

**Planning Applications Report**

**Planning Committee**

**24 November 2016**

**Bolton  
Council**

Bolton Council has approved a Guide to Good Practice for Members and Officers Involved in the Planning Process. Appendix 1 of the Guide sets down guidance on what should be included in Officer Reports to Committee on planning applications. This Report is written in accordance with that guidance. Copies of the Guide to Good Practice are available at [www.bolton.gov.uk](http://www.bolton.gov.uk)

Bolton Council also has a Statement of Community Involvement. As part of this statement, neighbour notification letters will have been sent to all owners and occupiers whose premises adjoin the site of these applications. In residential areas, or in areas where there are dwellings in the vicinity of these sites, letters will also have been sent to all owners and occupiers of residential land or premises, which directly overlook a proposed development. Copies of the Statement of Community Involvement are available at [www.bolton.gov.uk](http://www.bolton.gov.uk)

The plans in the report are for location only and are not to scale. The application site will generally be in the centre of the plan edged with a bold line.

The following abbreviations are used within this report: -

UDP	The adopted Unitary Development Plan 2005
RSS	Regional Spatial Strategy for the North West of England 2008
PCPN	A Bolton Council Planning Control Policy Note
PPG	Department of Communities and Local Government Planning Policy Guidance Note
MPG	Department of Communities and Local Government Minerals Planning Guidance Note
SPG	Bolton Council Supplementary Planning Guidance
SPD	Bolton Council Supplementary Planning Document
PPS	Department of Communities and Local Government Planning Policy Statement
TPO	Tree Preservation Order
EA	Environment Agency
SBI	Site of Biological Importance
SSSI	Site of Special Scientific Interest
GMEU	The Greater Manchester Ecology Unit

The background documents for this Report are the respective planning application documents which can be found at:-

[www.bolton.gov.uk/planapps](http://www.bolton.gov.uk/planapps)

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# Application number 97071/16



Development & Regeneration Dept  
Development Management Section

Town Hall, Bolton, Lancashire, BL1 1RU  
Telephone (01204) 333 333

# Bolton Council

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**Date of Meeting: 24/11/2016**

**Application Reference: 97071/16**

**Type of Application: Full Planning Application**  
**Registration Date: 04/08/2016**  
**Decision Due By: 28/09/2016**  
**Responsible Officer: Jeanette Isherwood**

**Location: LAND AT BOLTON ROAD, KEARSLEY, BOLTON, BL4**

**Proposal: ERECTION OF DETACHED DWELLING AND PROVISION OF 4No  
ADDITIONAL COMMUNAL PARKING SPACES.**

**Ward: Kearsley**

**Applicant: Mr Afsar**  
**Agent : Harry Jackson Surveyors Ltd**

## **Officers Report**

**Recommendation: Approve subject to conditions**

### **Proposal**

The application proposes the erection of one four bedroomed dwelling with an attached garage and driveway to the front. The property will provide accommodation on three levels but will give the appearance of a two storey property, with the second floor contained within the roof space. The proposed dwelling will be of traditional design of masonry walling under a pitched, tiled roof. A small garden area is provided to the front with a larger area to the rear.

The siting of the property is on land which was previously earmarked for five communal parking spaces to serve the newly constructed dwellings, but which are now surplus to requirements due to existing and proposed re-arrangement of car parking spaces within the site. The previously approved plans for the development detailed a further four communal parking spaces provided along the access driveway off Bolton Road: these are to be retained within this latest proposal. An additional three communal spaces are now also proposed on the Highfield Street frontage to supplement the existing car parking provision.

The proposed dwelling will be similar in scale to surrounding dwellings.

Landscaping is proposed around the parking court, alongside the access off Bolton Road.

### **Site Characteristics**

The application site lies at the rear of nine new dwellings, recently constructed on the site of the former Kearsley Town Hall on Bolton Road, Farnworth. Access to the site from Bolton Road is available via the existing driveway. The site is elevated in relation to Bolton Road and apart from a steep banking along the main frontage, is generally level.

The application site is bounded by a mixture of concrete and timber fence panels to residential

gardens that abut the site to the south, east and west.

## **Policy**

National Planning Policy Framework

Core Strategy policies: SC1 Housing, S1 Safe, P5 Parking, CG3 The Built Environment, CG4 Compatible Uses, OA6 Kearsley, Appendix 3 Car Parking Standards.

SPD: Transport, Accessibility and Safety

SPD: General Design Principles

## **Analysis**

Section 38 of the Planning and Compulsory Purchase Act 2004 requires applications to be determined in accordance with policies in the Development Plan unless material considerations indicate otherwise.

Applications which are not in accordance with Development Plan policies should be refused unless material considerations justify granting permission.

Similarly, proposals which accord with Development Plan policies should be approved unless there are material considerations which would justify a refusal of permission.

It is therefore necessary to decide whether this proposal is in accordance with the Development Plan and then take account of other material considerations.

The main impacts of the proposal are:-

- \* Impact on Housing Provision and the Character and Appearance of the Area
- \* impact on Residential Amenity
- \* impact on the Highway

### **Impact on Housing Provision and the Character and Appearance of the Area**

Policy CG3 of the Bolton Core Strategy states that the Council expects development proposals to contribute to good urban design, respect and enhance local distinctiveness, ensuring development has regard to the overall built character and landscape quality of the area. Policy OA6 states that the Council will concentrate sites for new housing within the existing urban area. Policy SC1 states that the Council will identify a range of housing sites for additional provision of 694 dwellings per annum between 2008 and 2026.

The NPPF encourages the effective use of land by reusing land that has been previously developed (brownfield land) and states that housing applications should be considered in the context of the presumption in favour of sustainable development.

The site is previously developed and its development for further housing will provide an acceptable use of the land and will also contribute to local and national housing targets. The principle of the development of the site for housing has been considered to be acceptable and compliant with the NPPF.

Officers consider that the design of the house is acceptable. The locality consists of a mix of housing types with examples of terraces, semi's and detached. The proposed dwelling would assimilate well into the fabric of the urban grain and serve to bring this vacant plot into use. The site is in residential use and therefore this addition would not unduly affect the character and appearance of the area and

will serve to improve the visual appearance of the plot.

#### Impact on Residential Amenity

Policy CG4 aims to ensure that new development is compatible with surrounding land uses and occupiers and protects amenity. Development should not generate unacceptable nuisance, odours, fumes, noise.

SPD General Design Principles contains minimum separation, interface distances, that should be retained between new and existing dwellings.

Objection has been raised by nearby residents with regards to overlooking and loss of privacy.

The plot is overlooked to the south, east and west by new build properties at The Mews and 15 and 17 Thomas Moore Close. However, the interface distance between this new build property and these surrounding dwellings exceeds the guidance contained within SPD General Design Principles and therefore the impact on these properties is considered to be minimal.

The proposal is considered to be acceptable and compliant with SPD General Design Principles and policy CG4 of the Bolton Core Strategy.

#### Impact on the Highway

Policies S1 and P5 of the Bolton Core Strategy promotes road safety in the design of new development.

Objections have been raised with regards to loss of parking spaces originally approved under a previous application.

The Council's Highways Officers were consulted on the proposal and have stated that the three off-road parking spaces proposed to support the four bedroom dwelling (one within the integral garage and two on the driveway) complies with the Council's parking standards for the size of the dwelling proposed, as do the number of spaces proposed for the other dwellings.

The plans detail additional communal parking spaces provided along the access driveway and also on the Highfield Street frontage with four additional off-site spaces to supplement the existing car parking provision.

Officers consider that the proposed amended parking layout is acceptable, subject to conditions, and would not have an unacceptable impact upon highway safety.

The proposal complies with policies S1, P5 and Appendix 3 of the Bolton Core Strategy.

#### **Local finance considerations**

Section 70(2) of the Town and County Planning Act 1990 (as amended) provides that a local planning authority must have regard to a local finance consideration as far as it is material. The following is considered to be a local financial consideration in this case:

New Homes Bonus for the one proposed dwelling – this is not a material planning consideration.

#### **Conclusion**

The proposed development will serve to enhance the character and appearance of the local area by bringing this vacant plot back into use within an existing residential layout. The development contributes to both local and national housing targets and represents a sustainable form of

development. Therefore the application complies with local and national planning policy and guidance.

The application is recommended for approval.

## **Representation and Consultation Annex**

### **Representations**

**Letters:-** Two objections received with the details outlined within the main body of this report.

### **Consultations**

Advice was sought from the following consultees: Highways, Landscape Design and Development, GMP Design for Security.

### **Planning History**

90181/13 Permission granted for 9 new dwellings

**88826/12** - Prior notification for the demolition of the former Kearsley town hall building. NC.

**84878/10** - Conversion of building to serviced offices together with alterations. demolition and replacement of workshops at rear and erection of smoking shelter, cycle store and bin store. Approved with conditions.

**16014/81** - Construction of fire escape to south elevation. Approved with conditions.

**17591/81** - Erection of fire escape staircase to south elevation. Approved with conditions.

**Recommendation:            Approve subject to conditions**

### **Recommended Conditions and/or Reasons**

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason

Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2. Prior to the commencement of development the details (samples if required) of the type and colour of materials to be used for the external walls and roof to be agreed with the Local Planning Authority. The approved materials shall be implemented in full thereafter.

Reason

To ensure the development reflects local distinctiveness and to comply with policy CG3 of Bolton's Core Strategy.

3. Parking layout for the site in its entirety as indicated on submitted site plan Drg No F5623/1C

Reason

To ensure that adequate provision is made for vehicles to be left clear of the highway and to comply with policy P5 and Appendix 3 of Bolton's Core Strategy.

4. Prior to the occupation of the dwelling house(s) hereby permitted provision shall be made for the parking or garaging of (a) motor vehicle(s) adjacent to (the (each of the) dwelling house(s)) in the area identified for that purpose on the approved plan.

The (those) area(s) shall thereafter be retained at all times for that purpose. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any Order amending or replacing that Order) other than (a) garage(s), no extensions, porches, outbuildings, sheds, greenhouses, oil tanks, wind turbines or satellite antennae shall be erected within that area.

Reason

To ensure that adequate provision is made for vehicles to be left clear of the highway.

5. Prior to the development hereby approved being first occupied or brought into use, a scheme detailing how parts of the site to be used by vehicles are to be laid out, constructed, surfaced, drained and lit shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be implemented in full and thereafter made available for the use of vehicles at all times the development is in use.

Reason

To encourage drivers to make use of the parking and circulation area(s) provided.

6. The garage(s) hereby approved/permitted shall be made available at all times for the parking of motor vehicles.

Reason

The loss of garage spaces would be likely to lead to an increase in on-street parking to the general detriment of highway safety and in order to comply with policy P5 and Appendix 3 of Bolton's Core Strategy.

7. The development hereby permitted shall be carried out in complete accordance with the following approved plans:

**Site Layout - F5623 Rev 1C - dated April 15**  
**Plans and elevations - F5623 Rev 2B - dated April 15**

Reason

For the avoidance of doubt and in the interests of proper planning.

8. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any Order revoking, re-enacting or modifying that Order) no extensions, porches, garages, outbuildings, sheds, hardstandings, fences, gates, walls, dormers or any other alterations to the roof (other than those expressly authorised by this permission) shall be constructed

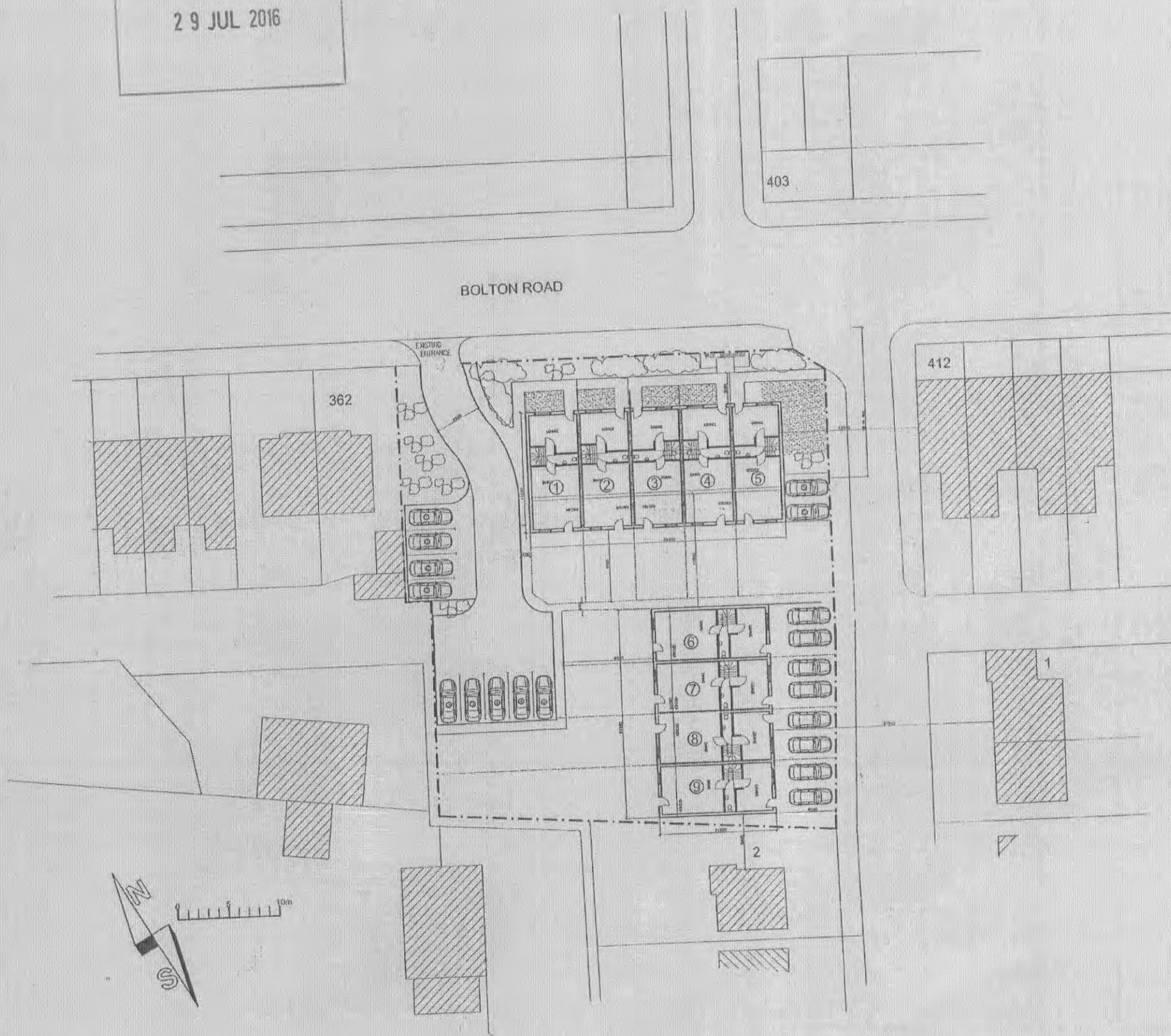
Reason

To safeguard the character and appearance of the dwelling/land



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DEVELOPMENT & REGENERATION  
RECEIVED  
29 JUL 2016

97071/16



PLANNING APPLICATION ISSUE

Revisions

Client  
Mr. H. JACKSON.

Drawing Title  
SITE PLAN

**Foxx Limited.**  
Consulting Civil & Structural Engineers,  
66-70 Park Hill Street, Bolton, BL1 4AR,  
Tel: (01204) 362300  
Fax: (01204) 398200  
Email: info@foxx.co.uk

SCALE: 1:200 DATE: APRIL 13  
DRAWN: R.M. CHECKED: H.T.

CONTRACT No: F4779 DRAWING No: 1A

PROPOSED DEVELOPMENT AT LAND BETWEEN 362&412 BOLTON ROAD, KEARSLEY, BOLTON.



403

BOLTON ROAD

362

412

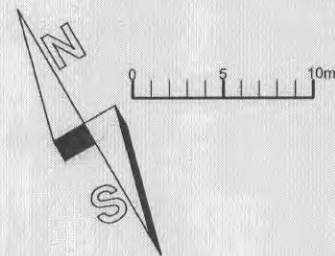
BOLTON COUNCIL  
DEVELOPMENT & REGENERATION  
RECEIVED

29 JUL 2016

97071/16

1

2



PROPOSED DWELLING AT FORMER TOWN HALL, BOLTON ROAD, KEARSLEY, BOLTON.

Revisions:

Client:

Mr. H. JACKSON.

Drawing Title:

SITE PLAN

**Foxx Limited.**Consulting Civil & Structural Engineers,  
66-70 Park Hill Street, Bolton, BL1 4AR.  
Tel: (01204) 362300  
Fax: (01204) 399200  
Email: info@foxx.co.uk

SCALE: 1:200

DATE: APRIL 15

DRAWN: R.M.

CHECKED: N.T

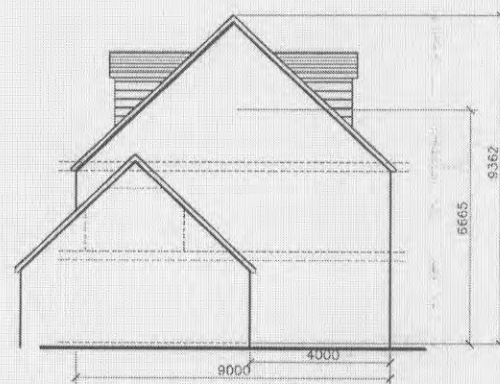
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F5623

DRAWING No:

1C

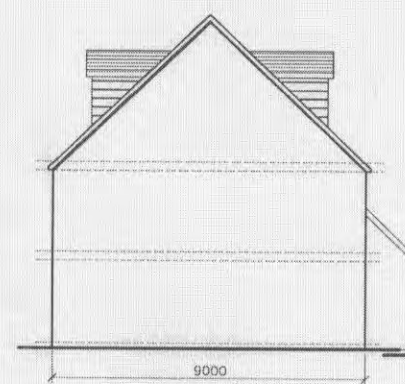




SIDE ELEVATION.



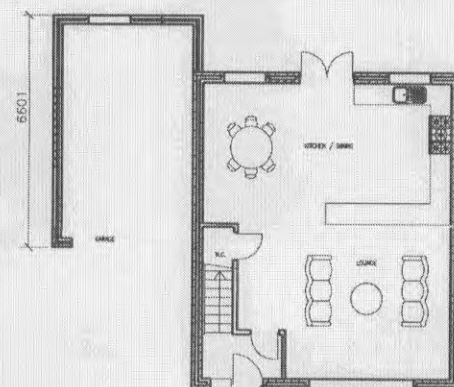
FRONT ELEVATION.



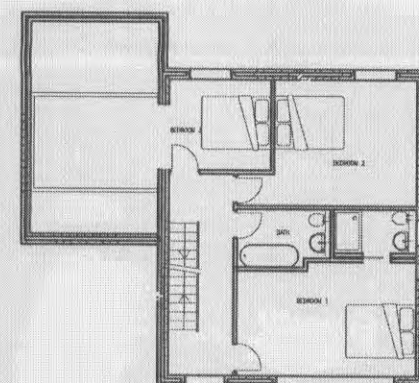
SIDE ELEVATION.



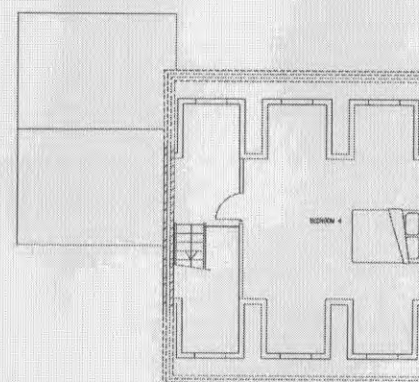
REAR ELEVATION.



GROUND FLOOR PLAN.



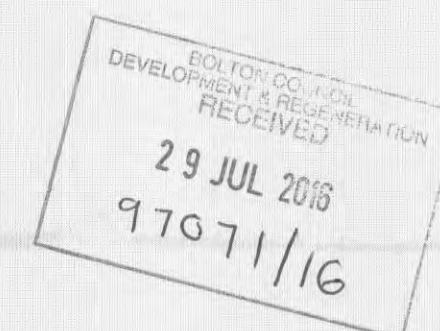
FIRST FLOOR PLAN.



SECOND FLOOR PLAN.

## Materials

Roof: Marley Modern - Charcoal  
 Walls: Approved facing brick  
 Doors and Windows: uPVC  
 Rainwater Goods: Black uPVC  
 Dormer: -uPVC Cladding



Revisions

Client

Mr. H. JACKSON.

Drawing Title

PLANS AND ELEVATIONS

**Foxx Limited.**

Consulting Civil & Structural Engineers,  
 68-70 Peck Hill Street, Bolton, BL1 4AR.  
 Tel: (01204) 362300  
 Fax: (01204) 399200  
 Email: info@foxx.co.uk

SCALE: 1:100

DATE: APRIL 15

DRAWN: R.M.

CHECKED: N.T.

CONTRACT No:

DRAWING No:

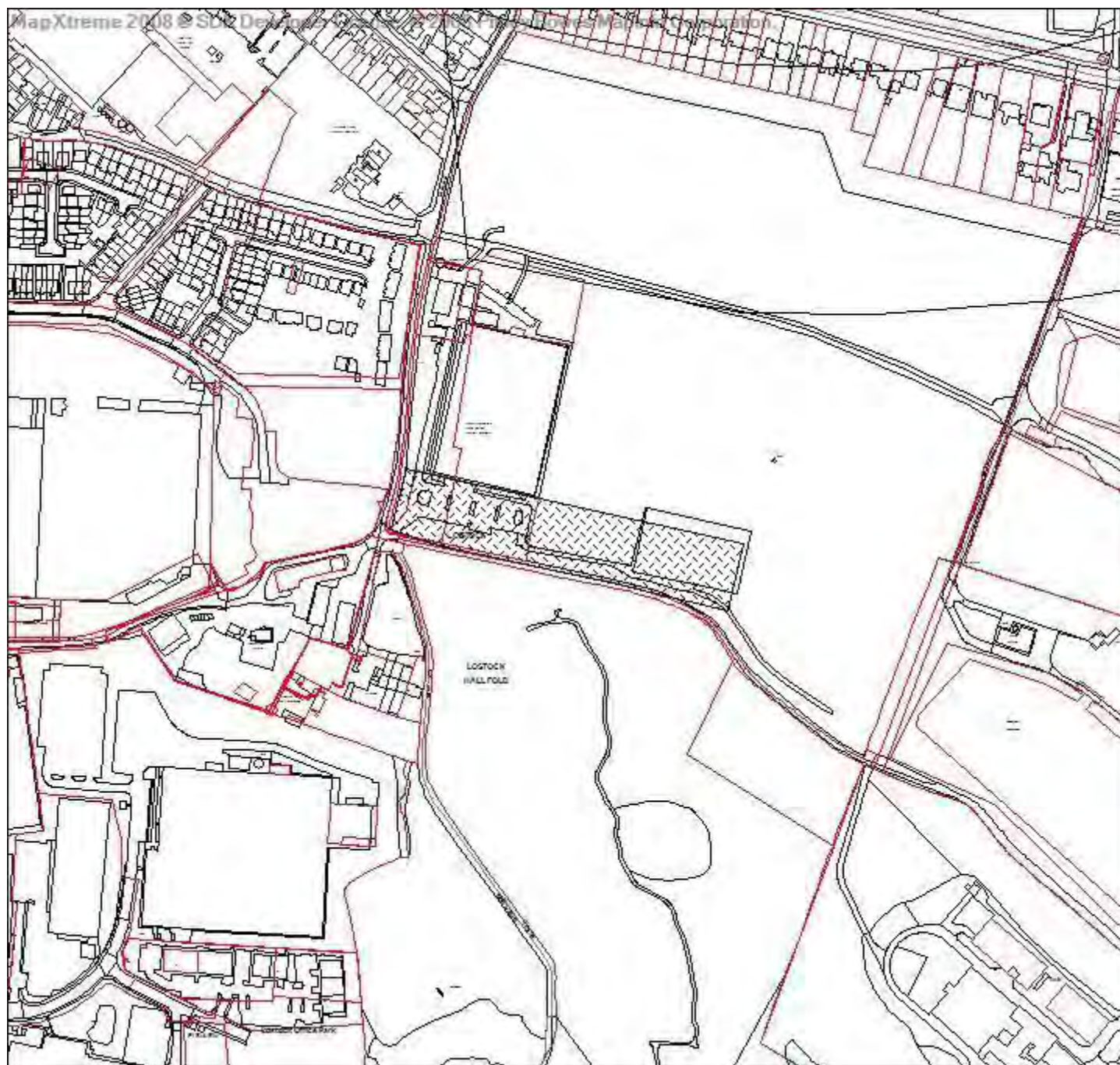
F5623

2B

PROPOSED DWELLING AT FORMER TOWN HALL BOLTON ROAD KEARSLEY



# Application number 97180/16



Development & Regeneration Dept  
Development Management Section

Town Hall, Bolton, Lancashire, BL1 1RU  
Telephone (01204) 333 333

# Bolton Council

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**Date of Meeting: 24/11/2016**

**Application Reference: 97180/16**

**Type of Application: Full Planning Application**  
**Registration Date: 05/09/2016**  
**Decision Due By: 04/12/2016**  
**Responsible Officer: Helen Williams**

**Location: BOLTON WANDERERS FOOTBALL ACADEMY, OX HEY LANE, LOSTOCK, BOLTON, BL6 4BS**

**Proposal: AIR SUPPORTED DOME ENCLOSURE OVER EXISTING ARTIFICIAL FOOTBALL PITCH**

**Ward: Horwich and Blackrod**

**Applicant: BOLTON WANDERERS COMMUNITY TRUST**

**Agent : Nash and Partners Ltd**

## **Officers Report**

**Recommendation: Approve subject to conditions**

### **Proposal**

Permission is sought for the erection of an air supported dome over an existing artificial football pitch at the football academy site. The dome is proposed to provide an enhanced indoor training facility at the academy (particularly during the winter period) and it is intended that the covered pitch would be used by a number of users (such as Bolton Wanderers Academy, Bolton Wanderers Ladies, Bolton Wanderers Disabled FC, for football courses on Friday evenings and during school holidays, Bolton Wanderers Free School, Sport Bolton and Bolton and Bury District Football League).

It is proposed that the domed pitch would be in use between 09:30 and 21:00 hours seven days a week.

The dome will be a maximum of 12.5 metres high at its apex and will have a footprint of 75 metres by 45.5 metres. The height of the dome is determined by the height required (4.5 metres) above the touch lines of the pitch and the curve of the dome.

The dome will be made out of polyester and PVC and it is proposed that it will be finished in a dark green colour to help it assimilate into the surrounding landscape.

Lighting to the dome will be internal only and it is proposed that the fabric to the dome will contain a blackout centre layer to prevent any light spillage. A plant room and generator room (approximately 8.7 by 4 metres and 2.5 metres in height) are proposed at the eastern side of the dome.

No alterations are proposed to the existing access or on-site parking at the Academy.

### **Site Characteristics**

The application site is the south western part of the wider Bolton Wanderers Football Academy (approximately 14.5 hectares of land), which has been in use since 2006. The Academy comprises five full size grassed pitches, an artificial grassed pitch, a smaller junior sized artificial pitch and associated buildings and floodlighting. The pitches are arranged across three plateaus from north to south.

The proposed dome will be sited over the existing artificial pitch, which is sited on the lower southern plateau of the Academy site. The application site (red edge) also incorporates the existing car park.

The Academy is currently accessed via a temporary road from Academy Way to the west. It continues to be the Wanderers' intention to access the site via a permanent road off Academy Way, once it has been constructed.

Restricted Byway Bolton 279 runs to the south of the application site and Bolton 280 runs to the west (both outside the Academy site).

The application site is located within the Green Belt.

To the south west of the site (approximately 170 metres away from the proposed dome) are the residential cottages at Lostock Hall Fold. To the north west (approximately 215 metres away) are the newly built houses on Foxhunter Close and Sky Lark Close (Persimmons development at Middlebrook View). Houses along Ox Hey Lane and Chorley New Road to the north of the site have views over the application site at a distance of approximately 315 metres away (taken from the closest property).

## **Policy**

National Planning Policy Framework (NPPF)

Core Strategy Policies: P5 Transport and Accessibility; S1 Safe Bolton; CG1 Green Bolton; CG3 The Built Environment; CG4 Compatible Uses; SC2 Cultural and Community Provision; OA1 Horwich and Blackrod.

Allocations Plan Policies: P8AP Public Rights of Way; CG7AP Green Belt.

SPD General Design Principles

## **Analysis**

Section 38 of the Planning and Compulsory Purchase Act 2004 requires applications to be determined in accordance with policies in the Development Plan unless material considerations indicate otherwise.

Applications which are not in accordance with Development Plan policies should be refused unless material considerations justify granting permission.

Similarly, proposals which accord with Development Plan policies should be approved unless there are material considerations which would justify a refusal of permission.

It is therefore necessary to decide whether this proposal is in accordance with the Development Plan and then take account of other material considerations.

The main impacts of the proposal are:-

- \* impact on the purposes and openness of the Green Belt



- \* impact on the character and appearance of the area
- \* impact on the amenity of neighbouring residents
- \* impact on the highway
- \* impact on the risk of flooding

#### Impact on the Purposes and Openness of the Green Belt

Section 9 of the National Planning Policy Framework (NPPF) concerns protecting Green Belt land. The Government attaches great importance to Green Belt. The fundamental aim of Green Belt policy is to prevent urban sprawl by keeping land permanently open; the essential characteristics of Green Belts are their openness and their permanence.

The NPPF states, as with previous Green Belt policy, inappropriate development is, by definition, harmful to the Green Belt and should not be approved except in very special circumstances. When considering any planning application, local planning authorities should ensure that substantial weight is given to any harm to the Green Belt. Very special circumstances will not exist unless the potential harm to the Green Belt by reason of inappropriateness, and any other harm, is clearly outweighed by other considerations.

Paragraph 89 of the NPPF states that a local planning authority should regard the construction of new buildings as inappropriate in Green Belt. Exceptions to this include [amongst other things] provision of appropriate facilities for outdoor sport, outdoor recreation and for cemeteries, as long as it preserves the openness of the Green Belt and does not conflict with the purposes of including land within it.

