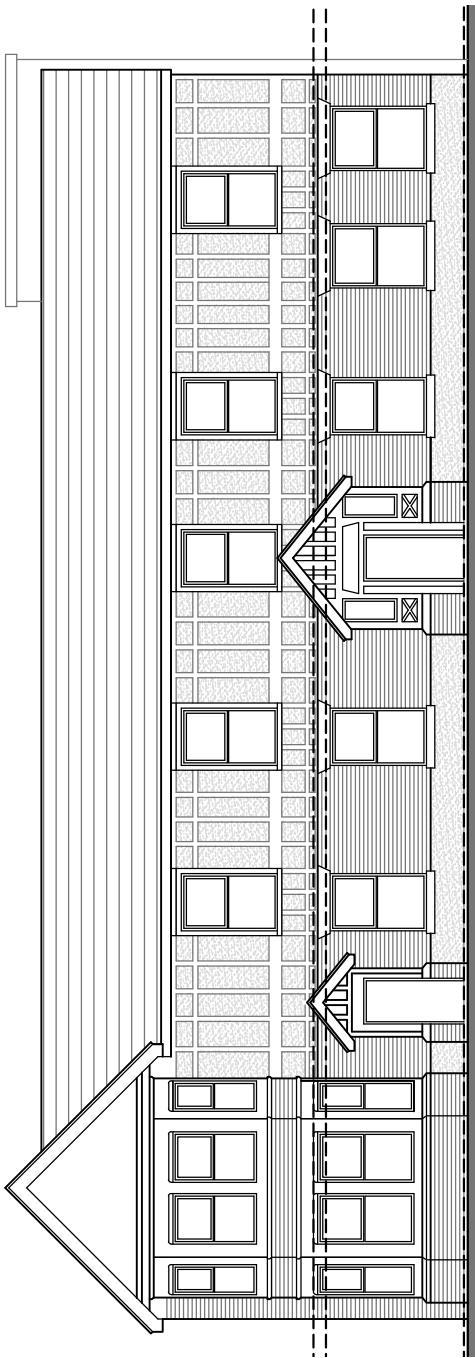
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St Helens Road
Bolton
BL3 4EB

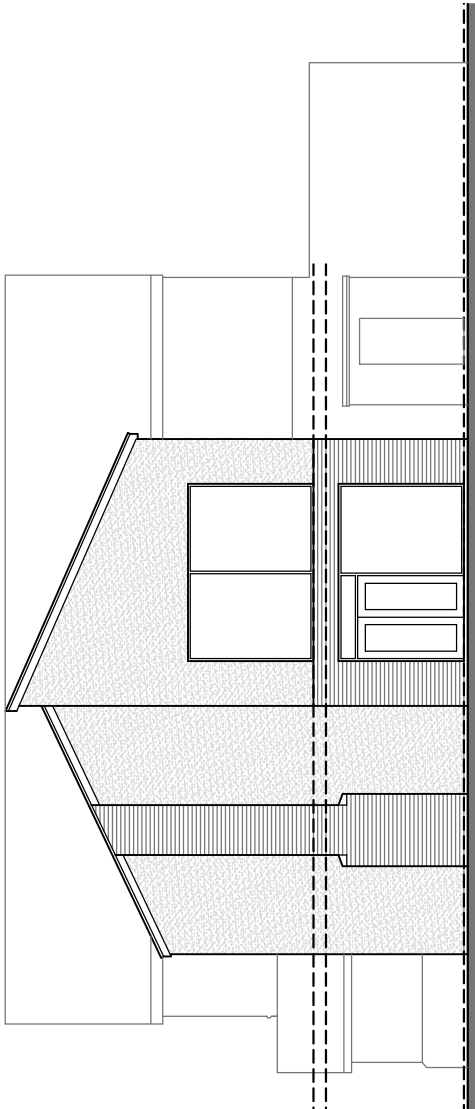
Drawing:

04 Existing Second Floor

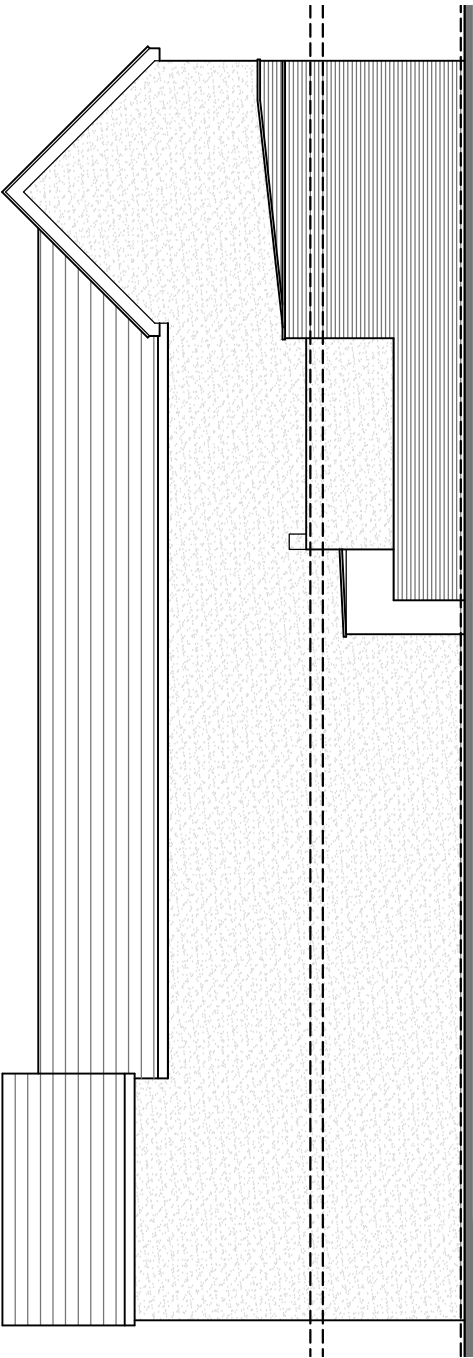
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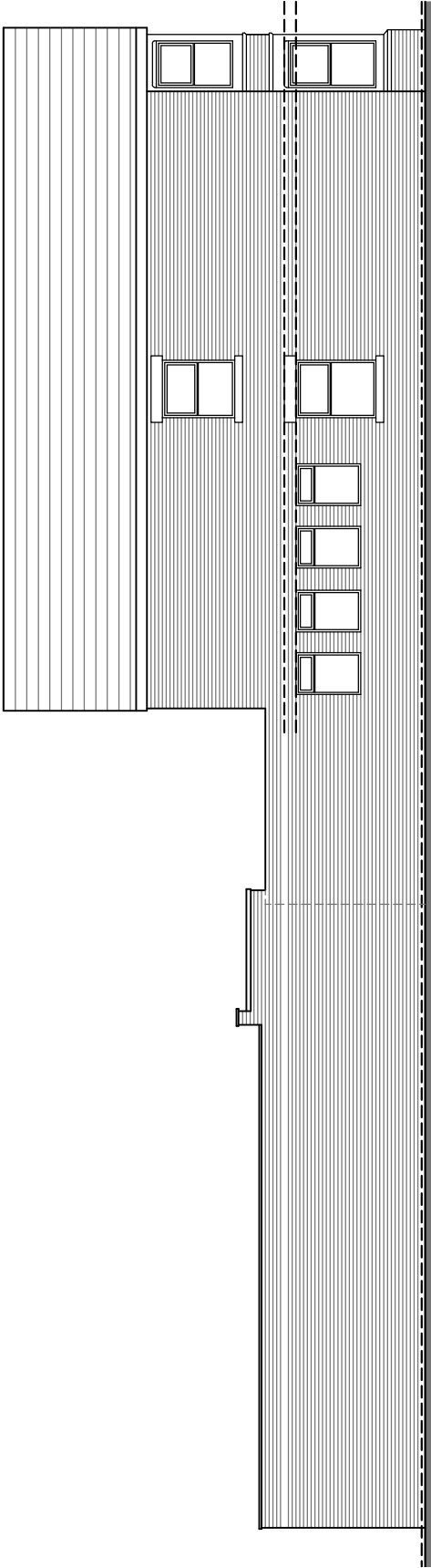
Front Elevation



Side Elevation



Rear Elevation



Side Elevation

NOTES:

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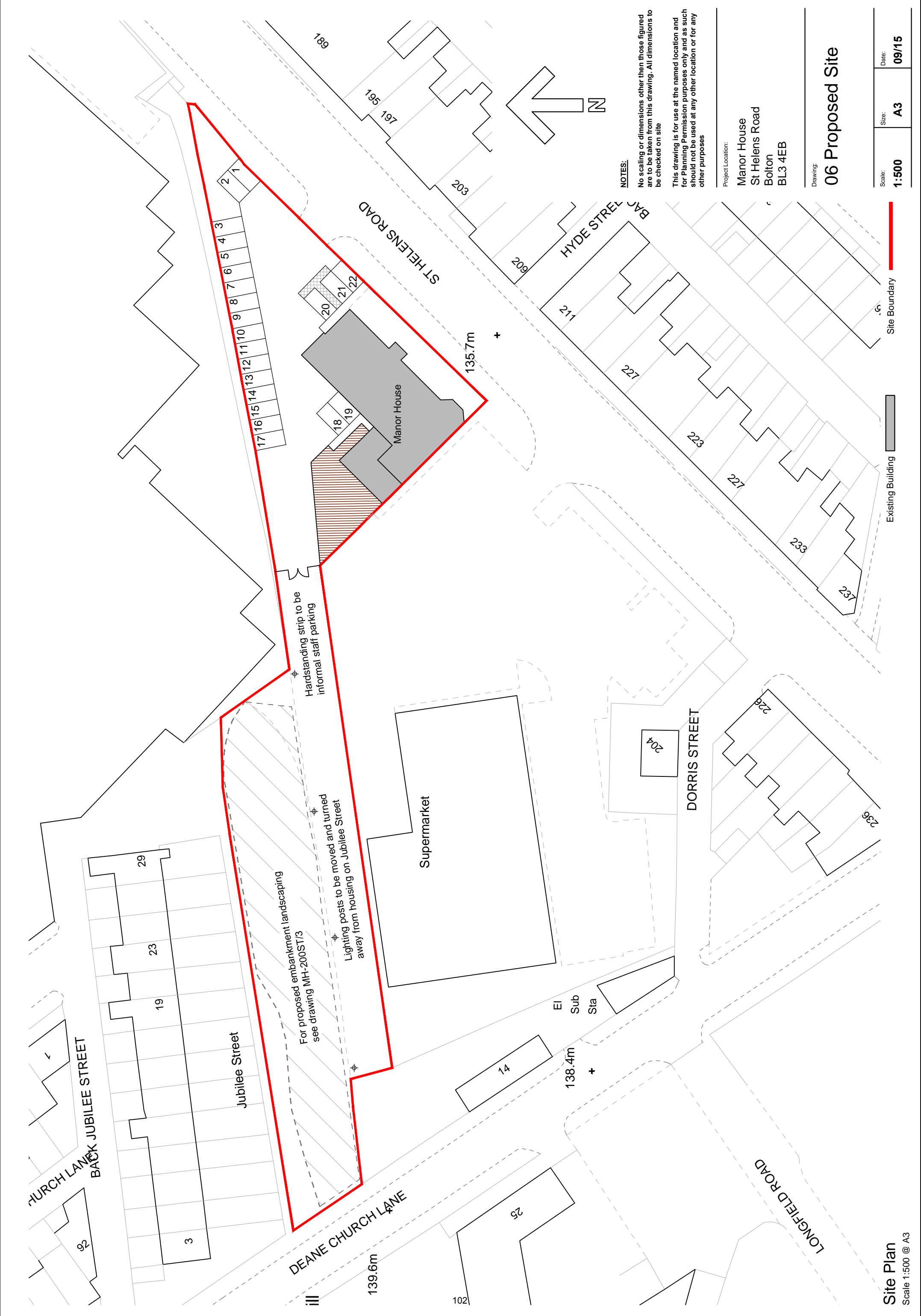
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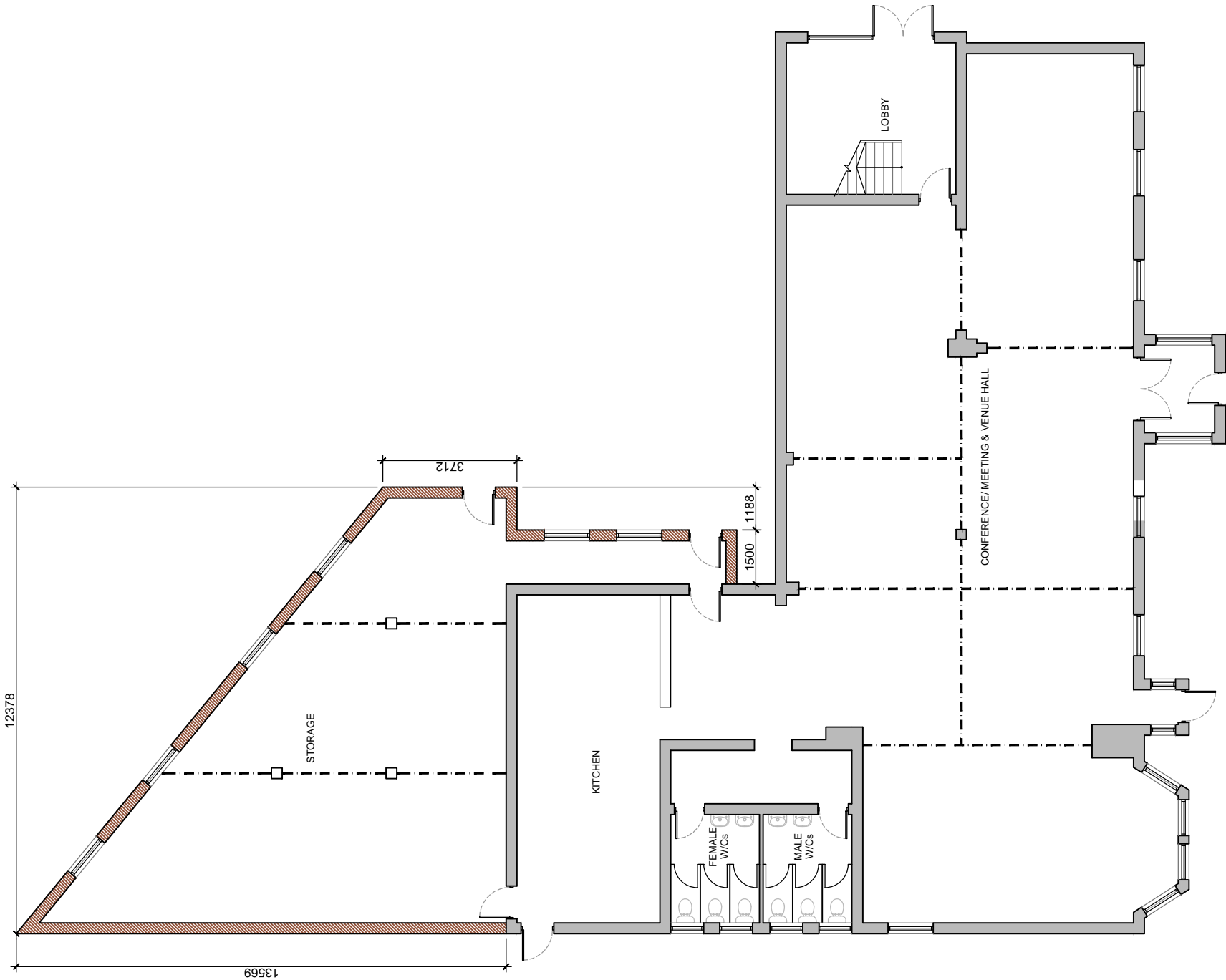
Manor House
St Helens Road
Bolton
BL3 4EB