Policy CG7AP of Bolton's Allocations Plan reflects national planning policy guidance on Green Belt.

The proposed dome is intended to improve the existing facilities at the Academy by providing an indoor training facility. The proposal does not fit neatly into the exception criterion of "appropriate facilities for outdoor sport" within paragraph 89 of the NPPF owing to its proposed scale and as the dome will create an indoor sporting facility. Officers therefore consider that the proposal should be treated as inappropriate development.

Given the height and scale of the proposed dome it is inevitable that the proposed development would have an impact on the openness of the Green Belt. Trees and hedgerows border the wider Academy site, which would provide screening to the dome and the main views across the site will be from the rears of the houses along Chorley New Road (which are private rather than public views). Therefore despite the proposed scale of the dome it is considered that the impact of the openness of the Green Belt in this location is somewhat limited. The landscape appraisal submitted by the applicant (to support the application) also concludes that the impact on the openness of the Green Belt in this location is limited.

In accordance with paragraph 88 of the NPPF, the applicant has submitted the following as very special circumstances to justify a departure to Green Belt policy:

- \* A covered pitch is a requirement of the Football Association (FA).
  - It is a mandatory requirement of the 'Football Association Youth Development Rules' that Bolton Wanderers FC provides an indoor synthetic football pitch to serve their academy;
  - A permanent new indoor training facility is needed in order to maintain the club's 'Category 2 Club' designation, which is fundamentally vital to the sporting and economic plan for the future development of Bolton Wanderers FC;
  - The club has been advised by the Football League and the independent auditors that as the club is unable to provide an indoor facility in the 2016/17 season it will not pass the next

- annual audit;
- The implications arising from the loss of academy status would be a severe blow to the club, and would put them at a competitive and economic disadvantage;
- The loss of academy status would result in the loss of a community facility.
- \* Benefits to Bolton Wanderers youth teams and youth players.
  - An advantage of being a Category 2 Club is that the under 9 to under 15 teams get to compete against high profile North West Premier League clubs, which enables the Academy to recruit the best young talent within the Bolton area;
  - By maintaining the Category 2 status the Academy will be able to continue to attract the best young talent in Bolton and develop these players within an elite performance environment;
  - A Category 3 status would need the best young players in Bolton would move outside the area to play their football at other north west Category 1 and 2 clubs.
- \* Benefits to the community.
  - It is much in the local community interest that the Academy retains its Category 2 status as the Academy currently serves (and will continue to serve) the local community via its youth development programme;
  - A category 2 status attracts funding and enables the club to continue to offer access to its high quality football coaching and education programme, not only for the Academy players but also for other community organisations;
  - The proposed dome will enable the existing artificial turf pitch to be used more intensively throughout the year and as such this facilitates additional training hours to be offered to its players and local community groups.
- \* The site is an existing facility and will not harm the landscape character of the site or wider landscape.
  - The applicant's submitted Landscape Appraisal (undertaken by an independent consultant) concludes that there would be no significant harmful impact on the landscape character of the site or wider landscape and that the openness of the Green Belt (due to the limited area taken up by the dome, its colouring and the screening effect of vegetation) would not be impacted on in this locality.

Whilst officers consider that the retention of the Academy's status/prestige in itself is not a very special circumstance, they consider that the economic and community benefits associated with a successful local football academy, training facilities (also available for community use) and football team are. As the harm to the openness of the Green Belt in this location, caused by the proposed dome, is considered to be low/limited it is considered that the very special circumstances provided by the applicant clearly outweigh the recognised harm.

Officers therefore consider that the proposed development complies with national planning policy on Green Belt (contained within section 9 of the NPPF) and Policy CG7AP of Bolton's Allocations Plan.

#### Impact on the Character and Appearance of the Area

Policy CG3 of the Core Strategy states that the Council will conserve and enhance local distinctiveness, ensuring development has regard to the overall built character and landscaping quality of the area, will require development to be compatible with the surrounding area, and will maintain and respect the landscape character of the surrounding countryside and its distinctiveness. Policy OA1 specifically relates to development in Horwich and Blackrod and states that the Council will conserve and enhance the character of the existing landscape and physical environment and ensure that new development does not harm the landscape setting and protects views from public areas to the surrounding landscape.

The applicant has submitted a landscape appraisal with their submission. This appraisal has assessed potential views of the dome from various points outside the site.

#### *Views from the north*

The appraisal asserts that there would be private views of the dome from the rears of the houses along Chorley New Road. It states that houses directly opposite the proposed dome will observe the greatest change to the application site but they would not see any significant change to the remainder of the landscape or the land. The houses are approximately 400 metres away from the proposed dome.

#### *Views from the south*

To the immediate south of the application site is a Restricted Byway/Public Right of Way. This is the closest publicly accessible point to the proposed dome but it is heavily screened by vegetation along the southern boundary of the Academy site. The appraisal asserts that there would only be fleeting and intermittent views of the dome from the footway/cycleway.

#### *Views from the east*

The appraisal concludes that there are no significant views from the east, with views from St Andrews Road being oblique and interrupted, or fully screened by the vegetation on the eastern boundary of the Academy site.

#### *Views from the west*

The Academy site is bordered by tall vegetation along its boundary with Ox Hey Lane. The appraisal states that the upper portions of the dome may be visible towards the access to the site, but the dome would then be viewed in context with the existing training facilities. Views further to the west would be limited.

Officers consider that this assessment of views to the proposed dome is correct and an accurate account. It is also noted that the dome will be viewed in context with the existing structures on the site associated with the football training facility and that it is the applicant's intention for the fabric of the dome to be a dark green colour to help it assimilate with the surrounding vegetation. The Council's Landscape Officers have confirmed that the colours chosen for the development are a positive point and a condition is therefore suggested to ensure that the dome, and the adjacent plant and generator room, are finished in the proposed dark green colour. It is however expected that the dome will be more visible within the landscape during winter months, however it is not considered that the presence of the dome would have a detrimental impact on the character and appearance of the wider area.

The Council's Landscape Officers have commented that the tree line along the southern boundary of the site is not of a height significant enough to screen the whole of the dome and have also suggested that additional tree planting along the extremities of the Academy site might help to visually break up the views of the dome. These comments were however made prior to the submission of the applicant's landscape appraisal and officers consider that the proposed development would be acceptable without this further planting requirement in terms of its impact on the character and appearance of the area.

It is therefore considered, for the reasons discussed above, that the proposed development would comply with policies CG3 and OA1 of Bolton's Core Strategy.

#### Impact on the Amenity of Neighbouring Residents

Policy CG4 of the Core Strategy states that the Council will ensure that new development is compatible with surrounding land uses and occupiers, protecting amenity, privacy, safety and security, and does not generate unacceptable nuisance, odours, fumes, noise or light pollution.

The nearest residential properties to the proposed dome are approximately 170 metres to the south west at Lostock Hall Fold. To the north west (approximately 215 metres away) are the newly built houses on Foxhunter Close and Sky Lark Close. Houses along Ox Hey Lane are approximately 315 metres away (taken from the closest property) and the houses to the north along Chorley New Road are approximately 400 metres away.

#### *Light*

The dome will only be lit internally during darker hours. The applicant has confirmed that the fabric to the dome will contain a blackout centre layer, which will prevent any light spillage from the dome. The Council's Pollution Control Officers have viewed the information submitted regarding the proposed fabric and therefore raise no objection.

#### *Noise and disturbance*

Concern has been raised by neighbouring residents regarding the proposed generator and plant room that will facilitate the dome (keep it inflated). The Council's Pollution Control Officers have raised no objection to the proposed generator and plant but have requested that a condition be attached to any approval to ensure the rating level for any equipment/plant does not exceed the existing background noise levels measured from the nearest neighbouring properties. This information would need to be submitted to and agreed in writing by the local planning authority prior to the commencement of the development.

Concerns have also been raised that the proposal (which will improve existing facilities at the Academy) will attract further traffic to the site. Additional traffic may be generated by the improved facilities but this will continue to enter and leave the site via Academy Way (using the temporary link road until the permanent one has been constructed) rather than down Ox Hey Lane (the use of Ox Hey Lane to serve the Academy is prohibited).

The dome will reduce the noise generated from the artificial pitch, as the pitch will be covered.

The proposed hours of use for the covered pitch are between 09:30 and 21:00 hours seven days a week. This is considered to be reasonable and not unneighbourly, particularly given the distances the nearest neighbours are away from the site.

It is considered, subject to the suggested condition, that the proposed development would not unduly harm the amenity of neighbouring residents, compliant with policy CG4 of Bolton's Core Strategy.

#### Impact on the Highway

Policy P5 of the Core Strategy states that the Council will ensure that developments take into account [amongst other things] accessibility, servicing arrangements and parking. Policy S1.2 states that the Council will promote road safety in the design of new development.

Vehicular access into the site is to remain as existing, as is the level of car parking on site. It is considered that both are sufficient for the continuing use of the site as a football academy, but with an improved artificial pitch. The Council's Highways Engineers have raised no objection to the proposal.

It is therefore considered that the proposed development complies with policies P5 and S1.2 of the Core Strategy.

#### Impact on the Risk of Flooding

Policy CG1.5 of the Core Strategy states that the Council will reduce the risk of flooding in Bolton and

other areas downstream by minimising water runoff from new development and ensuring a sequential approach is followed, concentrating new development in areas of lowest flood risk.

The applicant has submitted a flood risk and drainage assessment to support their application.

The application site lies within Flood Zone 1, which has the lowest probability of flooding. The existing artificial pitch is already drained.

The assessment concludes that the proposed dome will make no increase to positively drained areas on the site but could increase the speed of immediate run-off. Therefore to mitigate this, it is proposed that a gravel trench system is installed to channel all flows back into the under-pitch drainage layer, thus maintaining the current highly attenuated drainage system on the site, and consequently having no effect on discharge from the site.

It is therefore considered that the proposed development will not cause any greater risk to flooding in the area, compliant with policy CG1.5 of Bolton's Core Strategy.

### **Local finance considerations**

Section 70(2) of the Town and County Planning Act 1990 (as amended) provides that a local planning authority must have regard to a local finance consideration as far as it is material. There are not considered to be any local financial considerations in this case.

### **Conclusion**

For the reasons discussed above it is considered that the benefits (the "very special circumstances") associated with the proposed air supported dome over an existing artificial pitch at Bolton Wanderers Academy clearly outweigh the limited harm that would be caused to the openness of the Green Belt in this location. It is also considered that the proposed development would not harm the character and appearance of the area, would not unduly harm the amenity of neighbouring residents, would not jeopardise highway safety and would not increase the risk of flooding.

Members are therefore recommended to approve this application.

## **Representation and Consultation Annex**

### **Representations**

**Letters:-** Three letters of objection have been received from neighbouring residents, which raise the following concerns:

- \* Will reduce the visual amenity of the area;
- \* Will the dome be visible to the cottages to the south? *(officer's comments: the houses at Lostock Hall Fold will not have a direct view of the dome as the dome will be sited to the north east of the cottages at an angle of approximately 40 degrees away and at a distance of approximately 170 metres. The trees to the immediate north east of the houses and along the southern boundary of the Academy site will also provide screening, however the dome may be visible above these);*
- \* Trees should be planted to screen the proposal;
- \* Concerns about noise from the generator;
- \* More traffic visiting the academy in the evenings;
- \* The site cannot support any more vehicles as vehicles currently overspill onto the lanes; Coaches have no access into the site;
- \* They are still using a temporary road in and out of the academy which is not safe *(officer's comment: there is no evidence before the Council that the temporary road is unsafe);*
- \* Why is the dome not going on the land across the lane from the academy, where it was going six years ago *(officer's comment: the Wanderers are looking to improve their existing facility rather than creating a new facility).*

One letter commenting on the application has been received. This neighbouring resident questions whether noise from the site will be increased and will become intolerable to local residents, disturbing sleep if the generators run throughout the night.

### **Consultations**

Advice was sought from the following consultees: Highways Engineers, Pollution Control Officers, Drainage Officers, Landscape Officers, Wildlife Liaison Officer, Public Rights of Way Officer and Corporate Property Officers.

### **Planning History**

A single storey pavilion building together with associated works including floodlighting, landscaping and car parking and the removal of temporary buildings was approved in March 2014 (89226/12).

Permission was granted in May 2010 for the retention of five temporary buildings for use as academy accommodation (83864/10).

Permission was granted in September 2009 for the erection of a gym (82362/09).

The retention of one temporary WC unit was approved in January 2009 (81459/08).

Three temporary buildings comprising two changing rooms and one building for admin, storage, kitchen and dining facilities were approved in June 2008 (80029/08).

Permission was granted in March 2006 for the erection of a sports pavilion with changing facilities, layout of playing fields and car parking area (15 spaces) and erection of a grounds maintenance building (72789/05).

**Recommendation:**            **Approve subject to conditions**



## Recommended Conditions and/or Reasons

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

### Reason

Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2. The rating level, as defined in BS4142:2014, shall not exceed the measured daytime and/or night time background sound level at the closest residential properties at any time.

A noise assessment shall be carried out and a report submitted to, and approved in writing by, the Local Planning Authority prior to the construction phase of the development. The report shall include all the information specified in Clause 12 of BS4142:2014 and details of any mitigation proposed to achieve the rating level. The approved details shall be carried out in full and retained thereafter.

### Reason

To minimise the impact of noise on residential amenity and to comply with policy CG4 of Bolton's Core Strategy.

3. No development permitted shall be occupied until the drainage scheme for the site has been completed fully in accordance with the approved details within the "Flood Risk and Drainage Assessment"; CRM Rainwater Drainage; dated 19 October 2016.

### Reason

To ensure the site provides satisfactory means of surface water drainage and to comply with policy CG1.5 of Bolton's Core Strategy.

4. The dome membrane, doors and the plant/generator room shall be coloured "Grass Green" (RAL 6010) and retained thereafter unless otherwise agreed with the Local Planning Authority.

### Reason

To ensure the development safeguards the character and visual appearance of the locality and to comply with policies CG3 and OA1 of Bolton's Core Strategy.

5. The pitch subject of this consent shall not be used outside the following hours:-

09:30 to 21:00 Mondays to Sundays

### Reason

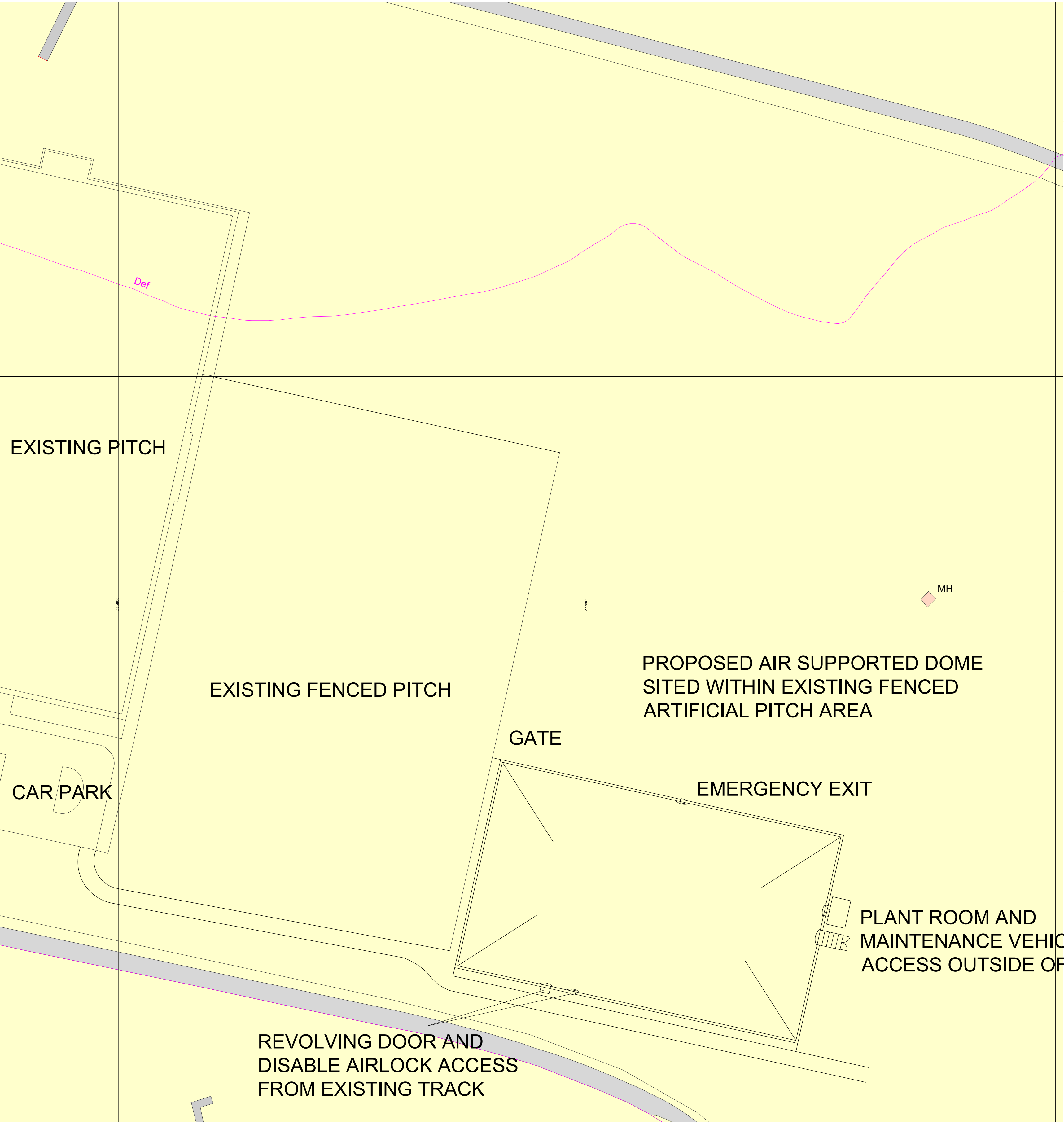
To safeguard the living conditions of residents and the amenity and character of the area with regard to noise and/or disturbance, and to comply with policy CG4 of Bolton's Core Strategy.

6. The development hereby permitted shall be carried out in complete accordance with the following approved plans:

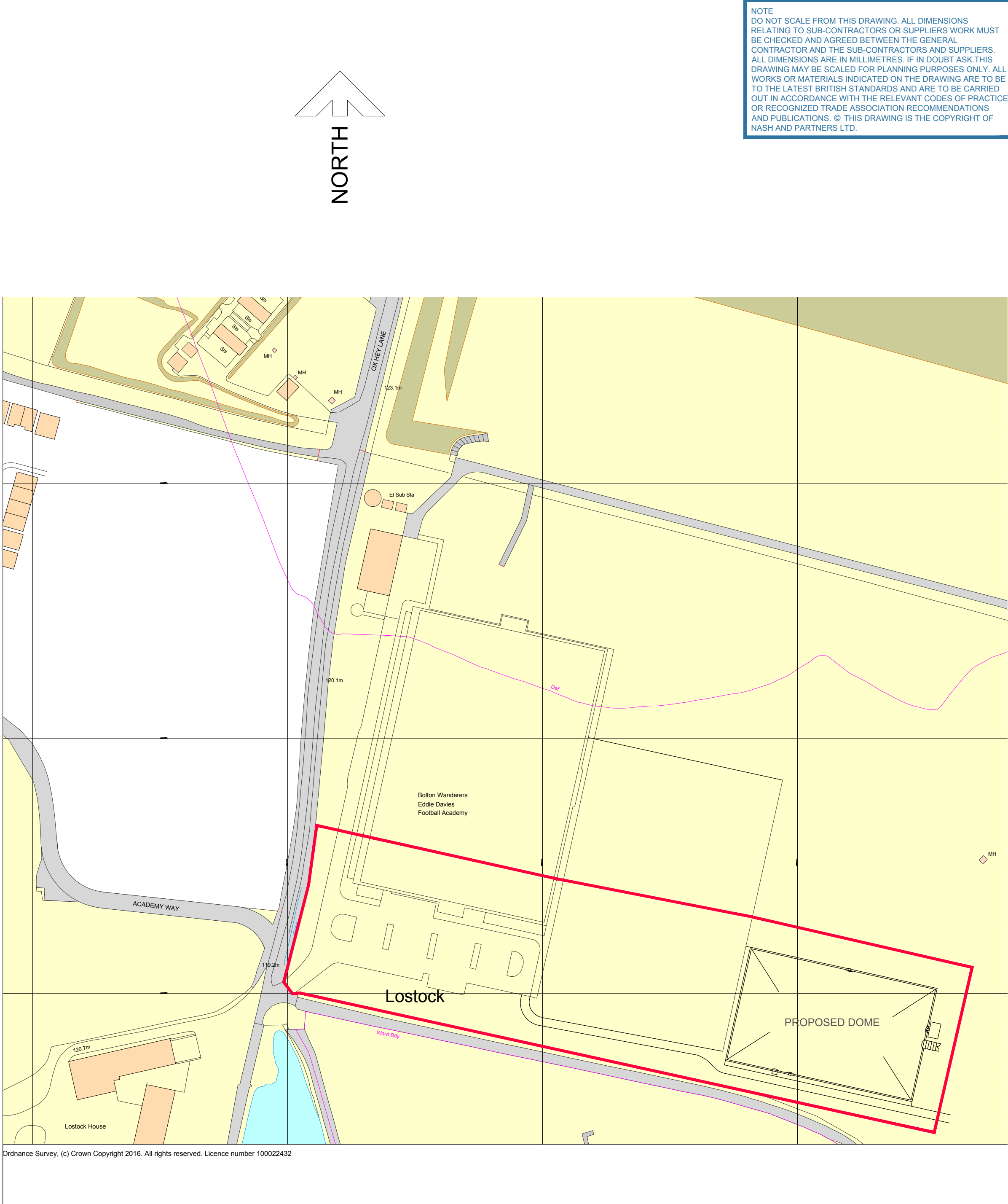
**2092/SK-10; "Site and Location Plans"; dated Aug 2016**  
**2092/SK-11; "Dome Plan and West Elevation"; dated Aug 2016**  
**2092/SK-12; "Elevations"; dated Aug 2016**

Reason

For the avoidance of doubt and in the interests of proper planning.



Site Plan 1:500



Location Plan 1:1250

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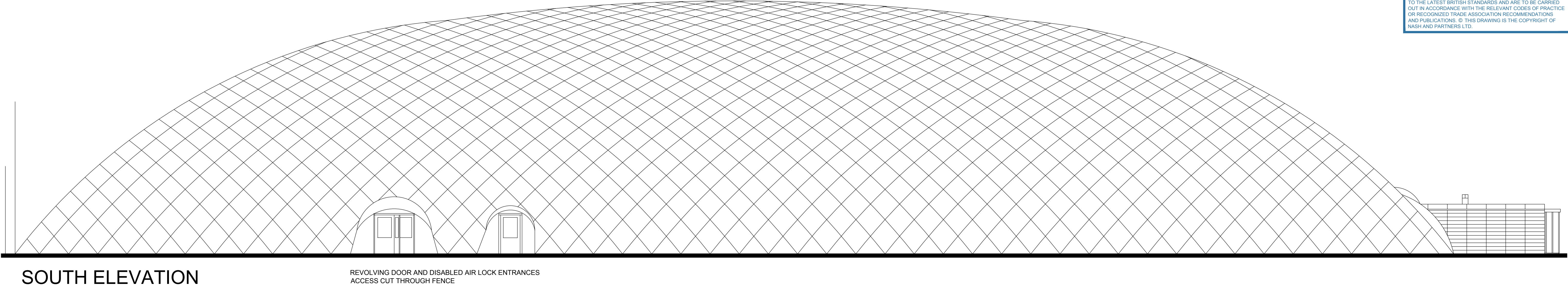
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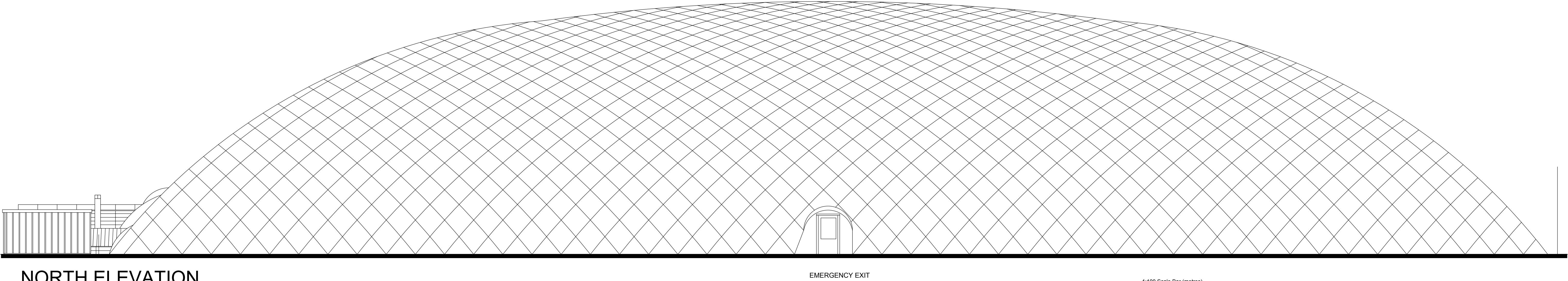
Client BOLTON WANDERERS COMMUNITY TRUST			
Location BOLTON WANDERERS FOOTBALL ACADEMY ACADEMY WAY LOSTOCK			
Drawing Title AIR SUPPORTED DOME ON EXISTING ARTIFICIAL FOOTBALL PITCH SITE AND LOCATION PLANS			
Date Aug 2016	Drawn By ARV	Scale 1:500 & 1:1250	
CAD file name H12_Contract Filing2_Chris/Bolton Wanderers FC - 2087/Dome/Dome.dwg			
Drawing No 2092/SK-10		Revision #	



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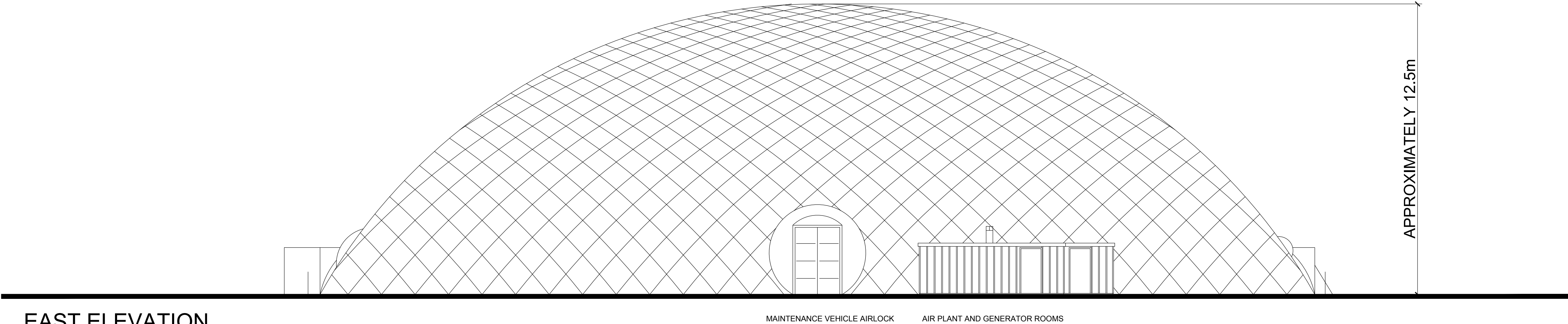


SOUTH ELEVATION




NORTH ELEVATION

EMERGENCY EXIT



EAST ELEVATION

MAINTENANCE VEHICLE AIRLOCK      AIR PLANT AND GENERATOR ROOMS



60a north street, chichester, west sussex, po19 1nb,  
tel 01243 815720, email: office@nashpi.com

Client		
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Location		
BOLTON WANDERERS FOOTBALL ACADEMY ACADEMY WAY LOSTOCK		
Drawing Title		
AIR SUPPORTED DOME ON EXISTING ARTIFICIAL FOOTBALL PITCH ELEVATIONS		
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Drawing No	Revision	
2092/SK-12	#	



# Application number 97374/16



Development & Regeneration Dept  
Development Management Section

Town Hall, Bolton, Lancashire, BL1 1RU  
Telephone (01204) 333 333

# Bolton Council

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**Date of Meeting: 24/11/2016**

**Application Reference: 97374/16**

**Type of Application: Full Planning Application**

**Registration Date: 06/09/2016**

**Decision Due By: 31/10/2016**

**Responsible Officer: Paul Bridge**

**Location: THOMAS COURT, TOPPINGS GREEN, BROMLEY CROSS, BOLTON, BL7 9JX**

**Proposal:** PROPOSED EXTENSION TO EXISTING BUILDING TO CREATE THREE ADDITIONAL THREE BEDROOMED APARTMENTS TOGETHER WITH AMENITY AREA AND ALTERATIONS TO PARKING LAYOUT.

**Ward: Bromley Cross**

**Applicant: Mr Flitcroft**

**Agent : RT Design**

## **Officers Report**

**Recommendation: Approve subject to conditions**

### **Proposal**

Planning permission is sought for the erection of three additional (3 bed) apartments together with amenity space and alterations to the existing parking layout.

In order to accommodate the three additional apartments a three storey extension is proposed on the southern gable end of the existing apartment block within the existing car park area. The proposal would be constructed out of tile for the roof and rendered panels fixed to injectawall insulated timber frame system.

All the apartments would have a floor space of approximately 70m<sup>2</sup>. The proposal would increase the number of residential units from 25 to 28.

Access to the car park area would be via the existing vehicular access adjacent to No.53 Toppings Green. The proposed extension will have a new entrance that will be independent and separate from the existing entrances to the apartments.

Due to the siting of the proposed extension the proposal would result in a reduction of car parking spaces from 35 to 30 (-5).

Residents private amenity space would be provided to the rear of the block and a new bin store would be sited within the existing car park area along the eastern boundary.



## **Site Characteristics**

The application site is located in Bromley Cross in North Bolton. It is set within a densely populated area with a variety of properties, i.e. terraces, semis and apartments in close proximity to the site. A public right of way runs directly through the existing apartment block and is accessed via a central void in the existing apartment block. The site is bounded by residential dwellings to the east along Lower House Walk and to the south west along the Crescent and Toppings Green. Directly to the front of the existing block of flats is a communal parking area, beyond which is a green. In the wider surrounding area is Bromley Cross Library and Children's Centre and St John the Evangelist Church.

## **Policy**

National Planning Policy Framework

Core Strategy CG2 Sustainable Design and Construction, CG3 The Built Environment, CG4 Compatible Uses, SC1 Housing, OA5 North Bolton, and Appendix 3 - Parking Standards.

SPD Accessibility, Transport and Road Safety

## **Analysis**

Section 38 of the Planning and Compulsory Purchase Act 2004 requires applications to be determined in accordance with policies in the Development Plan unless material considerations indicate otherwise.

Applications which are not in accordance with Development Plan policies should be refused unless material considerations justify granting permission.

Similarly, proposals which accord with Development Plan policies should be approved unless there are material considerations which would justify a refusal of permission.

It is therefore necessary to decide whether this proposal is in accordance with the Development Plan and then take account of other material considerations.

The main impacts of the proposal are:-

- \* principle of residential development;
- \* impact on housing provision
- \* impact on affordable housing
- \* impact on the character and appearance of the surrounding area;
- \* impact on the living conditions of existing and future residents;
- \* impact on the existing highway network and parking;
- \* impact on crime and the fear of crime;
- \* impact on the environment.

## **Local finance considerations**

Section 70(2) of the Town and County Planning Act 1990 (as amended) provides that a local planning authority must have regard to a local finance consideration as far as it is material. There are not considered to be any local financial considerations in this case.

## **Principle of residential development**

The National Planning Policy Framework at paragraph 7 defines sustainable development as incorporating a social role - "supporting strong, vibrant and healthy communities, by providing the

supply of housing required to meet the needs of present and future generations; and by creating a high quality built environment, with accessible local services that reflect the community's needs and support its health, social and cultural well-being”.

Paragraph 49 of the NPPF states that “housing applications should be considered in the context of the presumption in favour of sustainable development”, whilst one of the 12 core planning principles identified in paragraph 17 is to encourage the effective use of land that has been previously developed (brownfield land). Core Strategy policy CG3 reflects these priorities. The site is previously developed brownfield land and its development would constitute effective use of land in accordance with the NPPF.

Given the fact that the site is brownfield land located within an urban area in an accessible and sustainable locality and having regard to the housing requirements on previously developed land in Bolton, it is considered that the principle of developing the site for residential purposes is acceptable.

#### Impact on Housing Provision

All new housing developments should contribute towards the provision of a balanced mix of dwellings within the local area in terms of size, type, tenure and affordability.

Typically, the majority of apartments should have a floor space of 55m<sup>2</sup> or more to provide an adequate amount of living space. The submitted plans indicate that all the apartments would have a floorspace of approximately 70m<sup>2</sup>.

The proposed development is therefore considered acceptable in this regard and would provide future occupiers with an adequate amount of living space.

#### Impact on Affordable Housing

Given that only 3 additional residential units are proposed there is no requirement for the developer to provide any affordable housing provision within the site.

#### Impact on the Character and Appearance of the Surrounding Area

Policy CG3 of the Core Strategy seeks to ensure that new development proposals contribute to good urban design in that they are compatible with/improve their surroundings, create a safe, secure environment and are accessible by people with a range of mobility and physical ability.

There are no objections to the layout of the development in terms of design. It is considered that the siting of the proposal is considered acceptable and would respect the layout of the immediate surrounding area.

The adjacent dwellings are all principally two storey and whilst the proposed building is three storeys, the overall maximum height of the building would be consistent with the existing apartment block. The scale and massing of the proposal is therefore considered to be appropriate in the context of the dwellings and other existing buildings in the immediate and wider surrounding area.

The proposed extension would have a large protruding window which spans the full height of the proposal and which adds interest and a focal point to this elevation. The application forms state that the proposal would be constructed from tile for the roof and rendered panels fixed to an insulated timber frame system. No details of the colour of the render have been submitted. Given that the existing block of apartments is finished in brick work and in order to ensure that the materials proposed are of a high quality and compliment the existing building a materials condition will be recommended requiring the applicant to submit agreed samples of materials prior to the commencement of development.

The proposed site plan shows that the proposed apartments would have a small area of amenity space which would be located to the rear of the proposal. Given that the site plan lacks detail in this respect a landscape condition is recommended to agree these details at an appropriate stage within the development. It is considered that a landscaping scheme could be secured and as such there are no objections to the development in this regard.

In light of the above and subject to conditions to secure high quality materials and a landscaping scheme the development is considered to accord with Core Strategy Policies CG3 and OA5.

#### Impact on the living conditions of existing/future residents

Policy CG4 of the Core Strategy has the objective of ensuring that proposals do not adversely affect the level of residential amenity neighbouring occupants can reasonably expect to enjoy.

#### *Future Occupiers*

All new development, alterations and extensions to existing buildings should provide potential users with a satisfactory level of amenity in terms of space, sunlight, daylight, privacy, aspect and layout. Development should not usually be permitted where it would have an unacceptable impact on the living conditions of nearby occupiers.

The proposed apartments are considered to be of an appropriate size to be functional and would provide any potential future occupiers with adequate living space. All of the habitable rooms within the flats are served by way of windows which would provide an adequate source of both light and outlook to these habitable rooms. It is therefore considered that the proposed flats are sufficient in size and design.

There would be a small area of communal amenity space to the rear of the proposed extension for the apartments and there are areas of open space within walking distance of the site, namely a green directly to the front of the existing apartment block. In addition, the property is located on Toppings Green, which is within close proximity to a number of services and is in a sustainable location with access to regular public transport links. It is therefore considered that the sustainability of the location and close proximity of open spaces mitigate the limited amount of open space contained within the curtilage of the property. Bin storage would be located in an external area to the side of the proposal (within the car park area) would provide sufficient space for bin storage for the seven proposed apartments.

#### *Neighbouring Residents*

There are a number of residential dwellings adjacent to the site along Lower House Walk, the Crescent and Toppings Green.

The site is located in a dense urban location and there are residential properties adjacent to the site. It is considered the proposed use would not increase the potential for noise and disturbance than the previous use as garage colony and therefore would be wholly compatible in a residential area.

#### *Loss of Privacy/Overlooking*

In respect of loss of privacy and overlooking adequate screening would be secured at ground floor level by the existing boundary treatment which consists of 1.8m fencing along the eastern boundary with the dwellings along Lower House Walk and a mixture of 1.2m high fencing and evergreen trees to

## No.53 Toppings Green.

In respect of the upper floors, the design layout and aspect of the apartments would result in the principle habitable room windows which serve the lounge, bed 1 and 2 overlooking the car park area. The windows in the front and rear elevations would be secondary habitable room windows or non-habitable room windows, with the exception of the smaller third bedroom. In order to prevent any unacceptable loss of privacy/overlooking to the dwellings along Lower House Walk, Toppings Green and the Crescent, a condition has been attached to ensure the windows in the front and rear elevation of the proposed extension are all obscurely glazed. Furthermore, the distances between the proposal and the neighbouring dwellings roughly reflects the distances between the juxtaposition of existing residential dwellings and apartment block.

### *Loss of Light/Overbearing.*

Whilst this is not an extension to a residential dwelling, the principles of the adopted House Extension SPD can provide useful guidance in this case. The House Extension SPD considers that a distance of 13.5m should normally be maintained between a principal ground floor habitable room window and a two storey extension and 9m between a neighbouring elevation which contains a principal habitable room window and a facing wall of a single storey extension.

As stated above the design of the proposal in respect of its bulk and massing is broadly similar to the existing apartment block and would have a maximum height to the ridge of approximately 10m. Given the height of the proposal, an interface distance of approximately 15.5m would normally be expected between a principal ground floor habitable room window and a development of this height.

### *Toppings Green and The Crescent*

There are no principle habitable rooms in the side elevation of No.53 Toppings Green which would directly face the proposal and adequate interface distances of approximately 21m would be maintained to the residential dwellings to the south west along the Crescent.

In addition, given, the orientation of the sun in relation to the dwellings and the proposal, it is considered that the proposal would not result in any unacceptable loss of light and outlook and would not be overbearing to these dwellings.

### *Lower House Walk*

There are a number of dwellings located directly to the east of the site along Lower House Walk. The proposed extension would project approximately 8.5m from the existing gable which would result in the proposed extension directly facing the dwelling to the rear at No.15 Lower House Walk. The proposal would have an approximate height of 10m to the ridge, due to the juxtaposition of these dwellings in relation to the proposal, interface distances ranging between 16m and 17m would be maintained to the main two storey rear elevations which contain both ground floor and principle habitable room windows which is considered acceptable to prevent any unacceptable loss of light and outlook and would not be overbearing to these dwellings.

Subject to appropriate conditions it is not considered that the proposal would result in an unacceptable impact upon of the residential amenity of neighbouring occupiers in accordance with policy CG4 of the Councils Cores Strategy and the guidance contained within the House Extensions SPD.

### Impact on the existing highway network and car parking

Core Strategy policies P5 and S1.2 and Appendix 3 seek to ensure that new development proposals make adequate provision for pedestrians, cyclists, servicing and access arrangement and car parking.

The proposal provides for three, 3 bedroom apartments and would be accessed from the existing vehicular access adjacent to No.53 Toppings Green. Due to the siting of the proposed extension the proposal would result in a reduction of car parking spaces from 35 to 30 (-5).

The applicants in their submission have included eight communal spaces outside of the application site. These spaces are located directly to the front of the existing apartment block and could be used by all users of the public highway. This would result in a maximum of 22 spaces being allocated within the site for the existing and proposed units.

The existing block currently contains 18 two bed and 6 three bed apartments, this taken with the new proposal would result in 27 units of accommodation. This scale of development would normally require a 'maximum' parking provision of 54 spaces.

Whilst the proposal would reduce the amount of parking provision within the site to 22 spaces, the fact remains that the eight spaces to the front of the proposal are available for use. In addition there is unrestricted parking on the Crescent and a number of the residential dwellings along Toppings Green and the Crescent have off street parking available via either driveways or garages.

In addition, the site is located within an accessible location which is served by good public transport links allowing for trips on foot and public transport. The Councils Highway Engineers have expressed concern over the number of parking spaces available within the site. Whilst this is noted the LPA is mindful that Paragraph 32 of the NPPF states that "*development should only be prevented or refused on transport grounds where the residual cumulative impacts of development are severe*".

Given, the above, it is considered, on balance, that the Local Planning Authority find no substantive evidence that the proposal would lead to a severe significant increase in on-street parking or have any consequential impact upon highway safety in accordance with policies S1 of the adopted Core Strategy.

#### Impact on Crime and the Fear of Crime

The proposed extension will have a new entrance that will be independent and separate from the existing entrances to the apartments. The proposed new entrance would be located within the new front elevation and which would be accessed via the existing car park area. This would result in the new entrance having restricted natural surveillance, however, there is activity in the immediate area as the car park for the proposal is located within close proximity to the entrance. The proposed plans do not show any external lighting. A condition has been attached requiring further details of external lighting to ensure it is fit for purpose.

Given the above and subject to appropriate conditions requiring the lighting and security measures to be incorporated in the proposal, it is considered that the proposal is in accordance with policy S1 of adopted Core Strategy.

#### Environment

Core Strategy policy CG2 seeks to ensure that new residential development proposals of 5 or more residential units are built to (a) achieve a Level 3 of the Code for Sustainable Homes, (b) reduce carbon dioxide emissions from the dwellings and (c) a reduction in surface water run-off from the development.

### *Drainage*

The application site is not located within a critical drainage area or Flood Risk 2 or 3 areas. A condition has been attached to ensure that a sustainable urban drainage system is incorporated into the scheme.

### *Noise*

Given the proposed end use is residential in nature, it is not considered that the proposal will result in any issues in respect of noise.

### *Contaminated Land*

A desktop study has not been submitted in support of the application. Given the proposed sensitive end use a preliminary risk assessment is required to assess the contamination risks associated with the proposed redevelopment. As such a condition has been attached to ensure this carried out prior to the commencement of development.

### *Sustainability*

The application has not been supported by a Sustainability Report. However, the applicants have in their design and access statement stated listed a number of sustainable measures that will be incorporated into the scheme. These measures include minimising water and energy consumption and maximising the use of responsibly sourced and/or recycled building materials.

It is considered that with the imposition of a condition that the development would accord with policy CG2 of the adopted Core Strategy.

### Waste/Bin Store

The proposed development would utilise the existing waste collection arrangements and would not have any impact upon the current waste collection service arrangements.

The propose plans indicated that the bin store would be located along the eastern boundary, and in close proximity to residential amenity areas. Therefore in order to mitigate the potential for nuisance in respect of noise and odours a condition has been attached to ensure a covered and secure bin store/enclosure is provided. Subject to above the proposal is considered to comply with policy CG4.

### **Other Issues**

The application site is located in an area defined by the Coal Authority as high risk. The applicants in support of the application have submitted a coal mining risk assessment which concludes that based on available evidence there is a possibility that coal or mine workings could be present beneath the proposed building and therefore further investigation is required. At the time of writing the report, no response has been received from the Coal Authority. The response will be reported to the committee and actioned accordingly. However, a number of conditions could be attached to ensure appropriate mitigation measure are put in place should the Coal Authority response be favourable.

### **Conclusion**

The proposal would result in the use of a brownfield site within a predominantly residential area with an extension to a residential apartment block which is sensitive to the location within which it is set. It is considered that the proposal complies with policy and is recommended for approval subject to conditions.

### **Representation and Consultation Annex**

## **Representations**

### **Letters:-**

Representations have been received from 9 individual addresses (a number of which have written in on a more than one occasion) and a petition with 78 signatures in response to the planning application publicity and who have raised the following concerns:-

Loss of privacy/overlooking,

Loss of light/overbearing,

Light pollution,

Noise from the development,

Parking Congestion,

Drainage,

Development (materials) out of character with surrounding area,

What alterations are being made to the surrounding roads?

Location of bin store,

*The above issues have been addressed in the appraisal.*

*Loss of view. Response* – The loss of a view is not a material planning consideration.

Noise from future residents. *Response* - The development would provide residential units and as such it is considered there would be no excessive increases in noise

Additional noise and disturbance during the construction phase. *Response* - With any development there will be an element of noise and general disturbance during the construction phase. Whilst this is a material planning consideration it is not a reason to refuse planning permission as this would be for a temporary period.

Loss of property value. *Response* - The loss of property value is not a material planning consideration.

Impact on Health. *Response* - In determining this application regard has been given to the health implications, however, there is no evidence to suggest that an extension of the applicants property is likely to have a significant adverse impact on the neighbours health and wellbeing.

## **Consultations**

Advice was sought from the following consultees: Coal Authority, the Council's Highways Engineers, Landscape and Design for Security.

## **Planning History**

58109/00 – Change of use from 2 shops to 2 residential apartments, single storey front extension, installation of balconies to front elevation on first and second floors. Alterations to roof, erection of

walls/gates at front and rear, erection of 4 bin stores at rear/side, demolition of existing garages and erection of 24 car parking spaces with associated landscaping and security lighting. – Approved 12<sup>th</sup> January 2001.

**Recommendation:            Approve subject to conditions**

**Recommended Conditions and/or Reasons**

1.     The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason

Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2.     Notwithstanding the approved plans and prior to the commencement of development the details of the type and colour of materials to be used for the external walls, windows and roof to be agreed with the Local Planning Authority. The approved materials shall be implemented in full thereafter.

Reason

To ensure the development reflects local distinctiveness and to comply with policy CG3 of Bolton's Core Strategy.

3.     Prior to the commencement of the development, a Preliminary Risk Assessment report, including a conceptual model and a site walk over, to assess the potential risk of land contamination, shall be submitted to and approved in writing by the Local Planning Authority. Should a potential risk be identified then:

1. A Site Investigation report shall be submitted to and approved in writing by the Local Planning Authority. The investigation shall address the nature, degree and distribution of land contamination on site and shall include an identification and assessment of the risk to receptors focusing primarily on risks to human health and the wider environment; and

2. The details of any proposed Remedial Works shall be submitted to, and approved in writing by the Local Planning Authority. Such Remedial Works shall be incorporated into the development during the course of construction and completed prior to occupation of the development; and

3. A Verification Report shall be submitted to, and approved in writing by, the Local Planning Authority. The Verification Report shall validate that all remedial works undertaken on site were completed in accordance with those agreed by the LPA.

Reason: In the interests of public safety in accordance with National Planning Policy Framework

4.     Prior to the commencement of any development, details of the foul drainage scheme shall be submitted to and approved in writing by the Local Planning Authority. Foul shall be drained on a separate system. No building shall be occupied until the approved foul drainage scheme has been completed to serve that building, in accordance with the approved details. This development shall be completed maintained and managed in accordance with the approved details.

Reason: To ensure foul water from the site is adequately drained.

5.     Prior to the development being first brought into use surface water drainage works should be implemented in full in accordance with details that have been submitted to and approved in writing



with the Local Planning Authority. Before these details are submitted an assessment shall be carried out of the potential for disposing of surface water by means of a sustainable drainage system in accordance with the principles set out in the National Planning Policy Framework, and the results of the assessment provided to the Local Planning Authority. Where a sustainable drainage system is to be provided, the submitted details shall:

- 1) Provide information about the design storm period and intensity, the method employed to delay and control the surface water discharged from the site and the measures taken to prevent pollution of the receiving groundwater and/or surface waters.
- 2) Include a timetable for its implementation, and
- 3) Provide a management and maintenance plan for the lifetime of the development which shall include the arrangements for adoption by any public authority or statutory undertaker and any other arrangements to secure the operation of the scheme throughout its lifetime.

Reason

To ensure the site provides satisfactory means of surface water drainage.

6. Prior to the construction of any development hereby approved above slab level the site shall be treated in accordance with a landscape scheme, which shall be submitted to and approved in writing by the Local Planning Authority. Such scheme shall include full details of shrubs to be planted, walls, fences, boundary (including height) and surface treatment together with an implementation plan. Any shrubs dying within five years of planting shall be replaced with the same species within twelve months. The development hereby approved shall be carried out in accordance with the approved details.

Reason: To safeguard the amenity of the area

7. Notwithstanding the approved plans and prior to first occupation of the development hereby approved, a scheme for the refuse storage facilities (including enclosure and siting) shall be submitted and approved by the Local Planning Authority. The facilities approved shall be provided before the development is occupied and thereafter retained.

Reason: In the interests of residential amenity.

8. Prior to first occupation a scheme for the provision of external lighting shall be submitted to and approved in writing by the Local Planning Authority. Such a scheme shall include full details of the locations, design, luminance levels, light spillage and hours of use of, and columns for, all external lighting within the site and the approved scheme shall be implemented in full prior to the occupation of development.

Reason:- In the interest of crime and design.

9. Before the approved development is first brought into use no less than 22 car parking spaces with minimum dimensions of 2.4 metres by 4.8 metres shall be marked out provided within the curtilage of the site, in accordance with Drawing Ref: **STC/PL/16/001 - Existing and Proposed Site Layouts - Dated Aug 2016**. Such spaces shall be made available for the parking of cars at all times the premises are in use.

Reason

To ensure that adequate provision is made for vehicles to be left clear of the highway and to comply with policy P5 and Appendix 3 of Bolton's Core Strategy.

10. Prior to the development hereby approved being first occupied or brought into use, a scheme detailing how parts of the site to be used by vehicles are to be laid out, constructed, surfaced, drained and lit shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be implemented in full and thereafter made available for the use of vehicles at all times the development is in use.

Reason

To encourage drivers to make use of the parking and circulation area(s) provided.

11. Before the first occupation any residential use hereby permitted all the windows in the eastern (rear) and western (front) elevations (at all levels) shall be fitted with obscure glazing whose obscuration level is 5 on scale of 1-5 (where 1 is clear and 5 is completely obscure) and shall be permanently retained in that condition thereafter.

Reason

To protect the privacy, outlook and living conditions of neighbouring occupiers.

12. The development hereby permitted shall be carried out in complete accordance with the following approved plans:

**STC/PL/16/002 - Existing and Proposed Plans and Elevations - Dated Aug 2016**

**STC/PL/16/001 - Existing and Proposed Site Layouts - Dated Aug 2016**

**Location Plan Received 6th September 2016.**

Reason

For the avoidance of doubt and in the interests of proper planning.

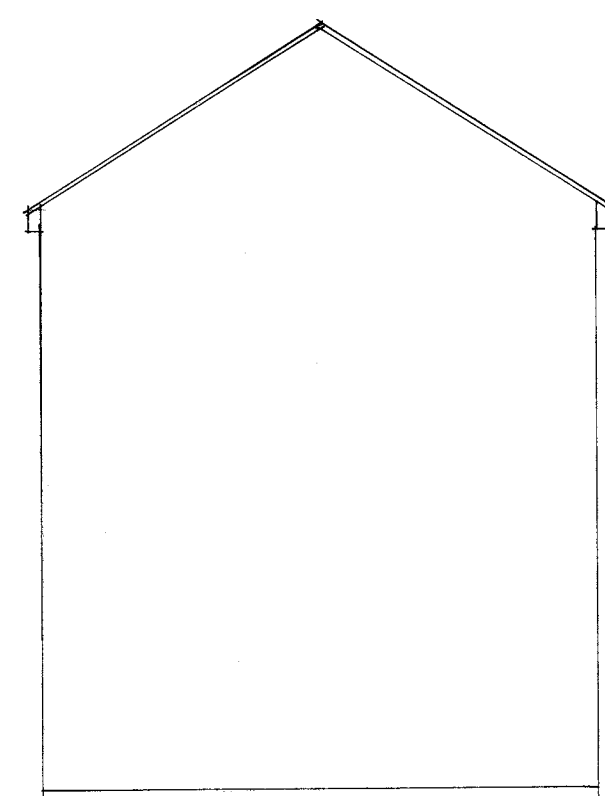
**SITE LOCATION PLAN  
AREA 2 HA  
SCALE 1:1250 on A4  
CENTRE COORDINATES: 372459, 413433**



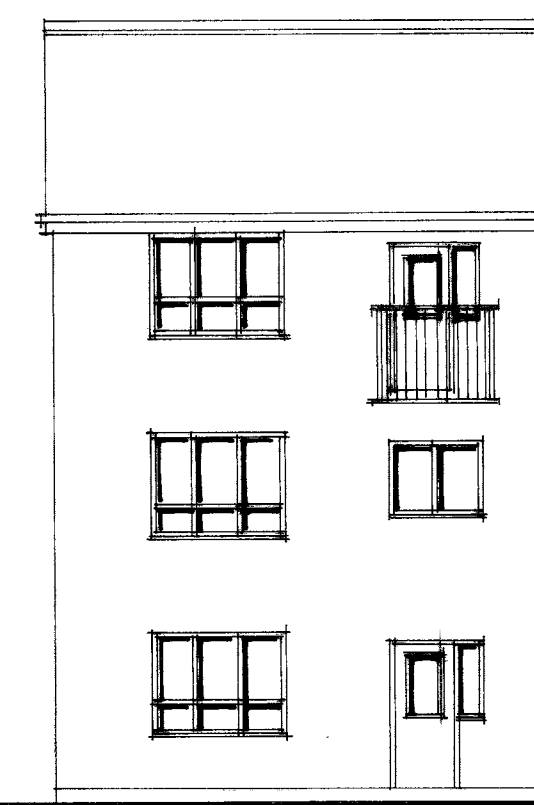
Supplied by Streetwise Maps Ltd  
[www.streetwise.net](http://www.streetwise.net)  
 Licence No: 100047474  
 06/09/2016 08:54



EXISTING FRONT ELEVATION



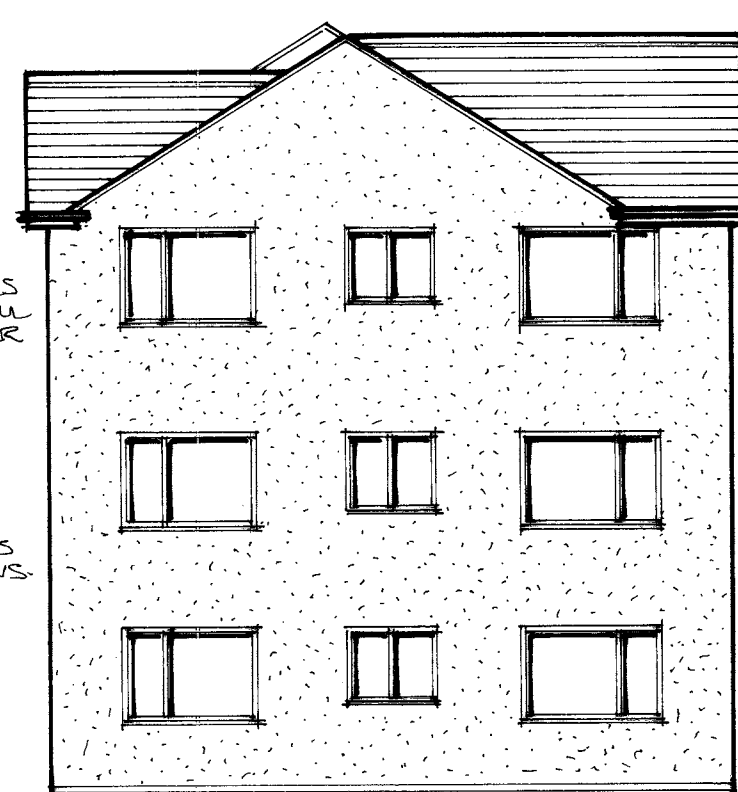
EXISTING SIDE ELEVATION



EXISTING REAR ELEVATION



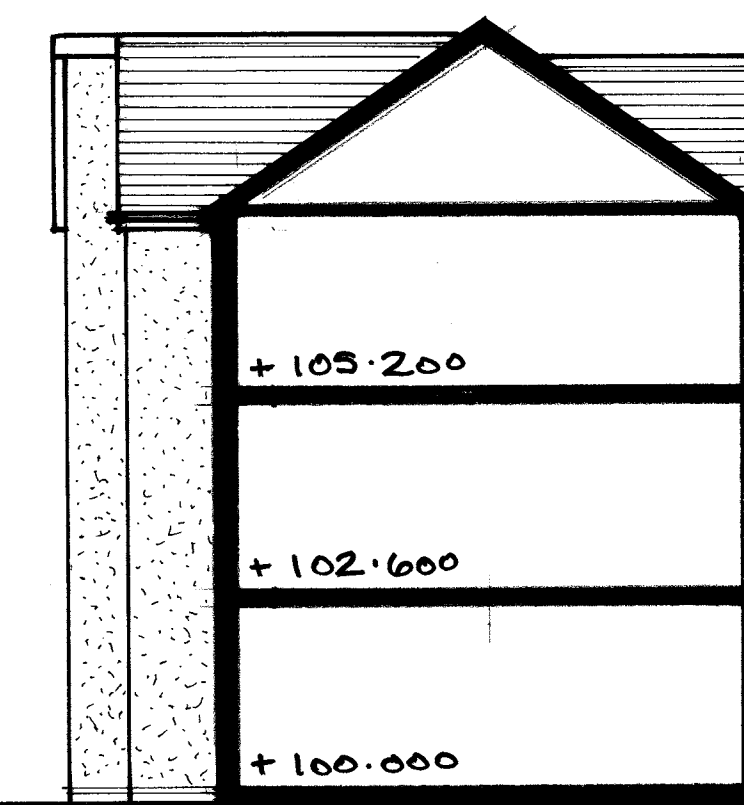
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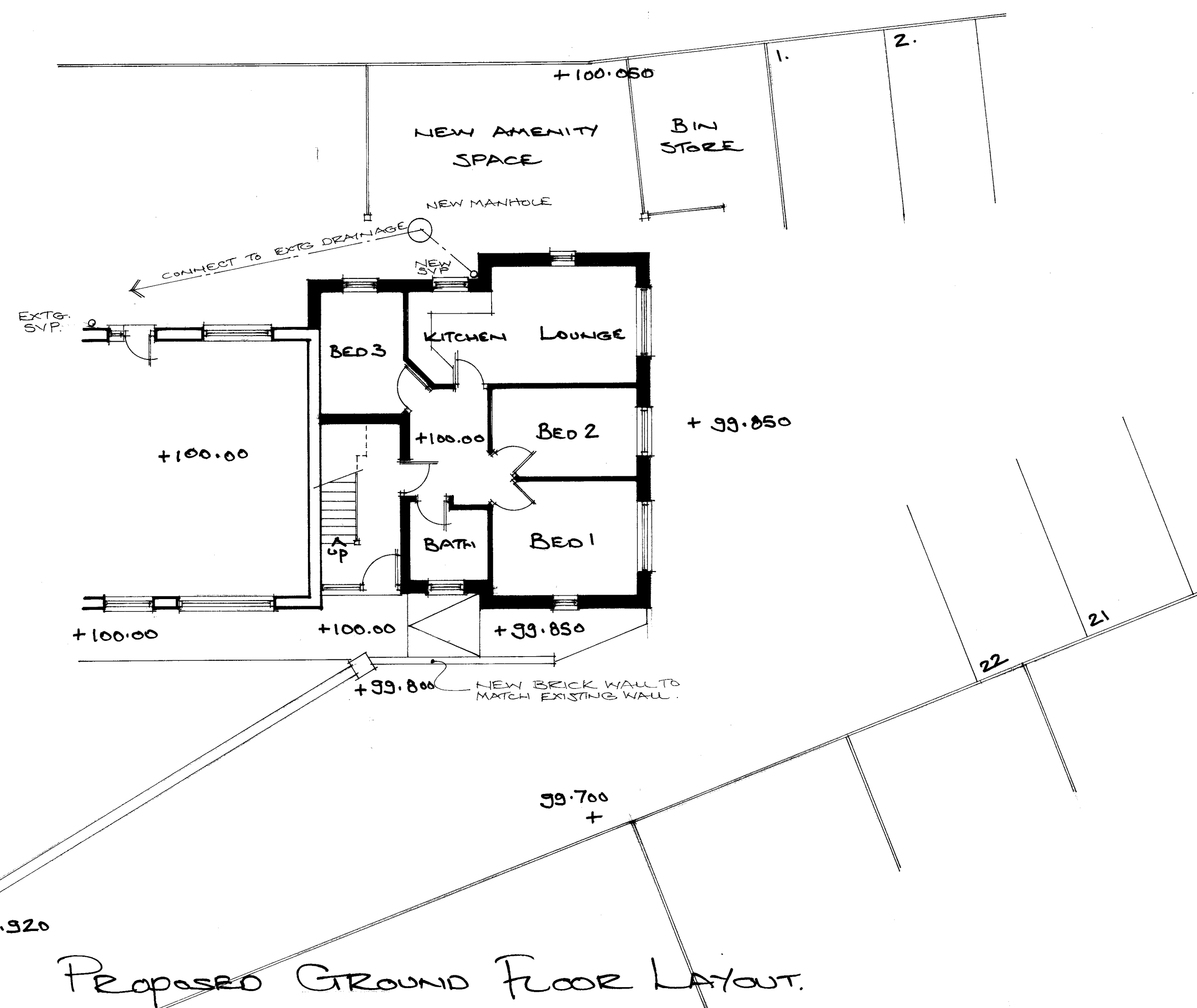
PROPOSED SIDE ELEVATION