Drawing:

05 Existing Elevations

Scale:	Size:	Date:
1:150	A3	09/15





Ground Floor

Proposed

Existing

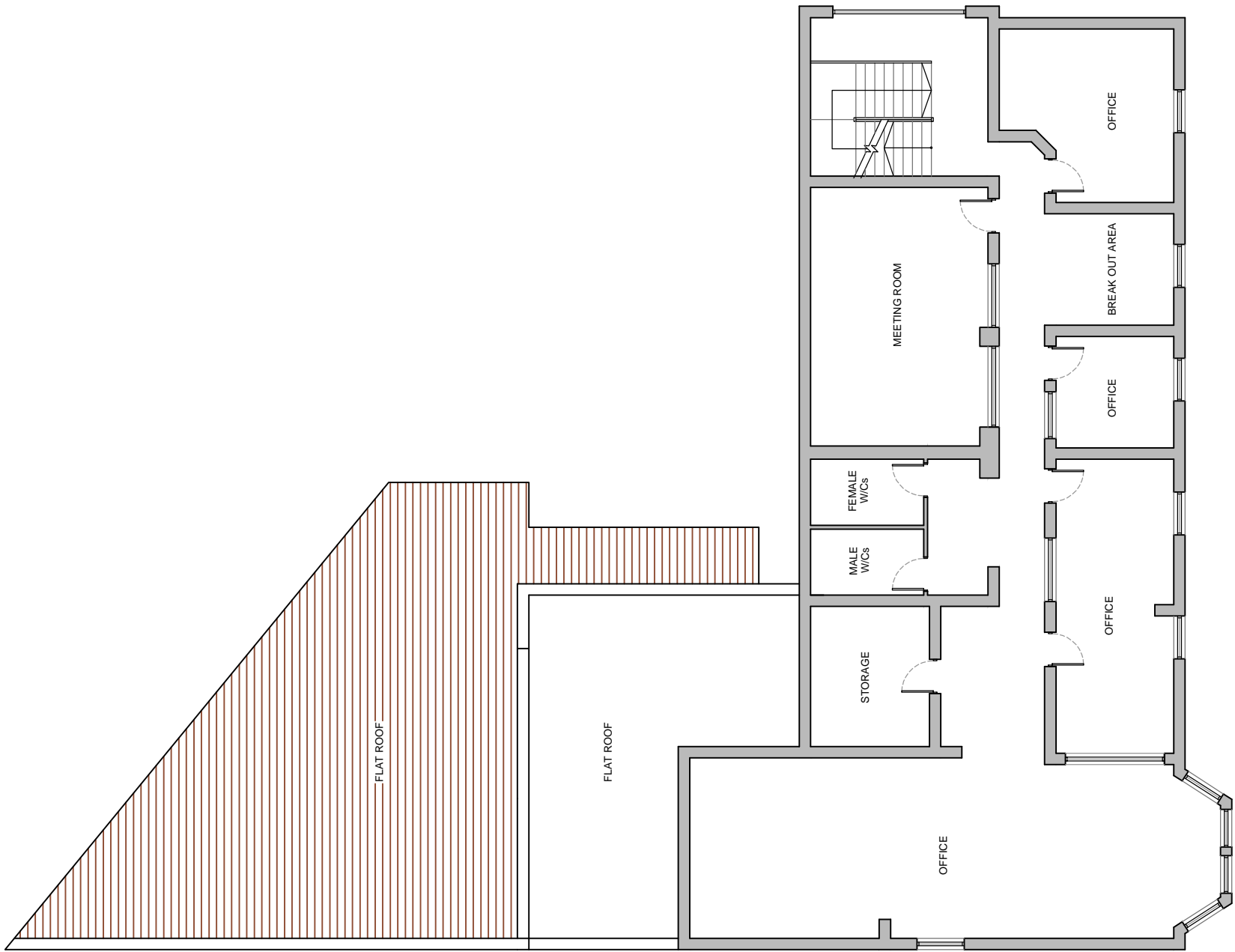
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Project Location:
Manor House
St Helens Road
Bolton
BL3 4EB