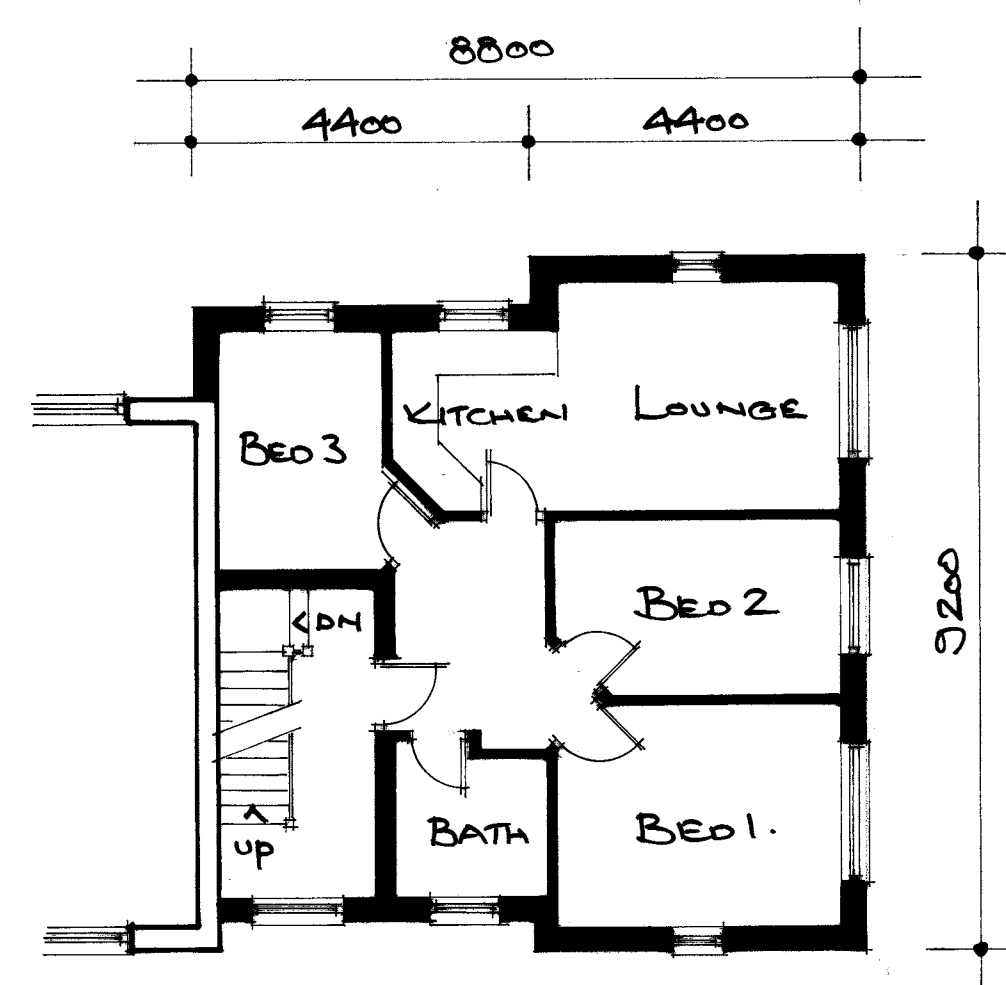
PROPOSED REAR ELEVATION



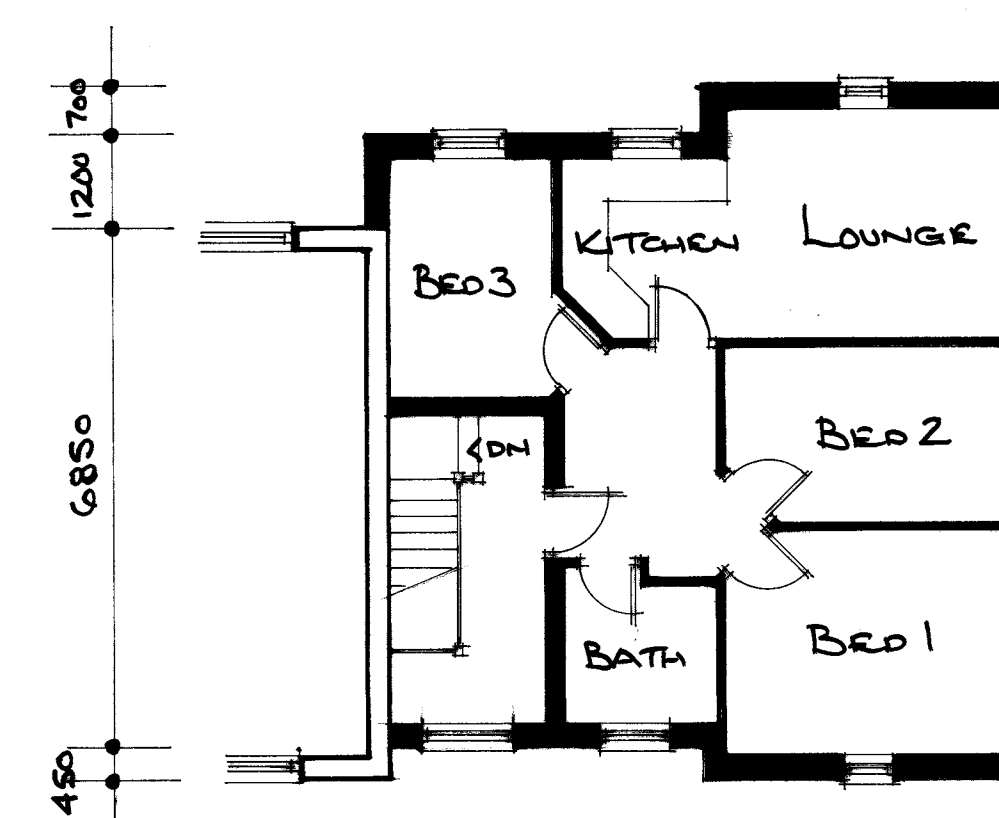
PROPOSED SIDE ELEVATION



PROPOSED GROUND FLOOR LAYOUT



PROPOSED FIRST FLOOR LAYOUT



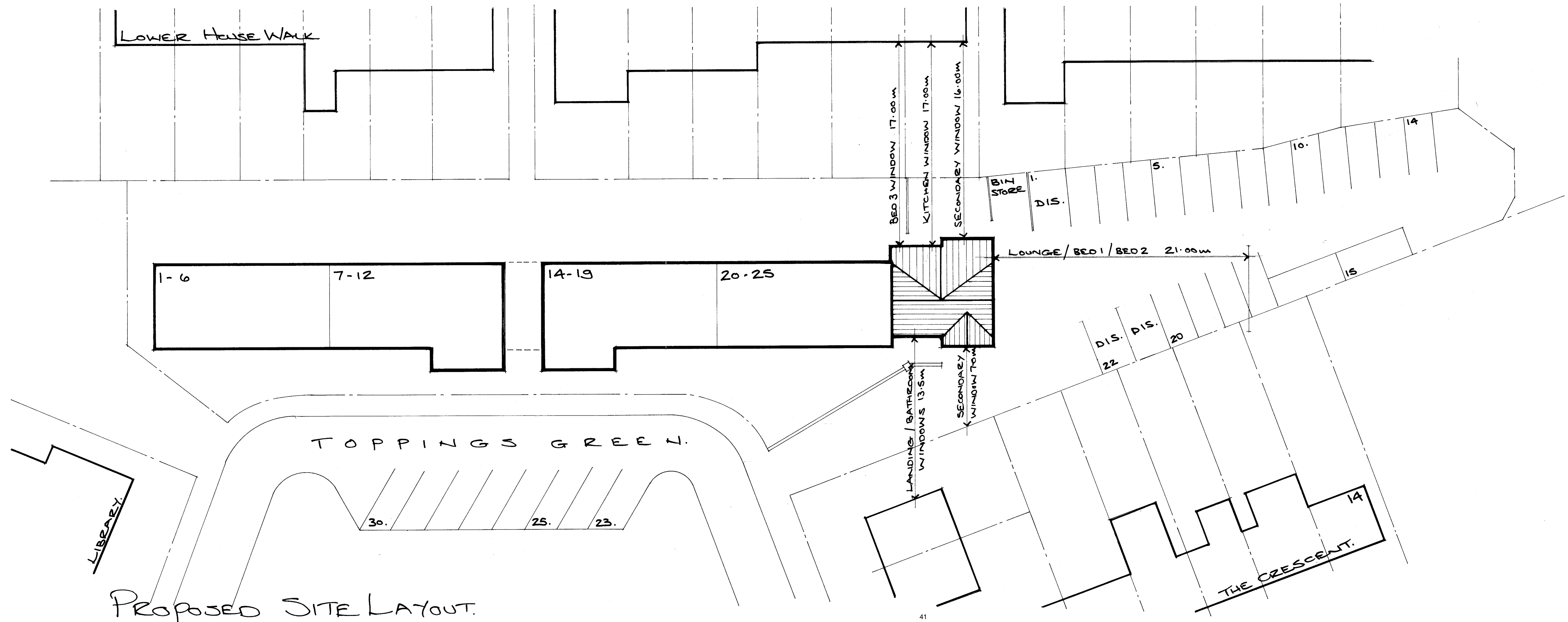
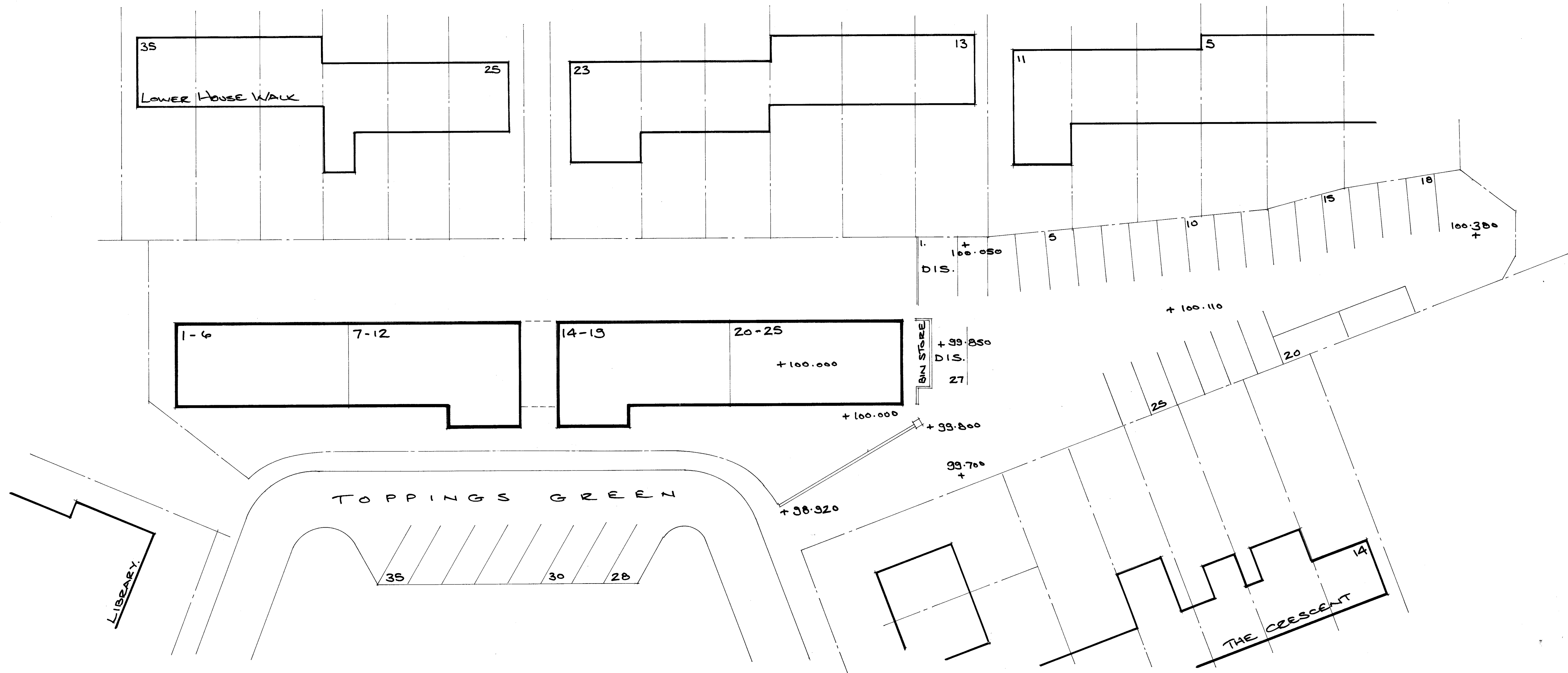
PROPOSED SECOND FLOOR LAYOUT

SITE THOMAS COURT, TOPPINGS GREEN, BROMLEY CROSS BOLTON.			
PROJECT PROPOSED EXTENSION TO CREATE THREE ADDITIONAL 3 BEDROOM APARTMENTS			
TITLE EXISTING AND PROPOSED PLANS AND ELEVATIONS			
SCALE 1:100 @A1	DATE AUG 2016	DRAWN AJL	DRAWING NO STC/PL/16/002



**R T DESIGN**  
Architectural and Surveying Services

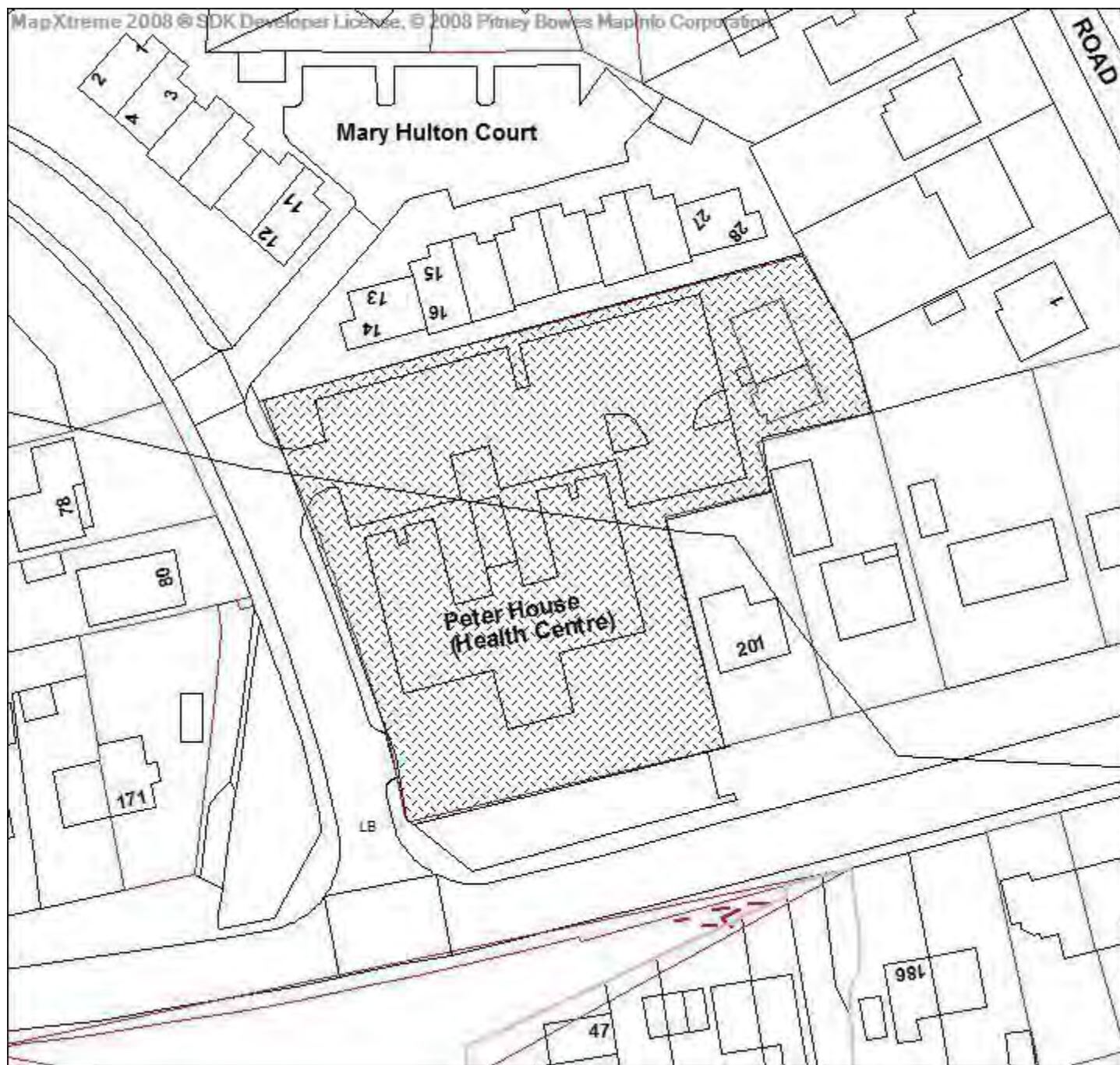
304 Valley Mill,  
Cottonfields,  
Eagley, Bolton.  
BL7 9DY  
Tel/Fax: (01204) 591411



SITE THOMAS COURT, TOPPINGS GREEN, BROMLEY CROSS BOLTON.			
PROJECT PROPOSED EXTENSION TO CREATE THREE ADDITIONAL 3 BEDROOM APARTMENTS			
TITLE EXISTING AND PROPOSED SITE LAYOUTS			
SCALE 1:200 @A1	DATE AUG 2016	DRAWN AJL	DRAWING NO STC/PL/16/001



**Application number  
97393/16**



**Development & Regeneration Dept  
Development Management Section**

Town Hall, Bolton, Lancashire, BL1 1RU  
Telephone (01204) 333 333

**Bolton  
Council**

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**Date of Meeting: 24/11/2016**

**Application Reference: 97393/16**

**Type of Application: Full Planning Application**  
**Registration Date: 07/09/2016**  
**Decision Due By: 01/11/2016**  
**Responsible Officer: Jeanette Isherwood**

**Location: PETER HOUSE SURGERY, CAPTAIN LEES ROAD,  
WESTHOUGHTON, BOLTON, BL5 3UB**

**Proposal:** ERECTION OF GROUND AND FIRST FLOOR EXTENSION TO  
PROVIDE ADDITIONAL STAFF FACILITIES, INTERNAL  
ALTERATIONS TO CREATE ADDITIONAL EXAMINATION ROOM  
AND PATIENT WAITING AREAS TOGETHER WITH  
ALTERATIONS TO PROVIDE EXTRA CAR PARKING SPACES

**Ward: Westhoughton North**

**Applicant: Unsworth Group Practice**  
**Agent : Fish Associates Ltd**

## **Officers Report**

**Recommendation: Approve subject to conditions**

### **Proposal**

The application proposes the erection of a first floor extension, the infilling of the existing court yard and the erection of a two storey extension to the rear elevation. Together with alterations to the access and existing car park. Details include:-

- The first floor element will provide additional staff facilities and will include a design feature of metal cladding to modernise the appearance of the extension.
- The court yard infill will provide additional patient/visitor space at ground floor and will include the insertion of glazed light wells.
- The two storey rear element will create a larger entrance space and stairwell and will be of glazed and timber clad construction.
- Increase in patient parking spaces from 37 to 39
- Increase in staff parking spaces from 11 to 18
- Amendments to the existing staff entrance to accommodate additional spaces.

### **Site Characteristics**

The site is currently used as a medical practice with ancillary car parking and shared with a pharmacy on site. The site occupies a prominent position on the corner of Captain Lees Road and Park Road, the latter being a main arterial route into Westhoughton. The building is currently one and a half storeys high set on level ground with small areas of landscaping to the car parks. The patients car park is to the rear of the building providing easy access to the main entrance. The staff car park is sited to the front of the building. Both car parks are accessed from Captain Lees Road.

The immediate vicinity is predominantly residential, with flats to the rear of the building at Mary Hulton Court. However, landscaping is evident along this rear boundary to partially screen open views of the building. To the east is a detached property at 201 Park Road, which sits further forward than the surgery building. To the west the property is overlooked by 78 and 80 Captain Lees Road. To the front are houses lining Park Road.

### **Policy**

National Planning Policy Framework 2012

Core Strategy Objectives - SO1 Healthy Bolton; SO9 Reduce Crime and Fear of Crime

Core Strategy Policies CG3.2 Conserve and Enhance Local Distinctiveness; CG3.3 Scale, Massing, Grain and Form; CG3.5 Inclusive Design; CG4.1 Compatible Uses; CG4.2 Pollution; P5 Accessibility; S1.1 Reduce Crime and Fear Of Crime; H1.1 Health Facilities in Renewal Areas; OA3 Westhoughton and Appendix 3

SPD General Design Principles

### **Analysis**

Section 38 of the Planning and Compulsory Purchase Act 2004 requires applications to be determined in accordance with policies in the Development Plan unless material considerations indicate otherwise.

Applications which are not in accordance with Development Plan policies should be refused unless material considerations justify granting permission.

Similarly, proposals which accord with Development Plan policies should be approved unless there are material considerations which would justify a refusal of permission.

It is therefore necessary to decide whether this proposal is in accordance with the Development Plan and then take account of other material considerations.

The main impacts of the proposal are:-

- \* impact on the visual appearance and character of the area and crime
- \* impact on residential amenity
- \* impact on highway safety

### **Principle of the Development**

Policy H1.1 supports the development of new health facilities in accessible locations, and in renewal areas. Policy OA3 also states that the Council will continue to develop expanded medical and health facilities in Westhoughton.

The proposed development will enable an existing health facility in Westhoughton to expand, compliant with policy OA3 of the Core Strategy.

### **Impact on Visual Appearance and Character of the Area and Crime**

The Government attaches great importance to the design of the built environment. Good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people. (NPPF, para. 56) CS policy CG3 requires proposals to respect and enhance local distinctiveness, be compatible with the surrounding area in terms of scale, massing, grain, form, architecture and landscape treatment, including hard/soft landscaping and



boundary treatment. Policy OA3 seeks to conserve and enhance the character of the existing physical environment.

The main bulk of the proposals are situated to the rear of the building, overlooking the public car park and the tree lined boundary. From the front elevation the additions will have minimum visibility and therefore are thought to have minimum impact on the main street scene visible from Park Road. The addition of glazed panels gives the design of the building a more modern appeal. The style is functional and respectful to the existing architecture, street scaping, scale and massing.

Policy S1.1 strives to reduce crime and the fear of crime. The site benefits from an open frontage. No additional boundary treatment is proposed. The property is surrounded by residential houses and adjacent to a main thoroughfare. Occupying the building will also enhance security and provide ownership. Adding external security features could give the building a utilitarian appearance - this is not compatible with the street scene and it could attract crime, rather than hinder it.

The proposal complies with guidance within the NPPF and Core Strategy policies CG3, S1.1 and OA3.

#### Impact on Residential Amenity

Policy CG4.1 requires new development to be compatible with surrounding land uses and ensure neighbouring occupiers have sufficient privacy and amenity. Policy CG4.2 states that development should not generate unacceptable nuisance, odours, fumes, noise or light pollution, nor cause detrimental impacts upon water, ground or air quality.

Objections have been received from nearby residents with regards to loss of light due to the proposals and loss of privacy due to the glazed design of the extensions.

There is an element of glazing to the extensions to the rear elevation. However an interface distance of 20 metres remains to the flats at Mary Hulton Court and in excess of 50 metres to the nearest properties on Watersnook. These distances exceed the requirements contained within SPD General Design principles for this type of development.

The nearest property to the development will be 201 Park Road. However due to the siting of the first floor elevation, centrally located on the roof space it will in fact be 18 metres from this property and exceeds the 13.5 metres required within the SPD.

It is therefore considered that the developments will not result in any privacy or overlooking issues.

The proposal complies with Core Strategy policy CG4.

#### Impact on Highway Safety and Parking Provision

Policy S1.2 promotes road safety in new developments, whilst policy P5 states that developments should take into account accessibility by different types of transport, prioritising pedestrians, cyclists, public transport users over other motorised vehicle users.

The proposal provides the following:-

- An increase in staff parking spaces from 11 to 18
- An increase in public parking spaces from 37 to 39

Highways Engineers were consulted on the proposals and commented as follows:-

*"The improved health facility will not meet the Council's maximum parking standards for this level of*

*D1 use class (Medical or Health Facility-1 per 2 full time equivalent staff plus 3 per consulting room). The applicant has tried to improve parking provision to serve the level of development but is obviously governed by the engineering constraints of the site boundary and the building footprint. The facility is highly accessible to sustainable transport modes and the surrounding residential catchment areas and the town centre of Westhoughton. Owing to this element of sustainability, the proposed increase in parking provision within the curtilage of the site and the level of parking restrictions surrounding the site, the potential for overspill parking onto the surrounding highway will hopefully be minimal with a limited impact on residential amenity at that location."*

It is therefore considered that the proposed level of car parking for the extended facility is acceptable given its sustainable location, close to the community it will serve.

Highways Engineers have stated that they have a concern regarding the reduction in the width to the access to the staff car park and the close proximity of this access to the junction of Captain Lees Road/Park Road, however they have confirmed that this is only a "minor" concern and as the vehicle movements in and out of the car park will be negligible, the potential for queuing onto the highway will be minimal. Engineers therefore state that they have no objection to what is being proposed, subject to conditions ensuring that the proposed highways works are carried out in accordance with the submitted plans.

It is therefore considered that the proposal will not jeopardise highway safety, will provide adequate on-site parking and will comply with policies P5 and S1.2 of Bolton's Core Strategy.

#### **Local finance considerations**

Section 70(2) of the Town and County Planning Act 1990 (as amended) provides that a local planning authority must have regard to a local finance consideration as far as it is material. There are not considered to be any local financial considerations in this case.

#### **Conclusion**

For the reasons discussed above it is considered that the proposed development would not harm the character and appearance of the area, would not unduly harm the amenity of neighbouring residents and would not jeopardise highway safety, compliant with the policies contained within Bolton's Core Strategy.

Members are therefore recommended to approve this application.

## **Representation and Consultation Annex**

### **Representations**

**Letters:-** two letters of objection have been received. These raise the following concerns:

- \* Impact on privacy -and overlooking height and use of glazing;
- \* Loss of light to neighbouring property and garden;
- \* More cars will park on Captain Lees Road and in front of their house;
- \* More traffic on Park Road and Captain Lees Road;
- \* Security concerns - psychological effect of being watched;
- \* Will devalue house price (*officer's comment: this is not a material planning consideration*).

**Westhoughton Town Council:-** raised no objection.

### **Consultations**

Advice was sought from the following consultees: Highways Engineers, Drainage Officers and the Coal Authority.

### **Planning History**

Two extensions including an extension to the car park were approved in August 2009 (82314/09).

Single storey extensions to the front and side were approved in August 2001 (59750/01).

A new surgery, vehicular access and car parking were approved in March 1990 (35836/90).

**Recommendation:            Approve subject to conditions**

### **Recommended Conditions and/or Reasons**

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason

Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2. Prior to the commencement of development the details (samples if required) of the type and colour of materials to be used for the external walls and roof to be agreed with the Local Planning Authority. The approved materials shall be implemented in full thereafter.

Reason

To ensure the development reflects local distinctiveness and to comply with policy CG3 of Bolton's Core Strategy.

3. Prior to the commencement of development highway works required to reduce the size of the car park shall be carried out in accordance with Dwg ref 862/PL/03 approved in writing by the Local Planning Authority. The approved scheme shall be implemented in full prior to the development being first brought into use and retained thereafter.

Reason

In the interests of highway safety and to comply with policies P5 and S1.2 of Bolton's Core Strategy.

4. Before the approved/permitted development is first brought into use no less than 57 car parking spaces with minimum dimensions of 2.5 metres by 5 metres shall be provided within the curtilage of the site, in accordance with Drawing Ref: 862/PL/03 details to be submitted to and approved by the Local Planning Authority. Such spaces shall be made available for the parking of cars at all times the premises are in use.

Reason

To ensure that adequate provision is made for vehicles to be left clear of the highway and to comply with policy P5 and Appendix 3 of Bolton's Core Strategy.

5. Prior to the development hereby approved/permitted being first occupied or brought into use the means of vehicular access to the site from Captains Lees Road/staff car park shall be constructed in accordance with the drawing ref 862/PL/03.