Drawing:
07 Proposed Ground Floor

Scale:	Size:	Date:
1:150	A3	09/15



First Floor

Proposed

Existing

NOTES:

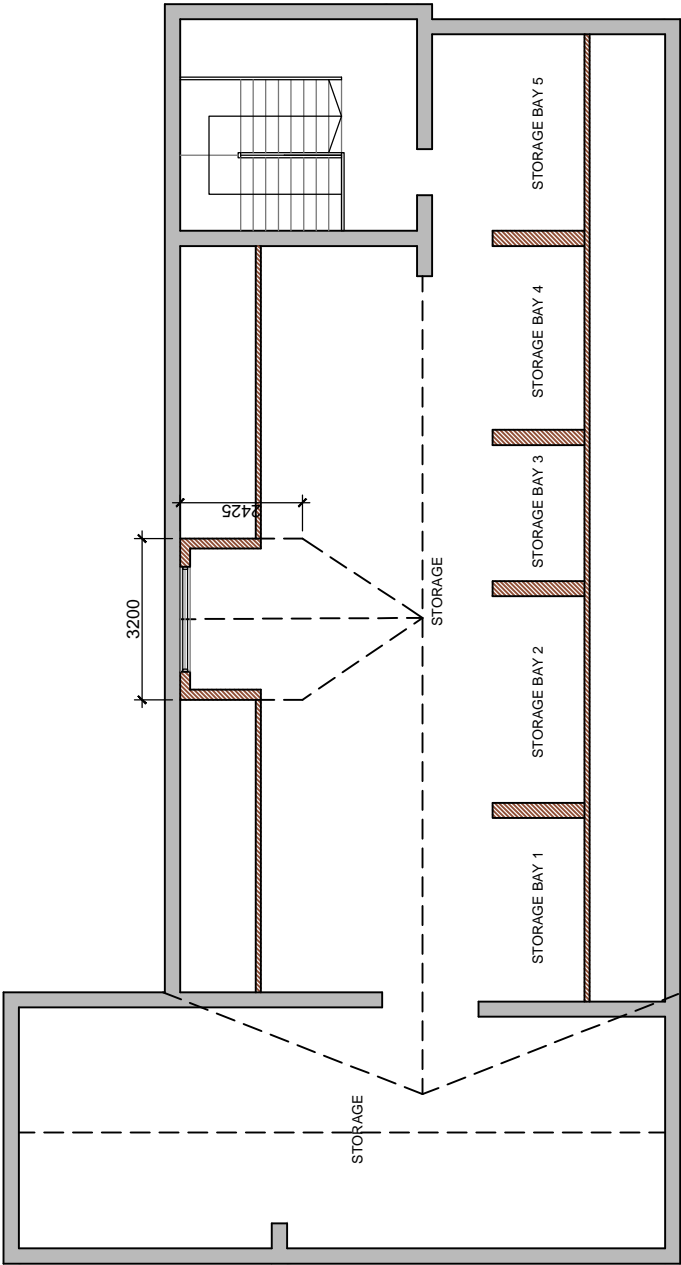
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Project Location:
Manor House
St Helens Road
Bolton
BL3 4EB