Reason

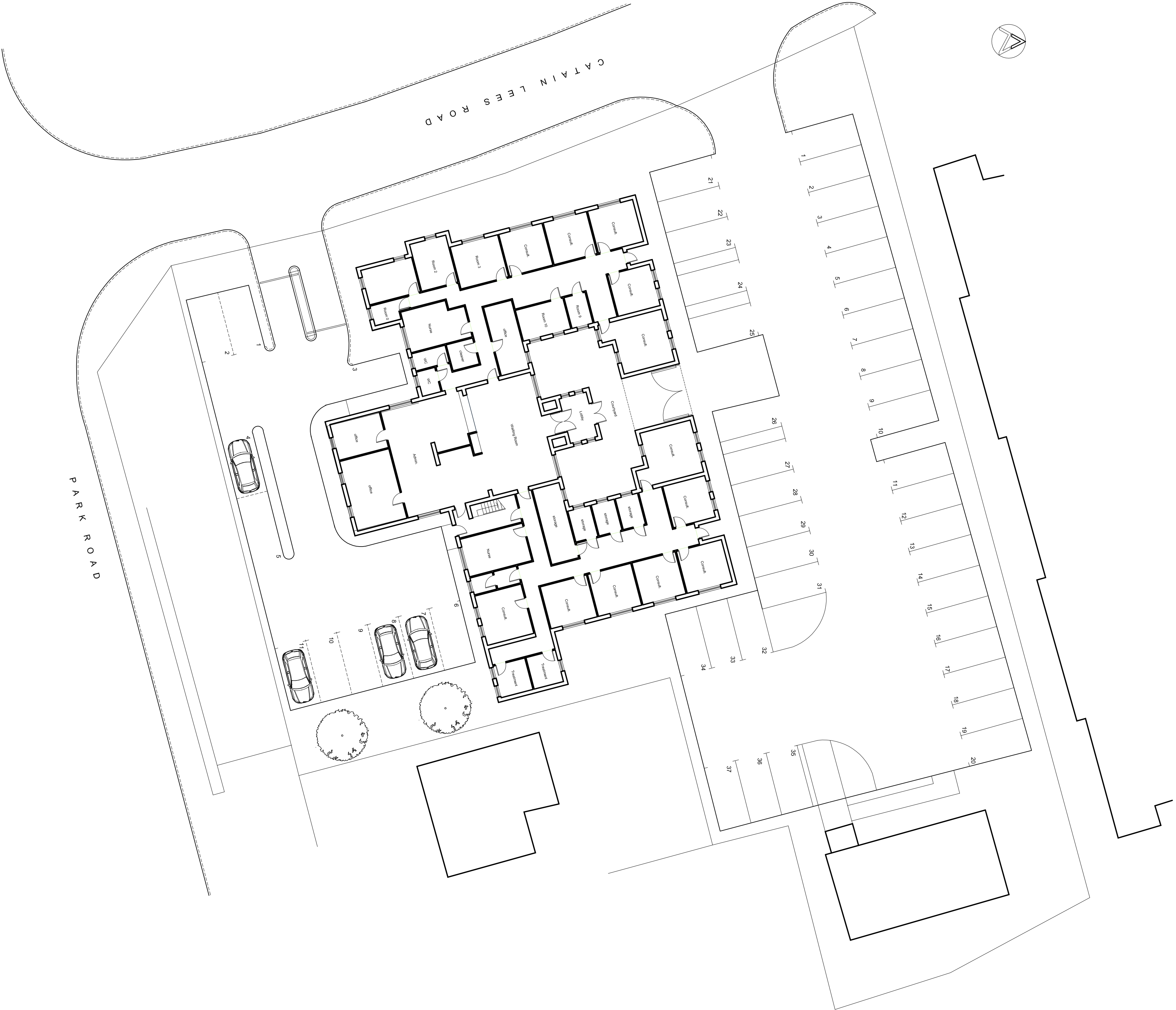
In the interests of highway safety and in order to comply with policies S1 and P5 of Bolton's Core Strategy.

6. The development hereby permitted shall be carried out in complete accordance with the following approved plans:

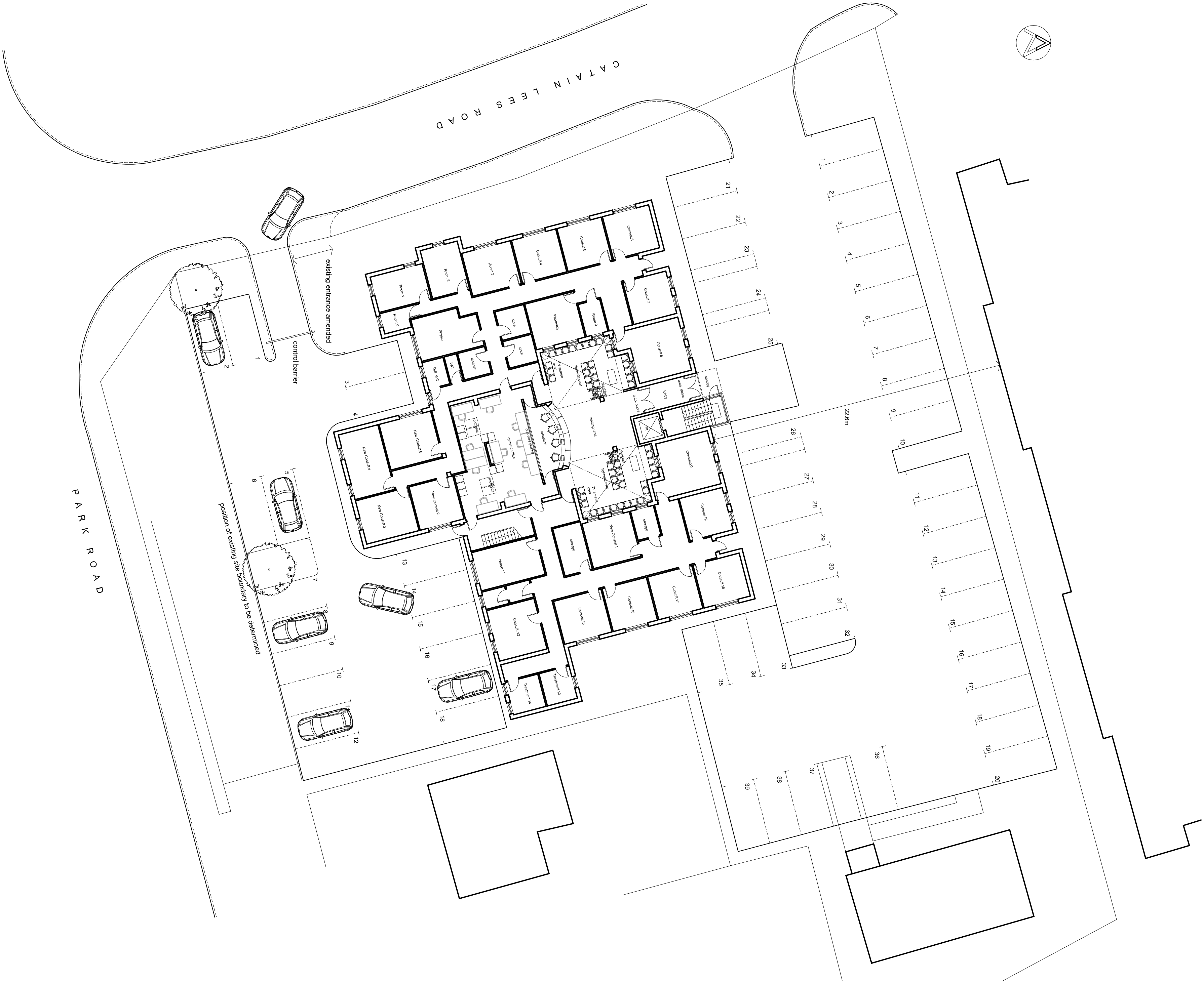
**Site Plan - Dwg No 862/PL/03 - dated 12.06.16**  
**Proposed Plans - Dwg No 862/PL/02 - dated 12.06.16**  
**Proposed elevations - Dwg No 862/PL/04 - dated 12.06.16**

Reason

For the avoidance of doubt and in the interests of proper planning.



EXISTING SITE LAYOUT



PROPOSED SITE LAYOUT

Nb : Subject to accurate site survey, structural engineers comments + and LA Approval

REVISION / DESCRIPTION		DATE	INITIALS
CLIENT			
UNSWORTH MEDICAL PRACTICE, WESTHOUGHTON			
PROJECT			
MEDICAL CENTRE ADAPTATIONS			
TITLE			
EXISTING & PROPOSED SITE LAYOUT			
DRAWN BY	SCALE	DATE	
862/PJ03	1 : 200	12.06.16	
REVISION	DRAWN BY		
	SAF		

ARCHITECTS +

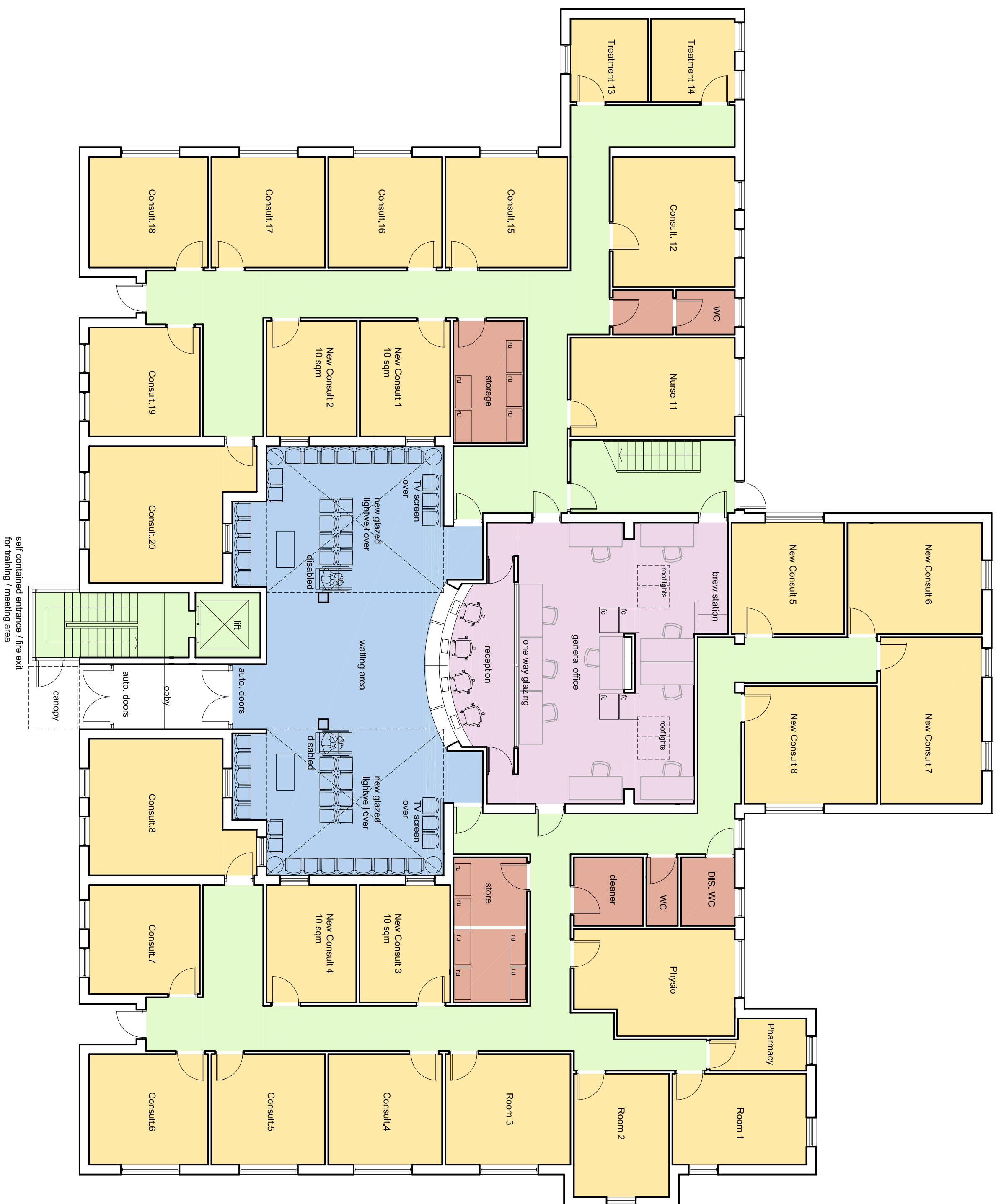
DESIGNERS

FISH ASSOCIATES LTD  
216 ST GEORGES ROAD  
WIDEN 03264  
www.fishassociates.co.uk  
01904 33264

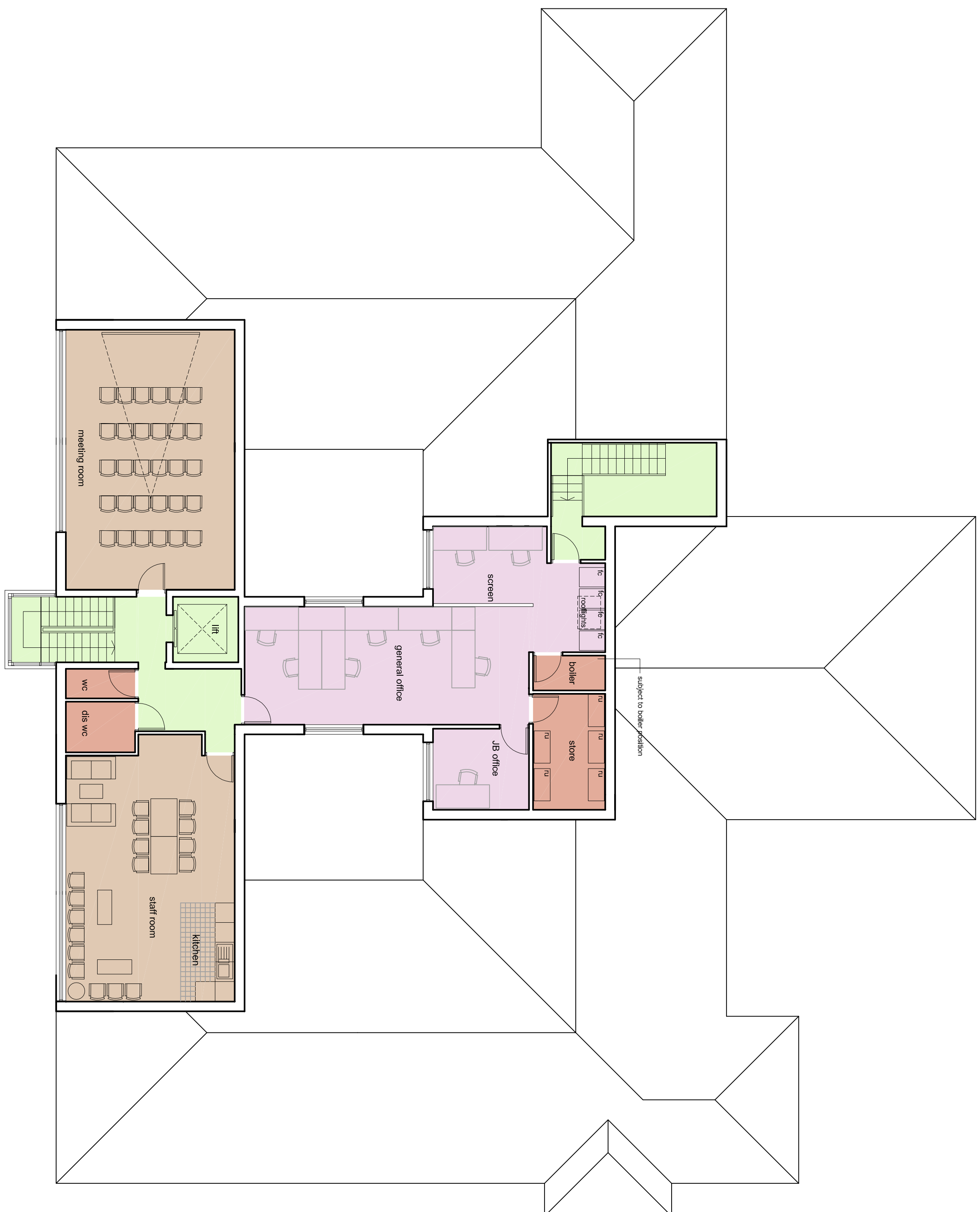
ASSOCIATES

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### FIRST FLOOR PLAN



### FIRST FLOOR PLAN

[illegible]

Nb ; Subject to accurate site survey, structural engineers comments + and L.A. Approval

UNSWORTH MEDICAL PRACTICE, WESTHOUGHTON

## MEDICAL CENTRE ADAPTATIONS

## PROPOSED PLANS AND ELEVATIONS

862/PL/02

1 : 100

SAF

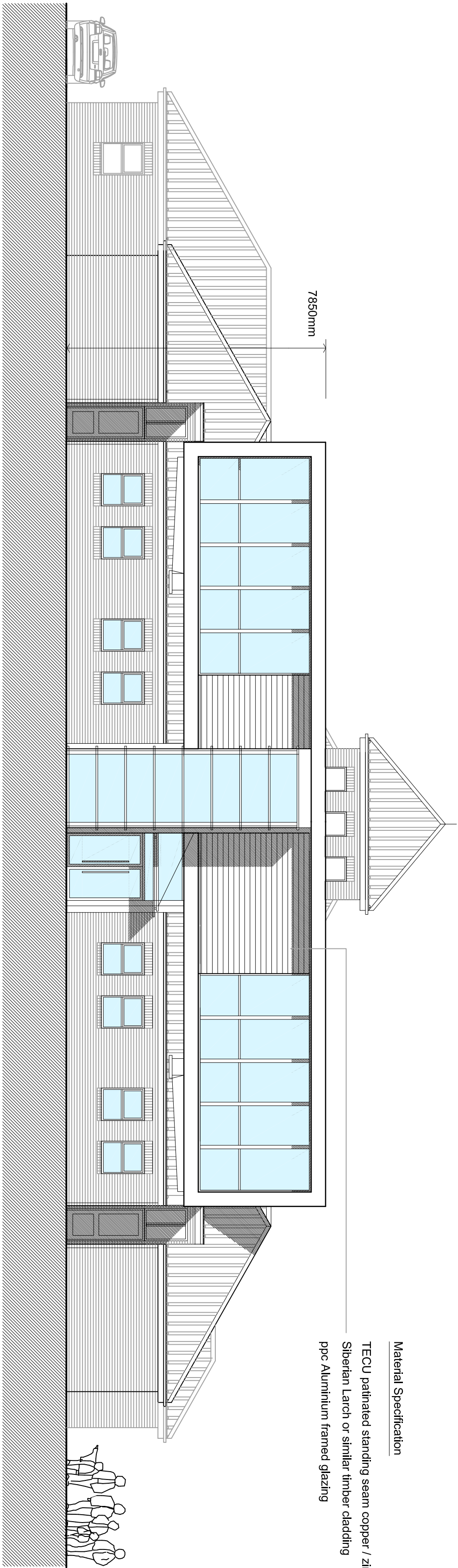
2.06.16

ARCHITECTS  
DESIGNERS

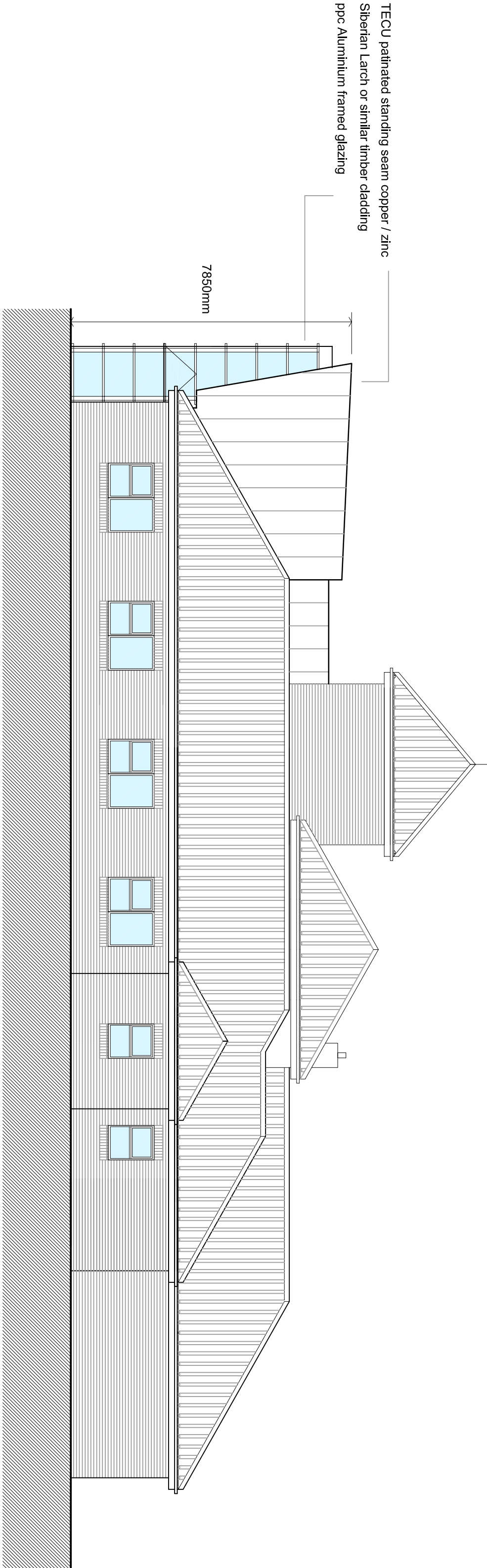
# FISH ASSOCIATES

FISH ASSOCIATES LTD  
216 ST GEORGES ROAD  
BOLTON BL1 2PH  
01204 532244  
steve.fish@fish-associates.co.uk  
www.fish-associates.co.uk

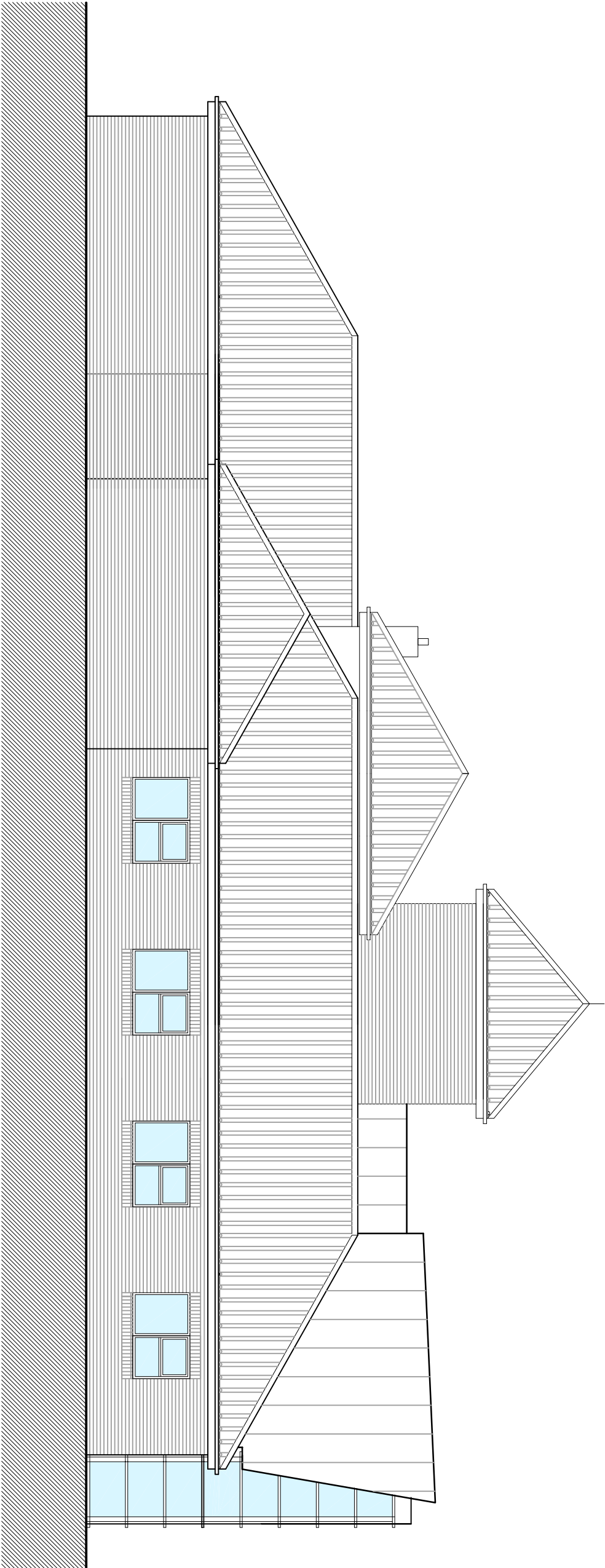
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PROPOSED NORTH ( CAR PARK ) REAR ELEVATION



PROPOSED SIDE ELEVATION TO CAPTAIN LEES ROAD



PROPOSED EAST SIDE ELEVATION

Nb : Subject to accurate site survey, structural engineers comments + and L.A. Approval

REVISION	DESCRIPTION	DATE	INITIALS
1	UNSWORTH MEDICAL PRACTICE, WESTHOUGHTON		
2	MEDICAL CENTRE ADAPTATIONS		
3	PROPOSED ELEVATIONS		
4	862/PJ04		
5	1 : 100		
6	SAF		
7	3.106.16		

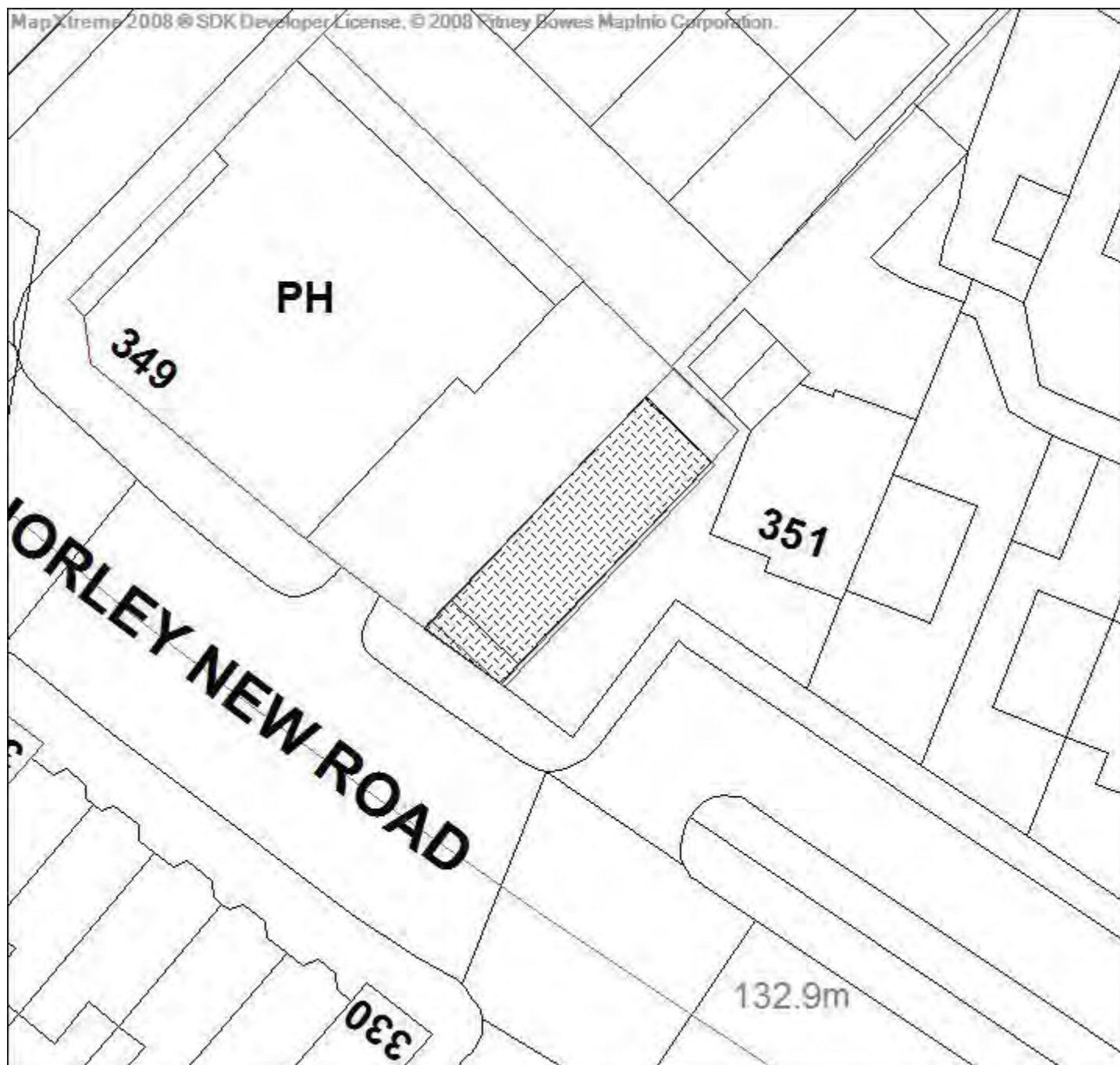
ARCHITECTS +  
DESIGNERS

FISH  
ASSOCIATES

FISH ASSOCIATES LTD  
216 ST GEORGES ROAD  
WIDEN 05254  
www.fishassociates.co.uk  
01924 450000



**Application number**  
**97458/16**



**Development & Regeneration Dept**  
**Development Management Section**

Town Hall, Bolton, Lancashire, BL1 1RU  
Telephone (01204) 333 333

**Bolton**  
**Council**

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**Date of Meeting: 24/11/2016**

**Application Reference: 97458/16**

**Type of Application: Full Planning Application**  
**Registration Date: 16/09/2016**  
**Decision Due By: 10/11/2016**  
**Responsible Officer: Helen Williams**

**Location: 349 CHORLEY NEW ROAD, HORWICH, BOLTON, BL6 6DT**

**Proposal:** CONVERSION AND CHANGE OF USE OF OUTBUILDING TO RETAIL (CLASS A1) INCLUDING ERECTION OF PART TWO STOREY/PART FIRST FLOOR EXTENSION TO PROVIDE NEW SHOPFRONT AND TWO SELF-CONTAINED FLATS.

**Ward: Horwich North East**

**Applicant: Mr Naran**

**Agent : RA Design & Project Management Ltd**

## **Officers Report**

**Recommendation: Refuse**

### **Proposal**

This application is a resubmission of planning application 96627/16, which was refused under delegated powers in July 2016 for the following two reasons:

- 1. The proposed development represents an overdevelopment of the site which would result in limited outlook, natural light and private, usable amenity space for future residents of the proposed apartments, contrary to Policy CG4 of Bolton's Core Strategy and Supplementary Planning Document 'General Design Principles'.*
- 2. The proposal makes insufficient provision for car parking and servicing in connection with the proposed development, which is likely to result in on-street traffic and parking problems to the detriment of highway safety and the amenity of neighbouring residents, contrary to Policies P5, S1.2 and CG4 of Bolton's Core Strategy.*

Permission is again sought for the change of use of the outbuilding (which is located within the side yard of the Nisa Local store) to a shop (A1 use) at ground floor and two one bedroom apartments on the first floor. To accommodate the proposed new uses it is proposed to extend the building at the front (up to the front boundary of the site) and raise the height of the building by approximately 1.7 metres. A shop front is to be installed on the new front elevation (facing Chorley New Road), the windows and doors at ground floor level will be bricked up (with the exception of one door) and new windows will be inserted at the new first floor level (front, rear and western side elevations).

The existing brick wall at the front of the site will be removed to accommodate the extended building. Bin storage for both the proposed shop and apartments is proposed within the building at

the rear.

The retail use on the ground floor is proposed to be open between the hours of 0800 and 1800 seven days a week.

The proposal has been amended from the previously refused application (96627/16) in the following ways:

- \* Two fewer windows are proposed on the first floor side elevation (four windows instead of the originally proposed six);
- \* The lower panels of the four windows in the side elevation are now proposed to be obscure glazed;
- \* The yard area for the apartments at the rear of the site is now proposed to be 37 sq. metres in size rather than the originally proposed 27 sq. metres;
- \* The existing cobbled yard between the Nisa store and the application building is now proposed for loading only (rather than car parking and loading as previously proposed).

### **Site Characteristics**

The application premises are a brick built, two storey outbuilding to the side of the former Victoria public house building (which has now been converted to a Nisa Local store). The outbuilding is separated from the Nisa Local building by a gated cobbled yard (which is an area used for deliveries for the existing store).

The eastern elevation of the building forms the side boundary of the side garden of the dwelling at 351 Chorley New Road.

The north/rear of the application site is bounded with a tall brick wall with tall conifers behind.

The semi-detached dwellings at 351 and 353 Chorley New Road neighbour the application site to the west and are set back from the main road (an access road runs to the front of the dwellings at 351 to 385 Chorley New Road).

Opposite the application site are mainly residential terraced properties.

335 to 347 Chorley New Road are commercial properties at ground floor, with nos. 335 and 337 being in takeaway use.

Chorley New Road (A673) is a main road.

### **Policy**

National Planning Policy Framework (NPPF)

Core Strategy Policies: P2 Retail and Leisure; P5 Transport and Accessibility; S1 Safe Bolton; CG3 The Built Environment; CG4 Compatible Uses; OA1 Horwich and Blackrod.

SPD General Design Principles; SPD Accessibility, Transport and Road Safety.

### **Analysis**

Section 38 of the Planning and Compulsory Purchase Act 2004 requires applications to be determined in accordance with policies in the Development Plan unless material considerations indicate otherwise.

Applications which are not in accordance with Development Plan policies should be refused unless

material considerations justify granting permission.

Similarly, proposals which accord with Development Plan policies should be approved unless there are material considerations which would justify a refusal of permission.

It is therefore necessary to decide whether this proposal is in accordance with the Development Plan and then take account of other material considerations.

The main impacts of the proposal are:-

- \* impact on the character and appearance of the area
- \* impact on the amenity of neighbouring and future residents
- \* impact on the highway

#### Impact on the Character and Appearance of the Area

Policy CG3 of the Core Strategy states that the Council will conserve and enhance local distinctiveness, ensuring development has regard to the overall built character and landscape quality of the area, and will require development to be compatible with the surrounding area in terms of scale, massing, grain, form, architecture, street enclosure, local materials and landscape treatment. Policy OA1 states that the Council will conserve and enhance the character of the existing landscape and physical environment and ensure that development in Horwich and Blackrod respects street patterns.

The alterations proposed to the building, in order to accommodate the proposed uses at ground and first floor, include extending the building at the front (up to the front boundary of the site, with a gabled new front elevation), raising the height of the extended building by approximately 1.7 metres, removing the existing brick wall at the front of the site, installing a shop front on the Chorley New Road elevation of the building, bricking up a number of door and window openings and installing new windows at first floor level (front and western side elevations).

The proposed development will retain an original outbuilding to the former Victorian public house, however its original character will be much altered by the proposed alterations. The existing Victorian designed chimney will also be removed. The proposed shop front will be relatively simplistic in design and the proposed raising of the roof height will increase the building to a similar height as a two storey building. It is however not considered that the proposed extensions and alterations would harm the character and appearance of the street scene.

It is therefore considered that the proposed development complies with Policy CG3 and OA1 of the Core Strategy.

#### Impact on the Amenity of Neighbouring and Future Residents

Policy CG4 of the Core Strategy states that the Council will ensure that new development is compatible with surrounding land uses and occupiers, protecting amenity, privacy, safety and security, and does not generate unacceptable nuisance, odours, fumes, noise or light pollution.

#### *Impact of proposed use on neighbouring residents*

It is considered that the proposed A1 use of the ground floor and the C3 use of the first floor of the property would be compatible with the surrounding area, which contains a mix of commercial and residential properties. The proposed hours of opening for the shop are considered to be reasonable and would not unduly harm the amenity of neighbouring residents.

#### *Impact of proposed extensions on neighbouring residents*

It is considered that the proposed raising of the roof by approximately 1.7 metres and the proposed front extension would not have a materially greater impact on the amenity of the neighbours at 351 Chorley New Road than the existing building, as the front elevation of no. 351 is angled away from the building and there are no windows in the side elevation of no. 351.

*Amenity of future residents of the proposed apartments*

All the main windows for the proposed apartments in the previously refused application (96627/16) were proposed in the western side elevation of the building, which faces the cobbled yard and the side of the former public house (now the Nisa store, no. 349). The windows proposed in the side elevation fell well short of the recommended interface distances within SPD General Design Principles (by between 6.3 and 5.1 metres). It was therefore considered that the amenity of the future residents of these previously proposed apartments would be harmed, as their outlook would be limited and as natural light would be restricted.

The applicant has amended their plans so that the lounge window in the front apartment now faces Chorley New Road and the lounge window in the rear apartment now faces the tall conifers at the rear of the site (in the neighbouring curtilage). The applicant is also now proposing to obscure glaze the proposed bedroom windows in the side elevation.

Whilst the outlook from and natural light to the lounge window to the front apartment has been improved by the amended plans, the outlook from and natural light to the bedroom window to the front apartment and both main windows to the rear apartment remain poor and far below the recommended standards within the SPD (interface distances should be a minimum of 13.5 metres in this situation - they are only 8.3 metres for the front apartment, 7.2 metres for the bedroom window in the rear apartment, and 1.6 metres for the lounge window in the rear apartment). The obscure glazing of the bedroom windows in fact reduces outlook even further for the future residents of the apartments, and the re-siting of the lounge window to the rear apartment now results in it facing the residential curtilage at the rear, at a distance of only approximately 1.6 metres. The conifers to the immediate side of the proposed rear window have the potential to restrict light and are not in the control of the applicant as they are not within the application site.

The yard area/communal area to the rear of the site for the proposed apartments has been amended so that it now meets the minimum standard recommended within the SPD, however the minimal outlook from the windows of the proposed apartments would (it is considered) have an unacceptable impact on the living conditions of the future residents of the apartments, contrary to Policy CG4 of the Core Strategy and the guidance contained within SPD General Design Principles.

The significant shortfall in the interface distances between the proposed main windows for the apartments and the side wall of the Nisa store and rear boundary wall strongly indicates that the proposed development would represent an overdevelopment of the site. This is also demonstrated in the lack of off-road parking for the apartments, as discussed below.

Furthermore, the Council's Pollution Control Officers have raised concern with regard to the close proximity of the windows to the proposed apartments with the external plant at the Nisa store. The applicant has advised that the two units on the side wall are both "low-noise" units for the store's fridges, but states that one is switched off at 22:00 hours and the other is on for 24 hours. No acoustic information has been submitted by the applicant to justify that the units are "low-noise" as claimed and would not harm the amenity of the future residents of the apartments.

It is therefore considered that the amenity of the future residents of the proposed apartments would be unduly harmed by reason of limited outlook, limited natural light and noise disturbance from the external plant at the neighbouring Nisa store, contrary to Policy CG4 of the Core Strategy and the

guidance contained within SPD General Design Principles.

#### Impact on the Highway

Policy P5 of the Core Strategy states that the Council will ensure that developments take into account [amongst other things] accessibility by different types of transport, servicing arrangements and parking. Policy S1.2 states that the Council will promote road safety in the design of new development.

The application building is located on Chorley New Road, a classified road (A673) and a main road into Horwich town centre.

Whereas the previous planning application for the development proposed the existing cobbled yard to be used for car parking and loading, the resubmitted plans now show this area for loading only. No on-site parking is therefore proposed for the two proposed apartments.

The yard is also used in association with the adjacent Nisa store (for loading). The existing loading area will be reduced in size as the applicant is now proposing a larger communal yard for the two proposed apartments.

The Council's Highways Engineers continue to raise an objection to the proposed development stating that, although the site is in a highly sustainable location, the nature of the use classes proposed (along with the existing use at the neighbouring Nisa store) could result in an increase and intensification in on-street parking and servicing in the area, to the detriment of highway safety and the residential amenity of the surrounding area.

It is therefore still considered that the proposal makes insufficient provision for car parking and servicing in connection with the proposed development, which is likely to result in on-street traffic and parking problems to the detriment of highway safety and the amenity of neighbouring residents, contrary to Policies P5, S1.2 and CG4 of Bolton's Core Strategy.

#### Benefits of the Proposal

It is acknowledged that the proposal will bring a currently derelict building back into use, will create two new one bedroom apartments and that the applicant predicts that the proposed retail use will create five new full time jobs, however it is not considered that these benefits would outweigh the harm identified above to the amenity of the future residents of the apartments or highway safety.

#### **Local finance considerations**

Section 70(2) of the Town and County Planning Act 1990 (as amended) provides that a local planning authority must have regard to a local finance consideration as far as it is material. There are not considered to be any local financial considerations in this case.

#### **Conclusion**

For the reasons discussed above it is considered that the proposed development continues to represent an overdevelopment of the site, would unduly harm the amenity of the future residents of the apartments and would result in inadequate on-site parking and servicing arrangements, contrary to Policies P5, S1.2 and CG4 of the Core Strategy and the guidance contained within SPD General Design Principles. Members are therefore recommended to refuse this application for the two suggested reasons.



## **Representation and Consultation Annex**

### **Representations**

**Letters:-** one letter of objection has been received from the neighbouring residential property. This letter raises the following concerns:

- \* This application is a duplicate of their previous application which was refused;
- \* The parking bays to the front of the site get full and Nisa's customers frequently block their drive;
- \* Question whether the number of full-time staff proposed (5) is correct;
- \* Where are the staff going to park?
- \* Where are visitors to the apartments going to park?
- \* Will the existing gates to the yard be retained? If so, how will emergency services access the apartments?
- \* Detrimental effect on the amenity of neighbours with the proposed alterations to the height of the roof blocking light to their garden;
- \* Need to check that bats are not roosting in the premises (*officer comment: bat habitats are covered under the Wildlife Act 1980 and any harm to these habitats is a criminal offence under this act*).

**Horwich Town Council:-** were supportive of the proposal at their meeting of 20th October.

**Elected Members:-** Cllr. Richard Silvester has requested that the application be heard before Committee, as he considers that the proposal will bring investment into the area and will bring a vacant building back into use.

### **Consultations**

Advice was sought from the following consultees: Highways Engineers, Pollution Control Officers, Drainage Officers and Greater Manchester Police's Architectural Liaison Officers.

### **Planning History**

Application 96627/16 for the conversion of the outbuilding to A1 use with residential accommodation above including extending to raise the height and front extension to create shop front was refused under delegate powers in July 2016 for the following two reasons:

1. *The proposed development represents an overdevelopment of the site which would result in limited outlook, natural light and private, usable amenity space for future residents of the proposed apartments, contrary to Policy CG4 of Bolton's Core Strategy and Supplementary Planning Document 'General Design Principles'.*
2. *The proposal makes insufficient provision for car parking and servicing in connection with the proposed development, which is likely to result in on-street traffic and parking problems to the detriment of highway safety and the amenity of neighbouring residents, contrary to Policies P5, S1.2 and CG4 of Bolton's Core Strategy.*

Application 95112/15 for the conversion of the outbuilding to A3/A5 use including the raising of the height to provide first floor storage area, erection of front extension and creation of new shop front was refused at Planning Committee in December 2015 for the following two reasons:

1. *The proposed development will increase noise, odour and activity in and around the premises to the detriment of the living conditions of nearby residents and is contrary to Policy CG4 of Bolton's Core Strategy and Supplementary Planning Document "The Location of Restaurants, Cafes, Public Houses, Bars and Hot Food Take Aways in Urban Areas".*

*2. The proposed development will give rise to increased traffic and result in on-street parking to the detriment of the amenity of neighbouring residents and highway safety and is contrary to Policies CG4, P5 and S1.2 of Bolton's Core Strategy and Supplementary Planning Document "The Location of Restaurants, Cafes, Public Houses, Bars and Hot Food Take Aways in Urban Areas".*

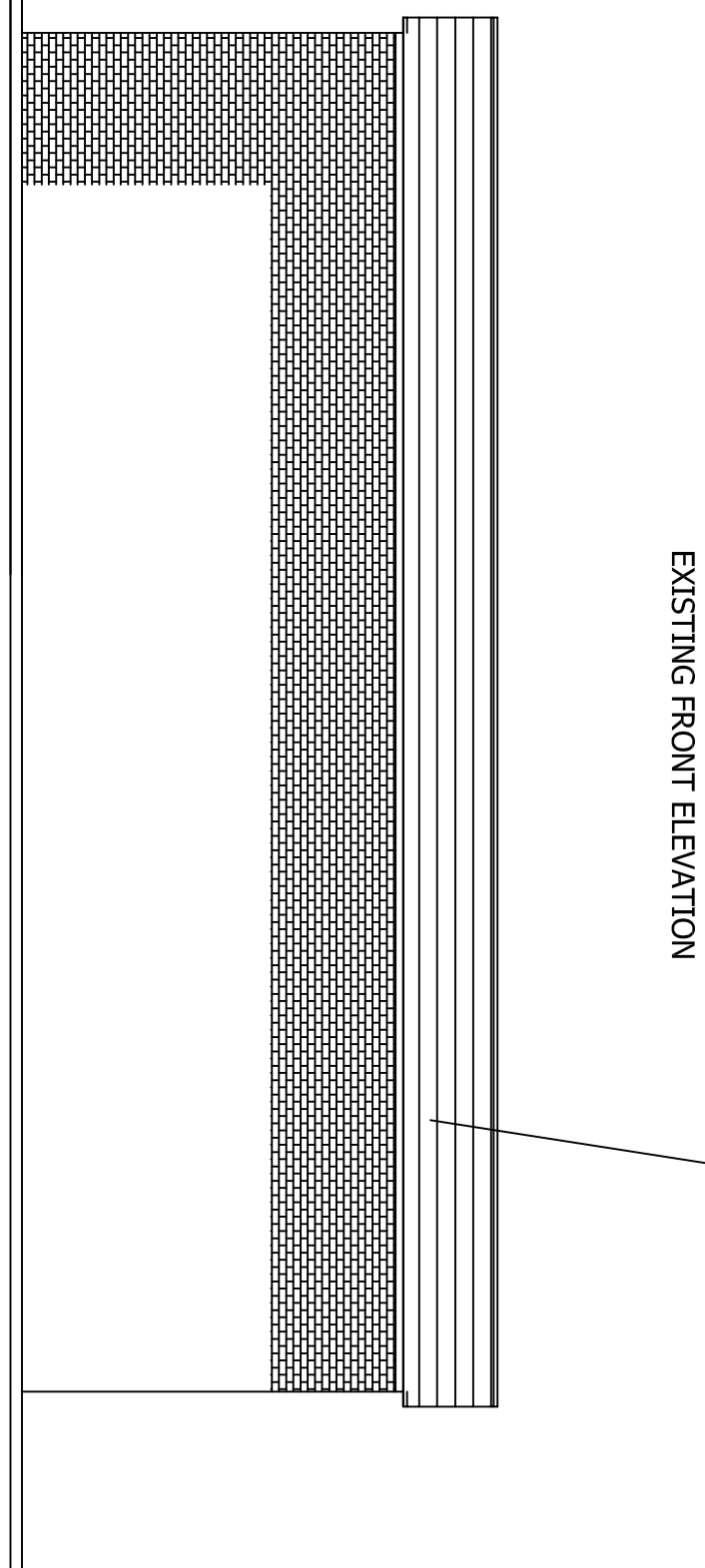
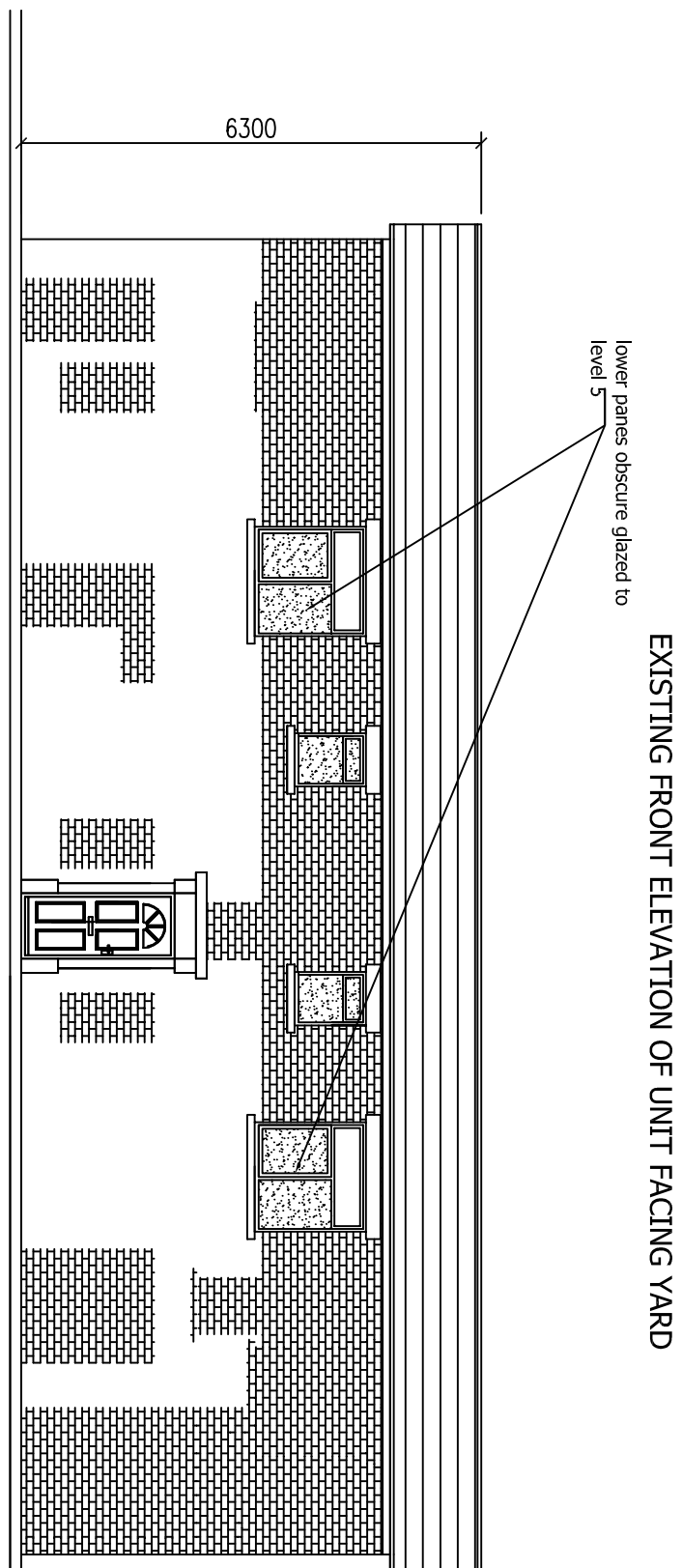
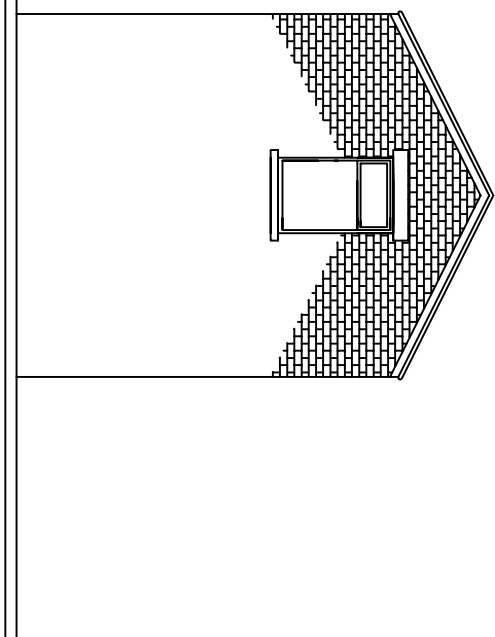
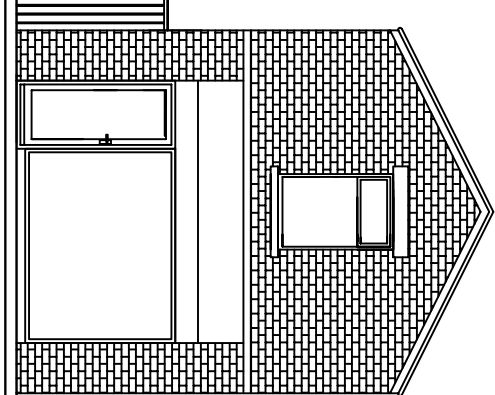
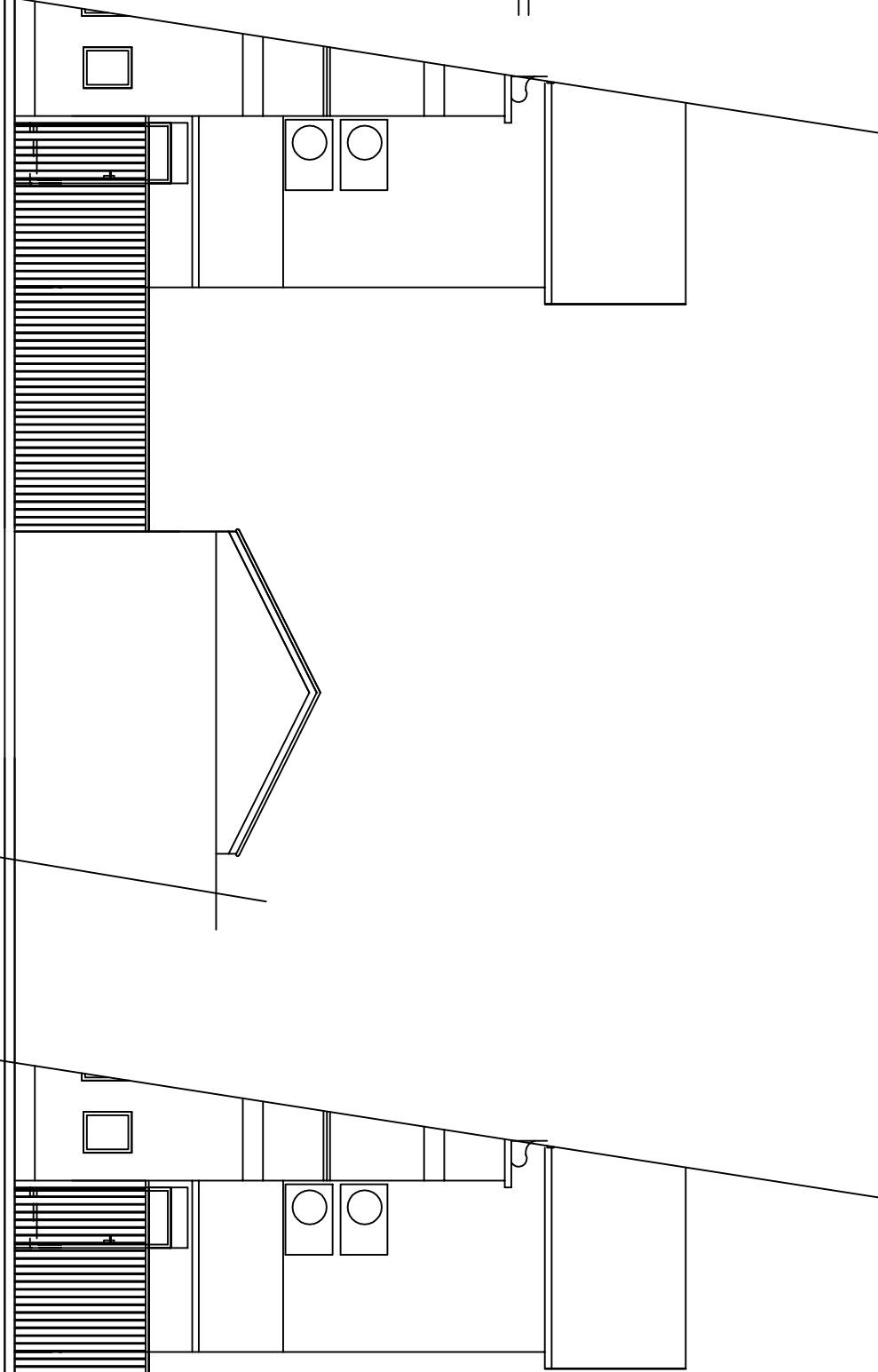
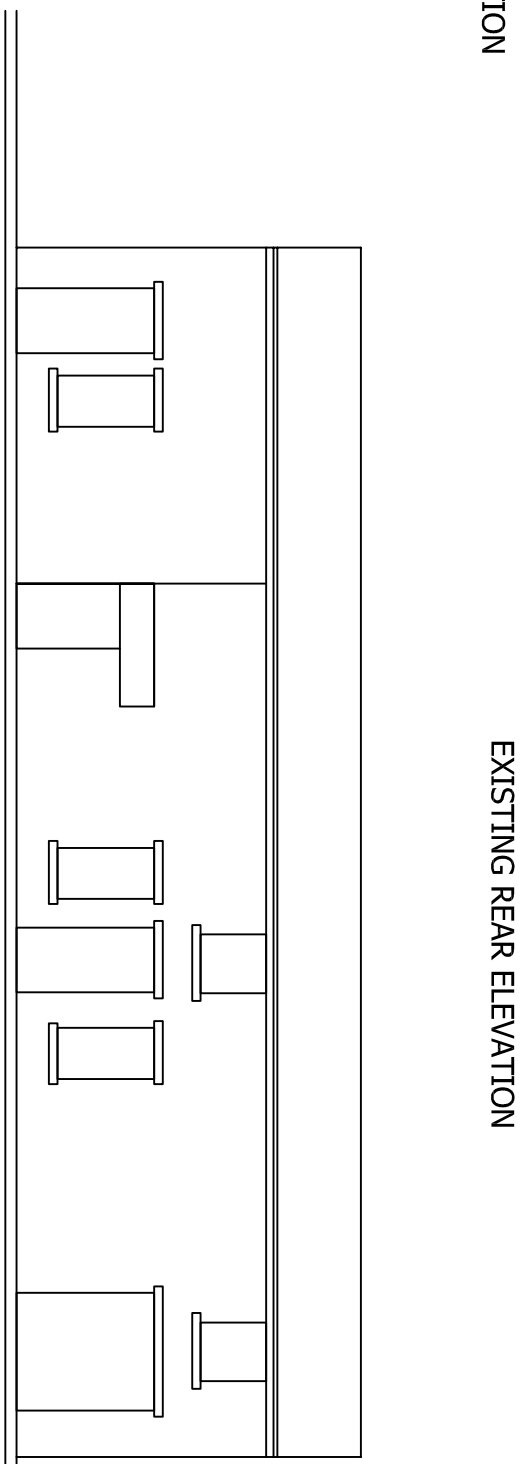
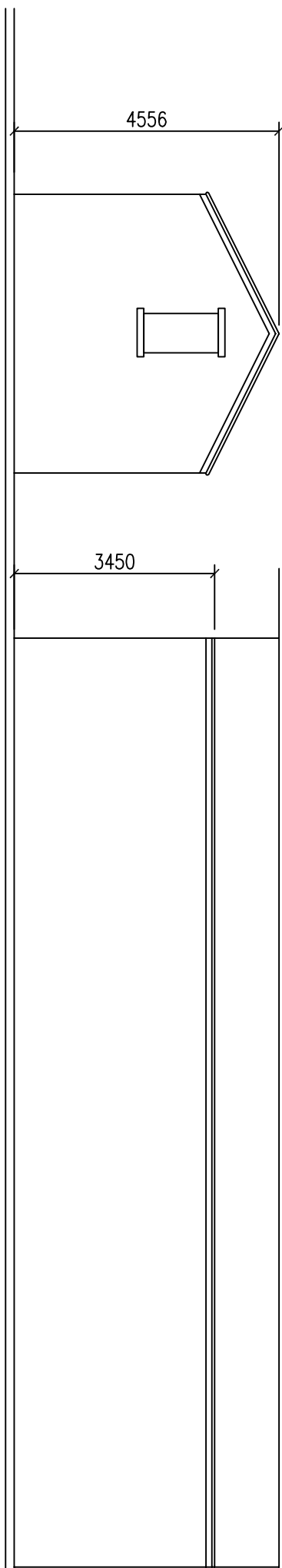
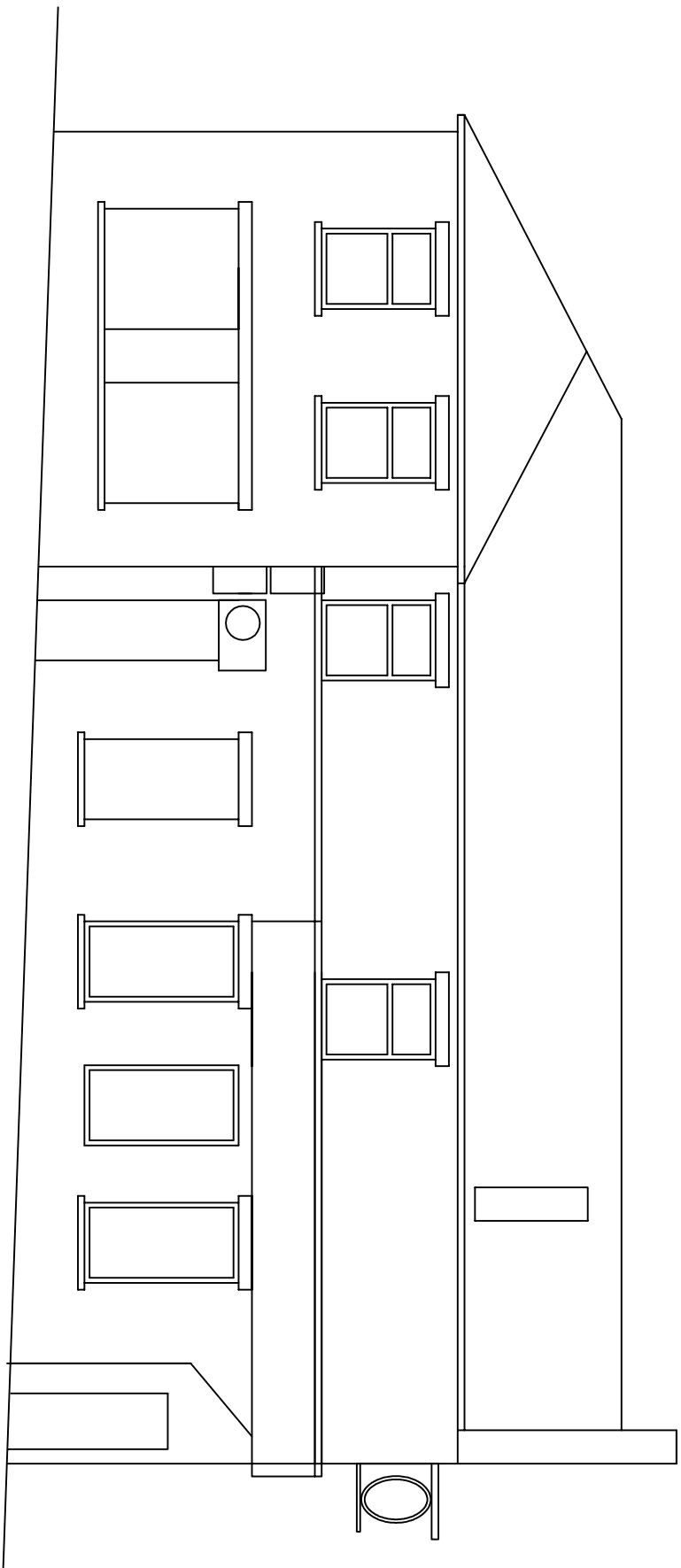
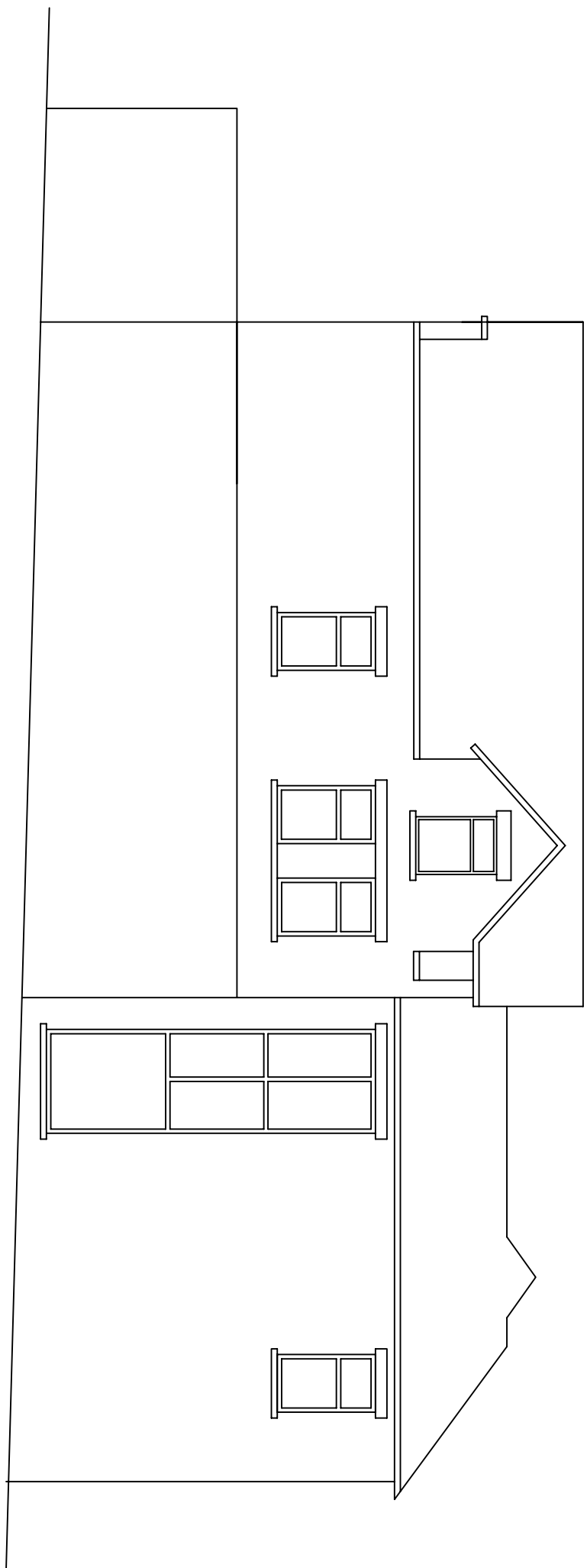
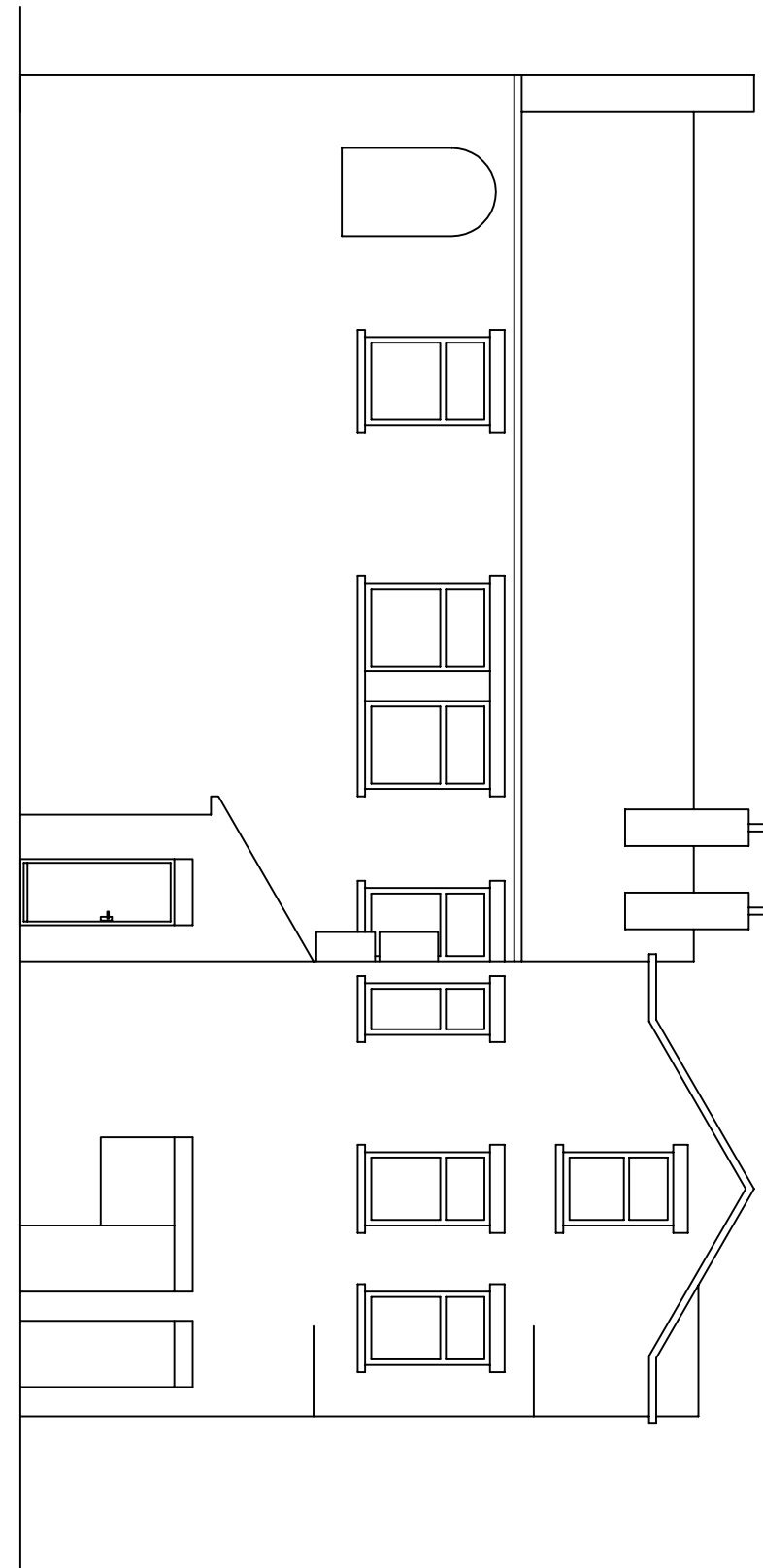
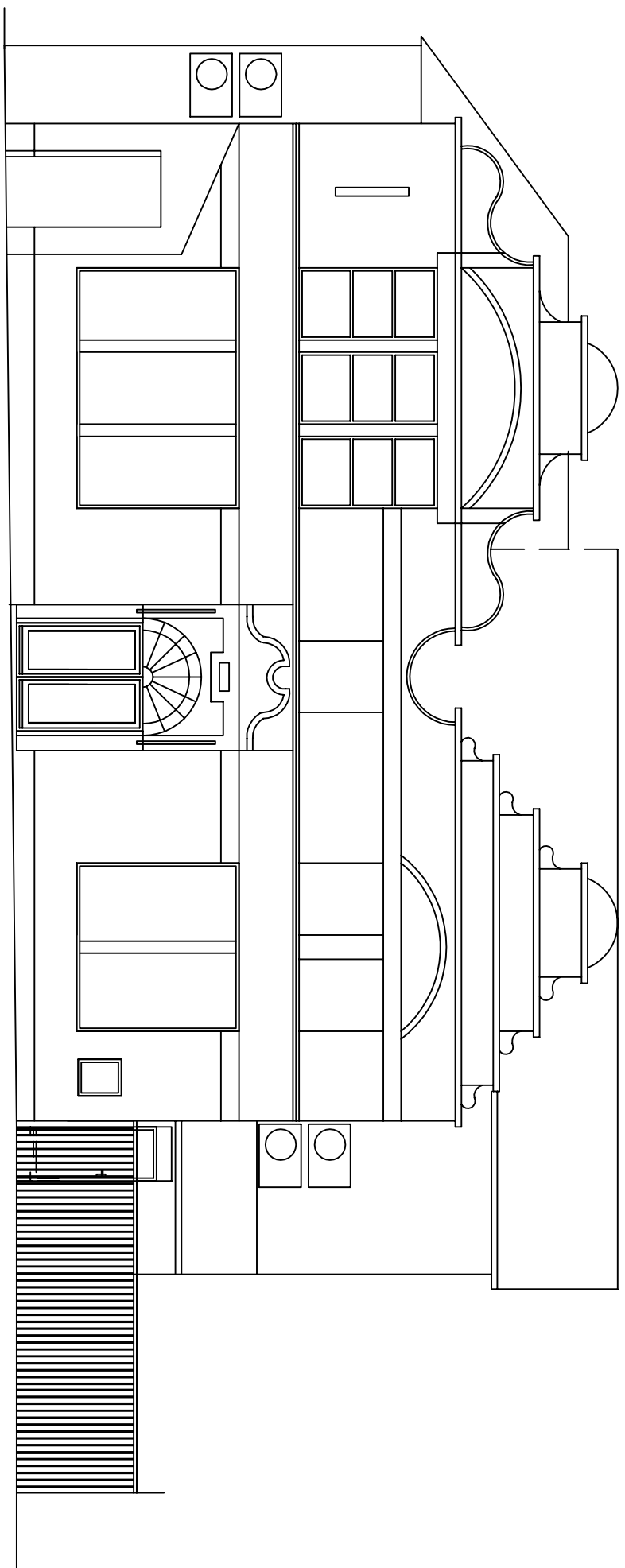
Permission was granted at Committee in May 2013 for external alterations to the former Victoria Tavern public house building to accommodate a Nisa Local store (permission not required for the A1 use), along with the installation of an ATM, air conditioning units, roller shutters and gate to car park (89529/13).