Drawing:
08 Proposed First Floor

Scale:	Size:	Date:
1:150	A3	09/15



Second Floor

Proposed

Existing

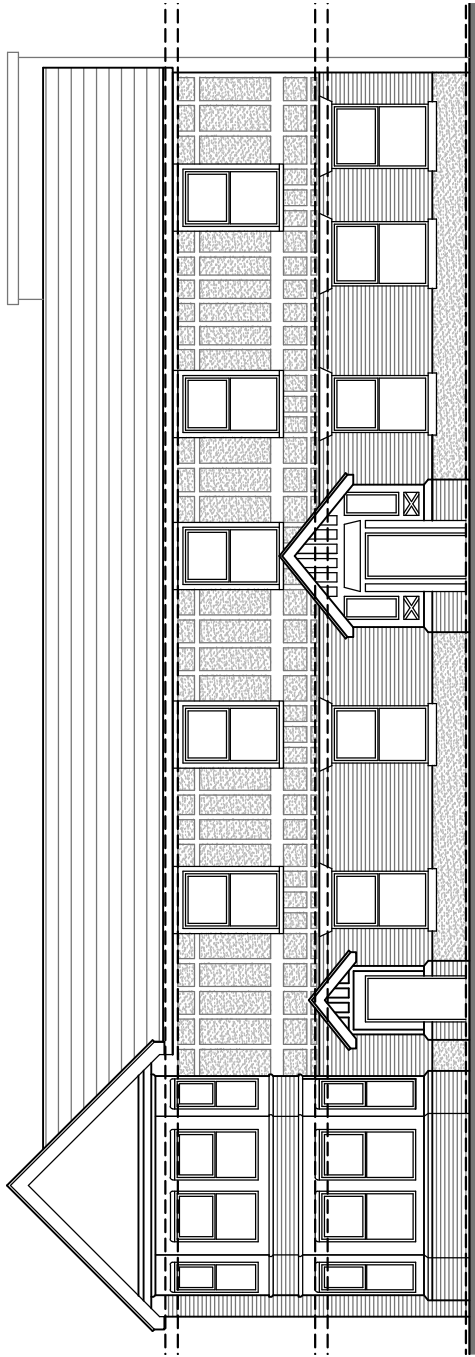
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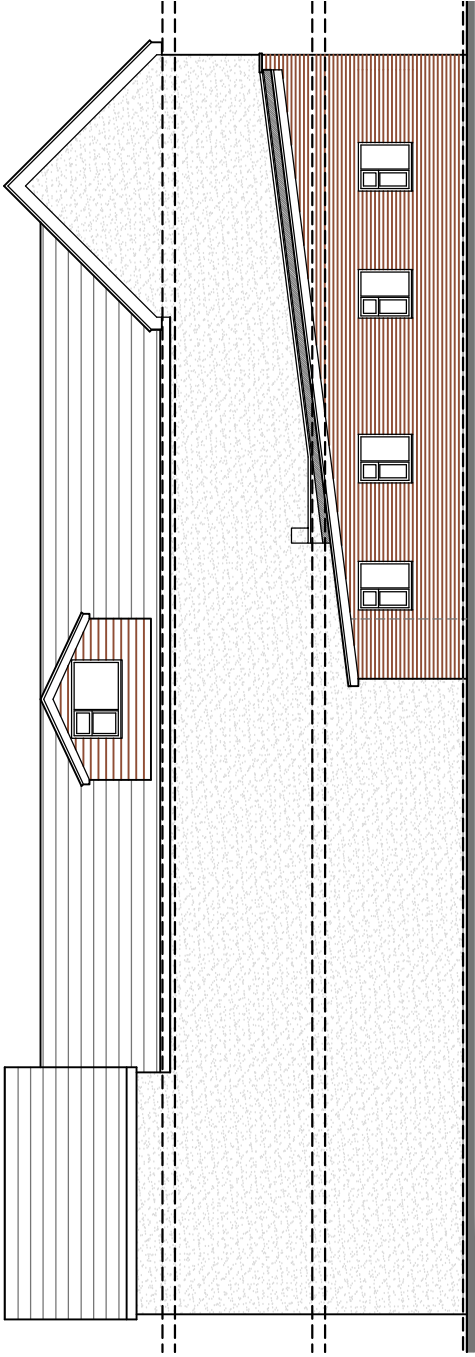
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Manor House
St Helens Road
Bolton
BL3 4EB