Signage for the Nisa Local store was approved at Committee under application 89530/13 in May 2013.

**Recommendation:            Refuse**

### **Recommended Conditions and/or Reasons**

1.     The proposed development represents an overdevelopment of the site which would result in limited outlook, limited natural light and noise disturbance for future residents of the proposed apartments, contrary to Policy CG4 of Bolton's Core Strategy and Supplementary Planning Document 'General Design Principles'.
2.     The proposal makes insufficient provision for car parking and servicing in connection with the proposed development, and the adjacent existing shop at 349 Chorley New Road, which is likely to result in on-street traffic and parking problems to the detriment of highway safety and the amenity of neighbouring residents, contrary to Policies P5, S1.2 and CG4 of Bolton's Core Strategy.



Date	Rev.	Initials
24/9/16	A.	RA
15/9/16	B.	RA

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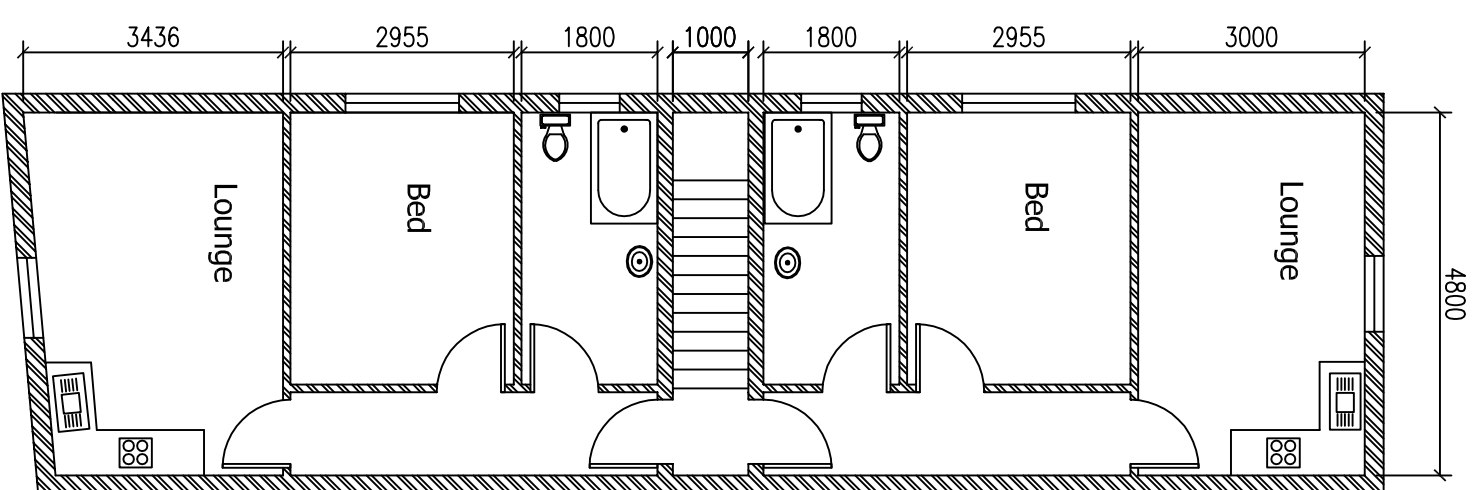
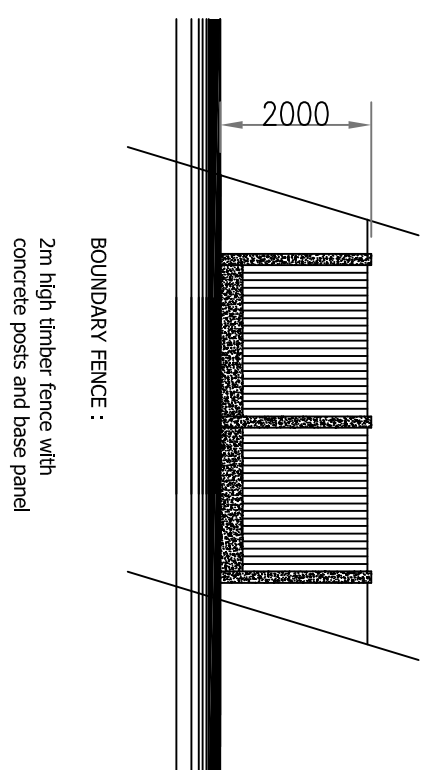
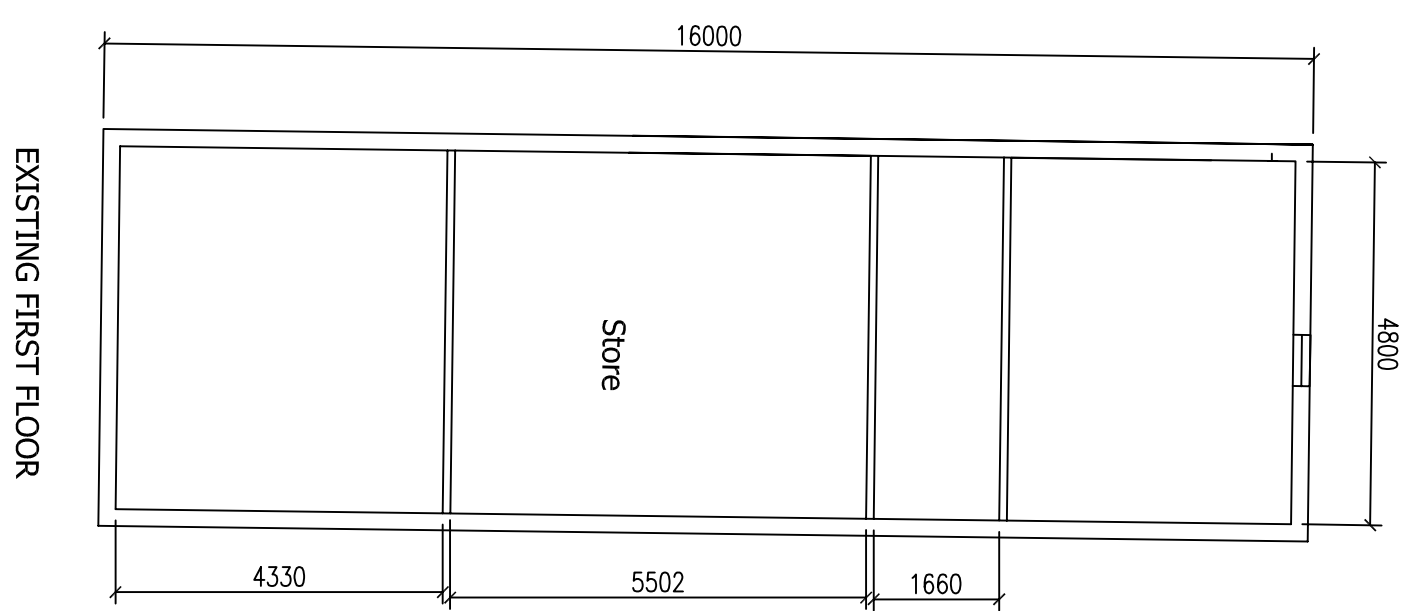
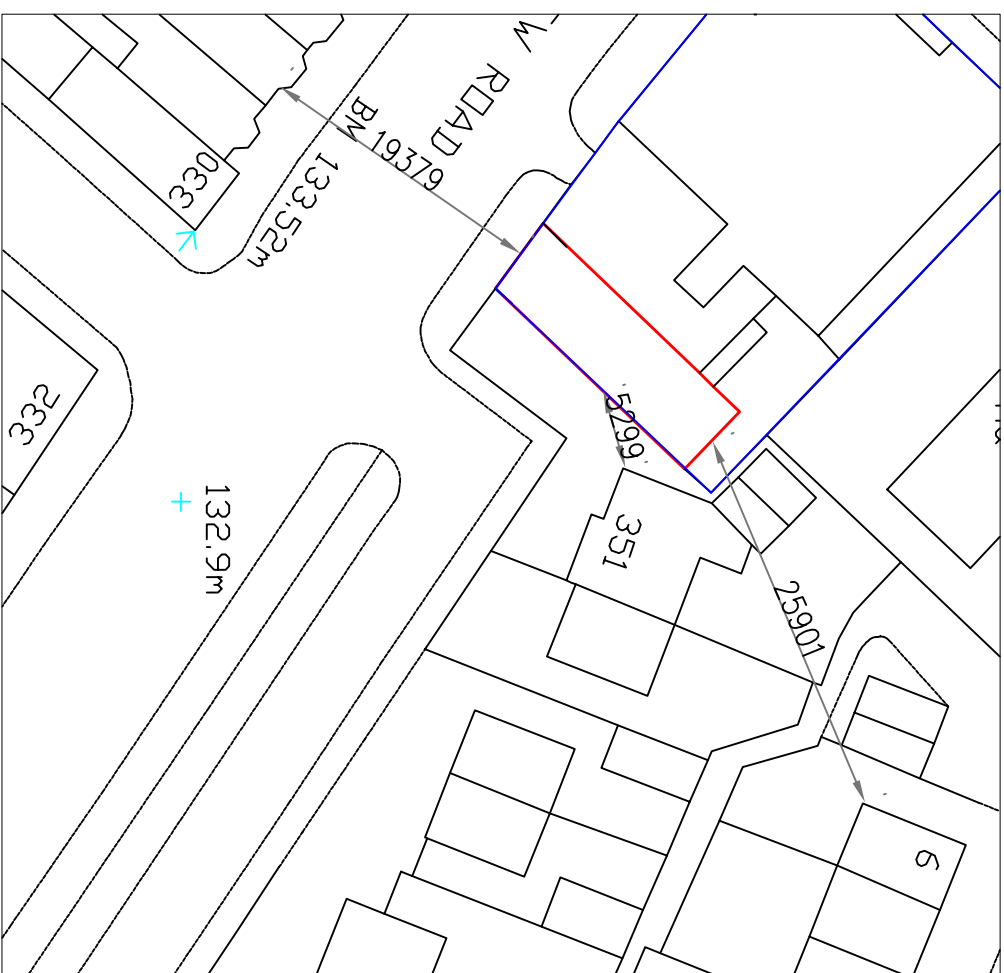
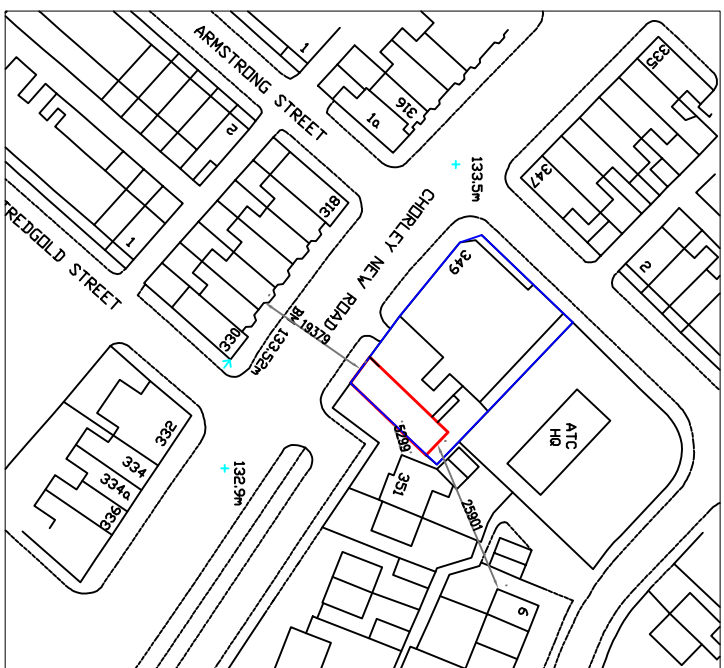
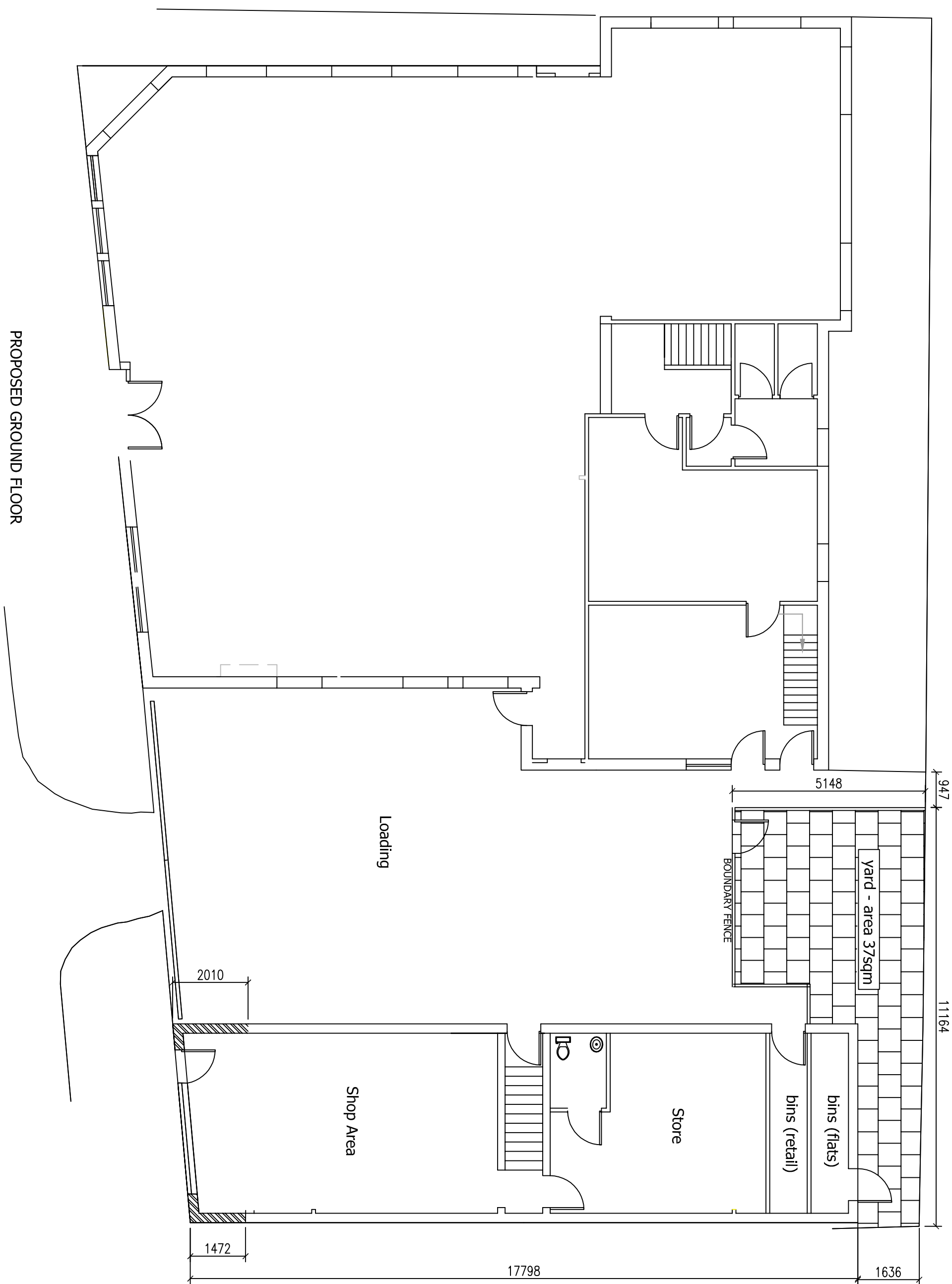
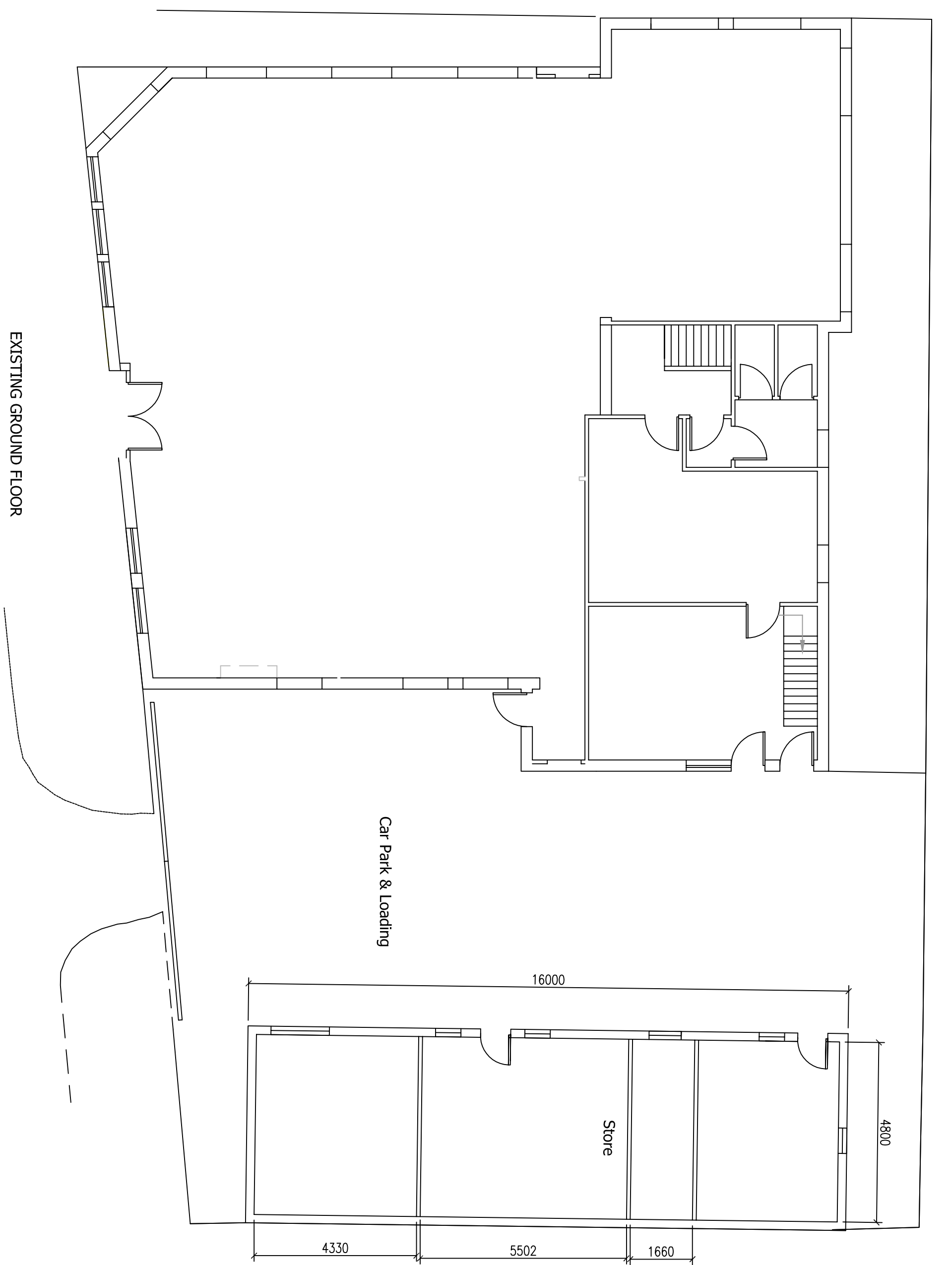
## Notes