Drawing:
09 Proposed Second Floor

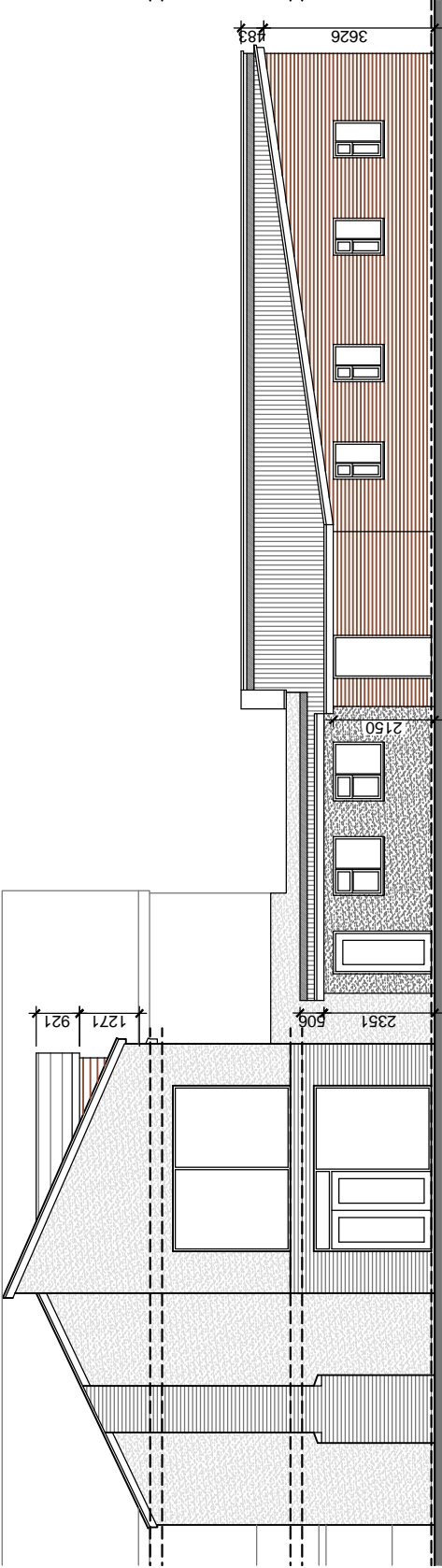
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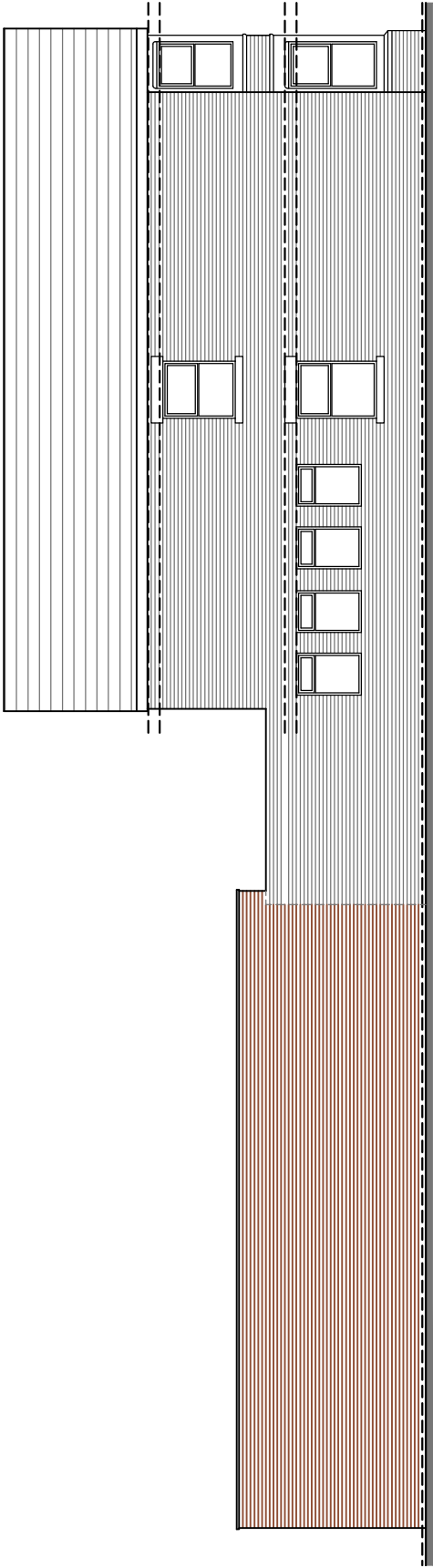
Front Elevation



Rear Elevation



Side Elevation



Side Elevation

NOTES:

No scaling or dimensions other than those figured are to be taken from this drawing. All dimensions to be checked on site

This drawing is for use at the named location and for Planning Permission purposes only and as such should not be used at any other location or for any other purposes

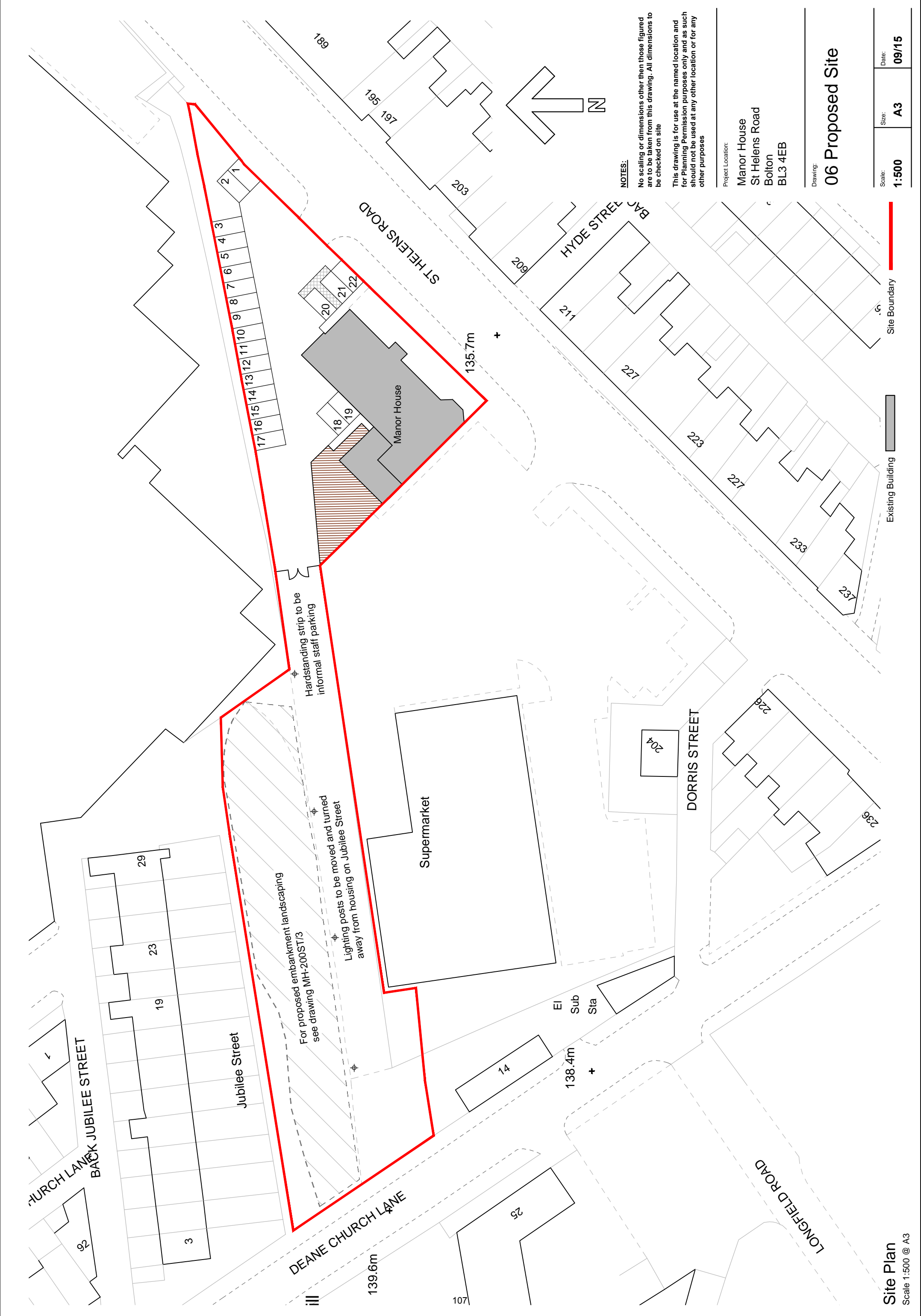
Project Location:

Manor House
St Helens Road
Bolton
BL3 4EB

Drawing:

10 Proposed
Elevations

Scale:	Size:	Date:
1:150	A3	09/15



NOTES:

No scaling or dimensions other than those figured are to be taken from this drawing. All dimensions to be checked on site

This drawing is for use at the named location and for Planning Permission purposes only and as such should not be used at any other location or for any other purposes

Project Location:

Manor House
St Helens Road
Bolton
BL3 4EB

Drawing:

06 Proposed Site