# RAD

The White House,  
42-44 Chorley New Road,  
Bolton  
BL1 4AP

Tel: 01204 322196  
Fax: 01204 214110  
Mob: 07790 361104  
Email: [info@radesignprojects.co.uk](mailto:info@radesignprojects.co.uk)

Project	UNIT ADJ NISA STORE 349 CHORLEY NEW ROAD HORWICH BOLTON BL6 6DT	Client	MR A MARAN
		Drawn	RA
		Date	AUGUST 2015
Title	EXISTING & PROPOSED ELEVATIONS	Scale	1:100
		Drawing Number	RA04/1240/15/2/RevB

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## Notes

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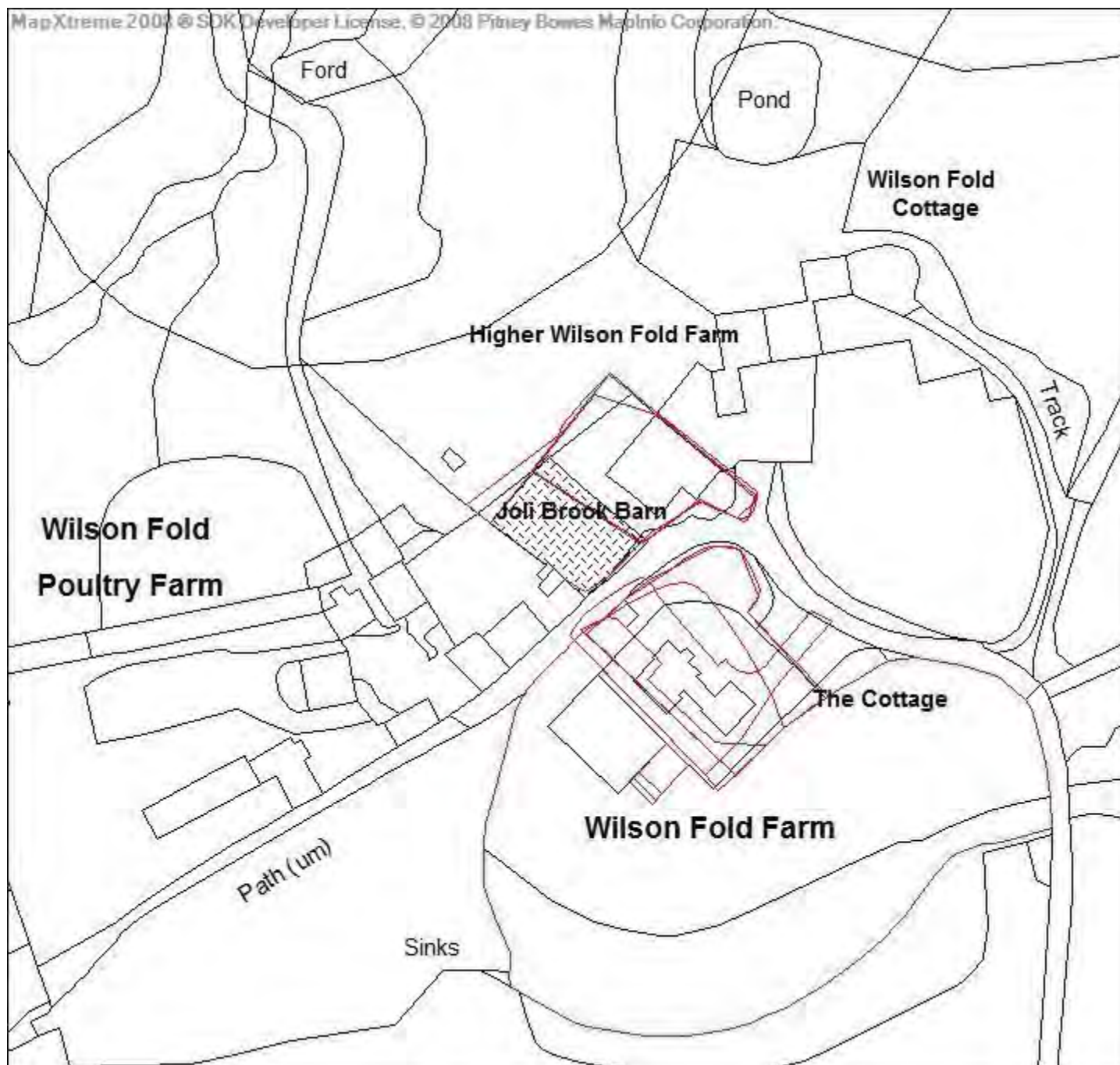
The White House,  
42-44 Chorley New Road,  
Bolton  
BL1 4AP

Tel : 01204 322196  
Fax : 01204 214110  
Mob: 07290 561104  
Email: [info@adesignprojects.co.uk](mailto:info@adesignprojects.co.uk)

Project	UNIT ADJ NISA STORE 349 CHORLEY NEW ROAD HORWICH BOLTON BL6 6DT
Client	MR A MARAN
Drawn	RA
Date	AUGUST 2015
Scale	1:100
Title	EXISTING & PROPOSED FLOOR PLAN RAD/1240/15/1/RevB



**Application number  
97495/16**



**Development & Regeneration Dept  
Development Management Section**

Town Hall, Bolton, Lancashire, BL1 1RU  
Telephone (01204) 333 333

**Bolton  
Council**

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**Date of Meeting: 24/11/2016**

**Application Reference: 97495/16**

**Type of Application: Full Planning Application**  
**Registration Date: 22/09/2016**  
**Decision Due By: 16/11/2016**  
**Responsible Officer: Helen Williams**

**Location: HIGHER WILSON FOLD FARM, HIGH RID LANE, LOSTOCK, BOLTON, BL6 4LH**

**Proposal: ERECTION OF DETACHED DWELLING WITH PARKING AND AMENITY SPACE.**

**Ward: Horwich North East**

**Applicant: Ms Wolf**  
**Agent : DnA Group**

## **Officers Report**

**Recommendation: Approve subject to conditions**

### **Proposal**

Permission was granted in 2005 and again in 2012 for the conversion of a stable block on the application site to a three bedroom dwelling (applications 69791/04 and 88367/12). These permissions were however not "true conversions" in that the walls of the front concrete part of the building were to be rebuilt and the roof was to be raised.

Following the 2012 approval for the application site, the stable building has been completely demolished and the site has been cleared.

An application for the erection of a new four bedroom dwelling with an orangery at the rear was then submitted earlier this year (application 96792/16), but this application was refused under delegated powers in August. The application was refused by officers as the proposal represented a new dwelling within the Green Belt (rather than a conversion) and it was considered that the scale of the new dwelling (larger than the previously approved conversions) would harm the openness and purposes of the Green Belt. It was also considered that insufficient information had been submitted by the applicant with regard to the public right of way that runs through the site.

This latest application is a resubmission of refused application 96792/16. The proposed new dwelling has been reduced in scale so that it better reflects the scale of the previously approved conversions.

In light of the recommendation, the application is being considered by Committee owing to an objection (from Horwich Town Council).

### **Site Characteristics**

The application site is a cleared, previously developed plot between Wilson Fold Farm and a recent



barn conversion (Jolie Brook Barn). The site previously contained a vacant stable block.

The site is located in a small hamlet of farms and cottages, to the north of High Rid Lane, and is within Green Belt.

Public footpath HOR068 runs to the rear (north) of the site and public footpath HOR067 runs to the front (south).

### **Policy**

National Planning Policy Framework (NPPF)

Core Strategy Policies: P5 Transport and Accessibility; CG1.1 Rural Biodiversity; CG3 The Built Environment; CG4 Compatible Uses; SC1 Housing; OA1 Horwich and Blackrod.

Allocations Plan Policies: P8AP Public Rights of Way; CG7AP Green Belt.

SPD General Design Principles

### **Analysis**

Section 38 of the Planning and Compulsory Purchase Act 2004 requires applications to be determined in accordance with policies in the Development Plan unless material considerations indicate otherwise.

Applications which are not in accordance with Development Plan policies should be refused unless material considerations justify granting permission.

Similarly, proposals which accord with Development Plan policies should be approved unless there are material considerations which would justify a refusal of permission.

It is therefore necessary to decide whether this proposal is in accordance with the Development Plan and then take account of other material considerations.

The main impacts of the proposal are:-

- \* impact on the purposes and openness of the Green Belt
- \* impact on the character and appearance of the area
- \* impact on the amenity of neighbouring residents
- \* impact on the adjacent public rights of way
- \* impact on biodiversity
- \* impact on the highway

### **Impact on the Purposes and Openness of the Green Belt**

Section 9 of the National Planning Policy Framework (NPPF) concerns protecting Green Belt land. It states that the Government attaches great importance to Green Belts. The fundamental aim of Green Belt policy is to prevent urban sprawl by keeping land permanently open; the essential characteristics of Green Belts are their openness and permanence.

Paragraph 87 of the NPPF states that inappropriate development in the Green Belt is, by definition, harmful to the Green Belt and should not be approved except in very special circumstances. Paragraph 88 continues, when considering any planning application, local planning authorities should ensure that substantial weight is given to any harm to the Green Belt. Very special circumstance will not exist unless the potential harm to the Green Belt by reason of inappropriateness, and any other

harm, is clearly outweighed by other considerations.

Paragraph 89 of the NPPF states that a local planning authority should regard the construction of new buildings as inappropriate in Green Belt. It however lists a number of exceptions to this, which includes [amongst other things] limited infilling or the partial or complete redevelopment of previously developed sites (brownfield land) whether redundant or in continuing use (excluding temporary buildings), which would not have a greater impact on the openness of the Green Belt and the purpose of including land within it than the existing development.

Bolton's Allocations Plan Policy CG7AP refers to Green Belt development and reflects the national guidance.

It is considered that paragraph 89 of the NPPF can be applied to the application proposal as the application site is previously developed (it had until recently contained a stable block).

For a development to comply with the criteria of the relevant bullet point of paragraph 89 of the NPPF, the new building would need not to have a greater impact on the openness of the Green Belt and the purposes of including land within it than the existing development. There is no existing development on the application as the stable block has now been demolished, therefore the proposed development would inevitably have a greater impact on the openness and purposes of the Green Belt.

It is however considered in this case that the previous planning approvals for the conversion and extension of the former stable block to a dwelling (approvals 69791/04 and 88367/12) should be considered as a material consideration.

Following the refusal of application 96792/16 (for a new build dwelling on the site) the applicant has amended their proposal so:-

- \* The new building has a smaller footprint than the previously approved stable block conversion and extension;
- \* Although the eaves and ridge heights have increased (to accommodate sufficient head room on the first floor), the volume of the new building is still less than the volume of the previously approved stable block conversion and extension.

It is therefore considered by officers that the proposed new dwelling would have less of an impact on the openness of the Green Belt in this location given that it is now smaller in scale than the previously approved residential conversion. The proposal would therefore have no greater a harm on the purposes of including the land within the Green Belt than the previous approvals.

For these reasons it is therefore considered that the proposal would not have a materially greater impact on the openness and purposes of the Green Belt than the previous development, compliant with Bolton's Allocations Plan Policy CG7AP.

#### Impact on the Character and Appearance of the Area

Policy CG3 of the Core Strategy states that the Council will conserve and enhance local distinctiveness, ensuring development has regard to the overall built character and landscape quality of the area, will require development to be compatible with the surrounding area, in terms of scale, massing, grain, form, architecture, street enclosure, local materials and landscape treatment, and will maintain and respect the landscape character of the surrounding countryside and its distinctiveness. Policy OA1 refers specifically to developments in Horwich and Blackrod and states that the Council will conserve and enhance the character of the existing landscape and physical environment, ensure that development respects street patterns, the grain and the form of predominant architectural styles

and where possible makes sympathetic use of locally distinctive materials such as stone, and ensure that new development does not harm the landscape setting and protects views from public areas to the surrounding landscape.

The proposed dwelling would be slightly wider and taller than the former stable building and previously approved dwellings on the site, however it is not considered that this would be to the detriment of the character and appearance of the hamlet. The dwelling would be a similar height to the neighbouring farmhouse and would be constructed from stone and slate, which is characteristic of the area. The siting of the proposed dwelling is also sympathetic to the neighbouring dwellings on either side of the plot.

The Council's Landscape Officers have commented that the application site is well screened to the north west by the existing vegetation. They recommend standard conditions for the landscaping of the plot and for any proposed boundary treatments.

It is considered that the proposal conserves local distinctiveness, compliant with Policies CG3 and OA1 of Bolton's Core Strategy.

#### Impact on the Amenity of Neighbouring Residents

Policy CG4 of the Core Strategy states that the Council will ensure that new development is compatible with surrounding land uses and occupiers, protecting amenity, privacy, safety and security. SPD General Design Principles sets out the Council's advisory interface standards.

No windows are proposed in the side elevations of the proposed dwelling, therefore there will be no overlooking between the proposed dwelling and its adjoining neighbours. There are also no main windows in the side of the converted barn to the east, so the outlook for this neighbour will not be affected.

The siting of the proposed dwelling would not infringe upon a line drawn at a 45 degree from the nearest main room windows at either neighbouring property.

It is therefore considered that the proposed dwelling would not unduly harm the amenity of any neighbouring resident, compliant with Policy CG4 of the Core Strategy.

#### Impact on the Adjacent Public Rights of Way

Allocations Plan Policy P8AP states that the Council will permit development proposal affecting public rights of way provided that the integrity of the right of way is retained.

Public footpath Horwich 068 runs to the rear of the application building and through the proposed rear garden.

The applicant is currently in correspondence with the Council's Highways department regarding the diversion/alteration of the route of Horwich 068. Therefore, as with the previous approvals of the stable block conversions, it is considered appropriate to condition that prior to commencement of the development a legal order for the alterations to Horwich 068 be made and an alternative route provided. The dwelling can therefore not be constructed until the condition has been fully complied with and the existing route will remain in place until that time.

It is therefore considered, subject to this condition, that the integrity of the public right of way would be retained, compliant with Policy P8AP of Bolton's Allocations Plan.

#### Impact on Biodiversity

Policy CG1.1 states that the Council will safeguard and enhance rural areas of the borough from development that would adversely affect its biodiversity including trees, woodlands and hedgerows, geodiversity, landscape character, recreational or agricultural value.

The Council's Wildlife Liaison Officer has commented that the proposal would not cause any significant impact upon biodiversity of the area, but state that it would be beneficial if nesting provision for swallows could be incorporated into the design of the new dwelling. This requirement is therefore suggested to be conditioned.

It is therefore considered that the proposed development complies with Policy CG1.1 of the Core Strategy.

#### Impact on the Highway

Policy P5 of the Core Strategy states that the Council will ensure that developments take into account [amongst other things] servicing arrangements and parking, in accordance with the parking standards set out in Appendix 3. Policy S1.2 states that the Council will promote road safety in the design of new development.

Two parking spaces are proposed to the side of the dwelling. The Council's Highways Engineers raise no objection to the proposal.

It is therefore considered that the proposal complies with Policies P5 and S1.2 of the Core Strategy.

#### **Local finance considerations**

Section 70(2) of the Town and County Planning Act 1990 (as amended) provides that a local planning authority must have regard to a local finance consideration as far as it is material. The following is considered to be a local financial consideration in this case:

New Homes Bonus for the proposed dwelling – this is not a material planning consideration.

#### **Conclusion**

For the reasons discussed above it is considered that the proposed new dwelling would not have any greater harm on the openness and purposes of the Green Belt in this location than the previously approved residential conversions of the former stable block. It is also considered that the proposed development would be compatible with the character and appearance of the area, would not harm the amenity of the neighbouring residents, would safeguard biodiversity, would provide for sufficient on-site parking and would (subject to a suggested condition) retain the integrity of public right of way Horwich 068. Members are therefore recommended to approve this application subject to the suggested conditions.

## **Representation and Consultation Annex**

### **Representations**

**Letters:-** None received.

**Horwich Town Council:-** raised an objection to the application, as they have concerns about the proposed access and the re-routing of the public right of way.

### **Consultations**

Advice was sought from the following consultees: Highways Engineers, Pollution Control Officers, Landscape Officers, Wildlife Liaison Officer, Public Rights of Way Officer, Peak and Northern Footpaths Society, Ramblers Association, the Open Spaces Society, and United Utilities.

### **Planning History**

Planning application 96792/16 for the erection of dwelling with parking and amenity space was refused in August 2016 for the following two reasons:

- 1. The proposed development by virtue of its use, size and height, represents inappropriate development within the Green Belt and the Applicant has provided no very special circumstances to outweigh the harm caused to the purposes and openness of the Green Belt. The proposal is contrary to national guidance contained within section 9 of the National Planning Policy Framework and Policy CG7AP of Bolton's Allocations Plan.*
- 2. Insufficient information has been provided by the applicant with regard to how public right of way Horwich 068 would either be retained within the development or diverted to enable the proposal to be properly judged against Policy P8AP of Bolton's Allocations Plan.*

An amendment to approval 92210/14 was approved in October 2014 (92626/14).

Permission was granted in August 2014 for the erection of a domestic garage to the rear of the proposed dwelling (92210/14).

A non-material amendment to 88367/12 to extend the kitchen by 1 metre and the insertion of bi-fold doors in the rear elevation was approved in April 2014 (91667/14).

Permission was granted in August 2012 for the conversion of a stable block to a three bedroom dwelling (88367/12).

Permission was granted in June 2012 for amendments to the conversion of a barn into a dwellinghouse previously approved under 69791/04 (88007/12).

Permission was granted in April 2005 for the change of use and conversion of a barn to one dwelling (69791/04).

Application 67839/04 for the change of use and conversion of a barn to a dwelling was refused in July 2004 due to insufficient information.

**Recommendation:**            **Approve subject to conditions**

### **Recommended Conditions and/or Reasons**

1. The development hereby permitted shall be begun before the expiration of three years from the date



of this permission.

Reason

Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2. Prior to the commencement of development public right of way Horwich 068 is to be diverted and new signage erected in compliance with details to be submitted to and approved in writing by the local planning authority. The diverted public right of way is to remain available to the public at all times thereafter and must not be closed, diverted or altered in any way until the appropriate statutory procedures have been completed.

Reason

Public right of way Horwich 068 crosses the application site and must be retained, and to comply with policy P8AP of Bolton's Core Strategy.

3. Prior to the commencement of the development:-
  - A Site Investigation report shall be submitted to and approved in writing by the Local Planning Authority. The investigation shall address the nature, degree and distribution of land contamination on site and shall include an identification and assessment of the risk to receptors focusing primarily on risks to human health, property and/or the wider environment; and
  - The details of any proposed remedial works shall be submitted to, and approved in writing by the Local Planning Authority. The approved remedial works shall be incorporated into the development during the course of construction and completed prior to occupation of the development or the development being first brought into use; and

Prior to first use/occupation of the development hereby approved:

- A Verification Report shall be submitted to, and approved in writing by, the Local Planning Authority. The Verification Report shall validate that all remedial works undertaken on site were completed in accordance with those agreed by the LPA.

Reason

To safeguard the amenity of the future occupants of the development and to comply with Core Strategy policy CG4.

4. Prior to the commencement of development the details (samples if required) of the type and colour of materials to be used for the external walls and roof to be agreed with the Local Planning Authority. The approved materials shall be implemented in full thereafter.

Reason

To ensure the development reflects local distinctiveness and to comply with policies CG3 and OA1 of Bolton's Core Strategy.

5. Prior to the commencement of development a detailed specification for all doors and windows shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be implemented in full before the development is first occupied and retained thereafter.

Reason

To ensure the development reflects local distinctiveness and to comply with policies CG3 and OA1 of Bolton's Core Strategy.

6. Prior to the commencement of development details of how the approved building will incorporate nesting provision for swallows shall be submitted to and approved in writing by the local planning authority. The approved details shall be implemented in full during the construction of the building and retained thereafter, unless otherwise agreed in writing by the local planning authority.

Reason

To help conserve habitats for swallows and to comply with policy CG1.1 of Bolton's Core Strategy.

7. Trees and shrubs shall be planted on the site in accordance with a landscape scheme to be submitted and approved in writing by the Local Planning Authority prior to the development being first brought into use. The approved scheme shall be implemented in full and carried out within 6 months of the occupation of any of the buildings or the completion of the development, whichever is the sooner, or in accordance with phasing details included as part of the scheme and subsequently approved by the Local Planning Authority. Any trees and shrubs that die or are removed within five years of planting shall be replaced in the next available planting season with others of similar size and species.

Reason

To reflect and soften the setting of the development within the landscape and to comply with policies CG3 and OA1 of Bolton's Core Strategy.

8. Prior to the development being first occupied, details (including any brick or masonry specification and colour scheme) of the treatment to all boundaries to the site shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be implemented in full within 21 days of the Local Authorities approval, unless otherwise agreed in writing with the Local Planning Authority and retained thereafter.

Reason

To ensure adequate standards of privacy and amenity are obtained and the development reflects the landscape and townscape character of the area and in order to comply with policies CG3 and CG4 of Bolton's Core Strategy.

9. Before the approved/permitted development is first brought into use no less than 2 car parking spaces with minimum dimensions of 2.5 metres by 5 metres shall be provided within the curtilage of the site, in accordance with drawing ref: 2016/507/302. Such spaces shall be made available for the parking of cars at all times the premises are in use.

Reason

To ensure that adequate provision is made for vehicles to be left clear of the highway and to comply with policy P5 and Appendix 3 of Bolton's Core Strategy.

10. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any Order revoking, re-enacting or modifying that Order) no extensions, porches, garages, outbuildings, dormers or any other alterations to the roof (other than those expressly authorised by this permission) shall be constructed.

Reason

To safeguard the character and appearance of the dwelling and the purposes and openness of the Green Belt, and to comply with policies CG3 and OA1 of Bolton's Core Strategy and policy CG7AP of Bolton's Allocations Plan.

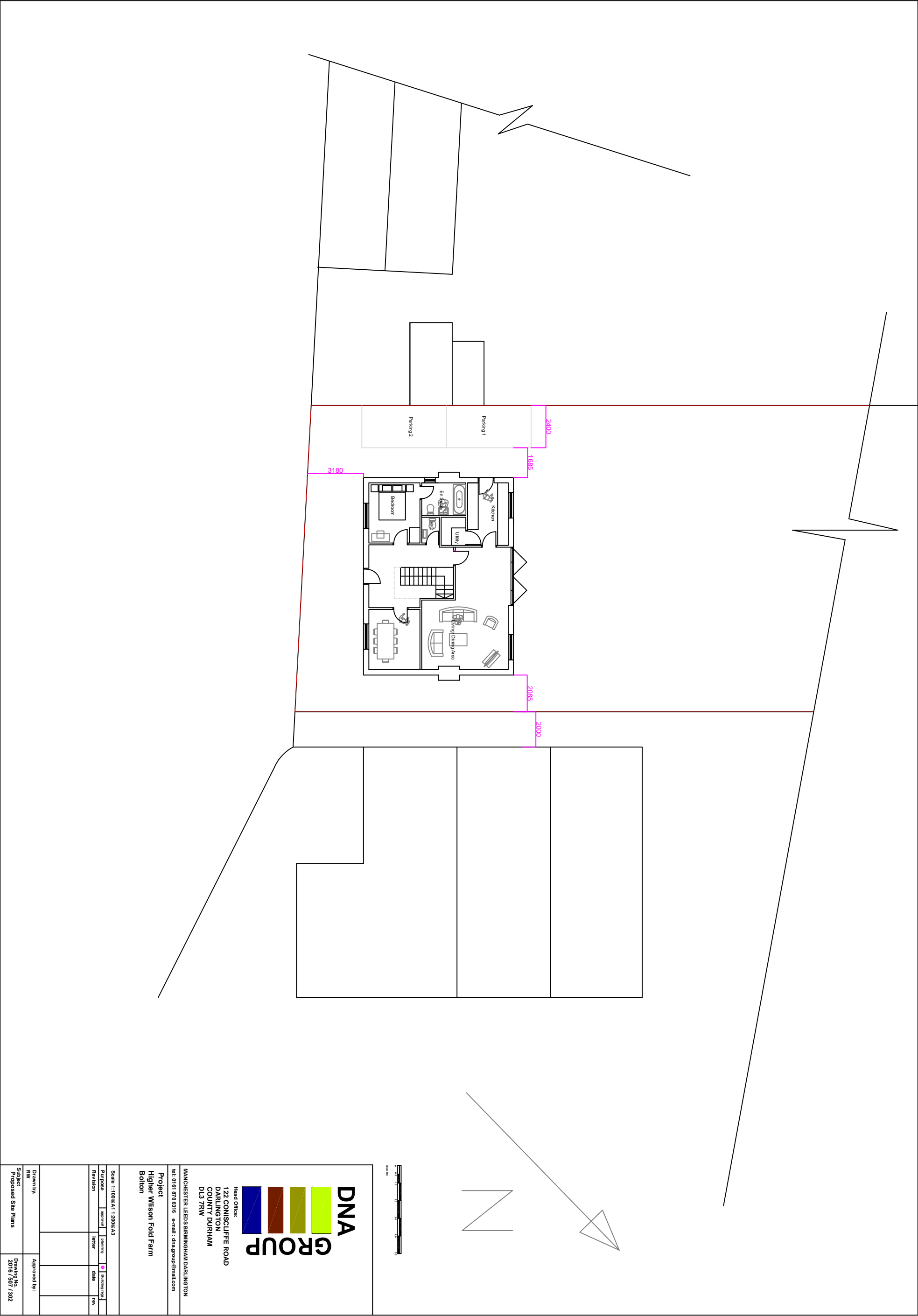
11. The development hereby permitted shall be carried out in complete accordance with the following approved plans:

**2016/507/302; "Proposed Site Plans"; received 22 Sep 2016**

**2016/507/306; "First Floor Proposed 1"; received 22 Sep 2016**  
**2016/507/307; "Elevations Proposed 1"; received 22 Sep 2016**  
**2016/507/308; "Elevations Proposed 2"; received 22 Sep 2016**  
**2016/507/309; "Section"; received 22 Sep 2016**

Reason

For the avoidance of doubt and in the interests of proper planning.



Head Office:  
122 CONISCLIFFE ROAD  
DARLINGTON  
COUNTY DURHAM  
DL3 7RW

MANCHESTER LEEDS BIRMINGHAM DARLINGTON  
Tel: 0161 870 6316 e-mail: dna.group@mail.com

**Project**  
Higher Wilson Fold Farm  
Bolton

Scale 1:100@A1 1:200@A3

Purpose	Approved	Drawing	Building Reg.
Revision	Letter	Date	Yes

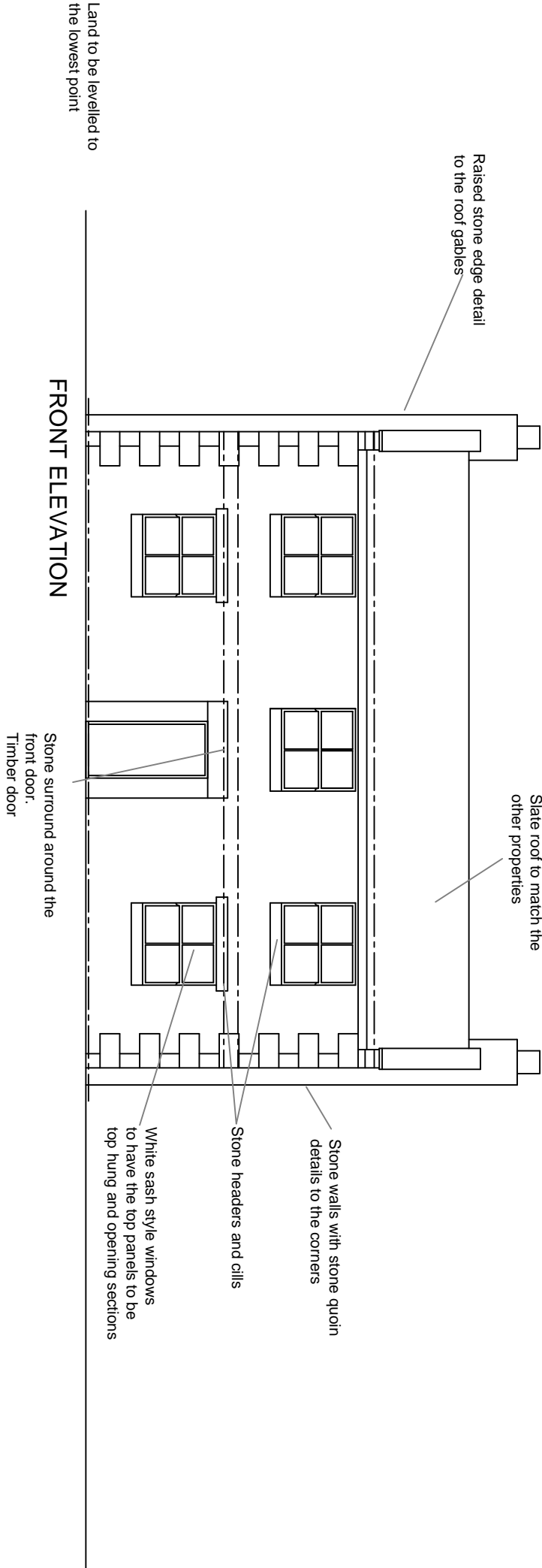
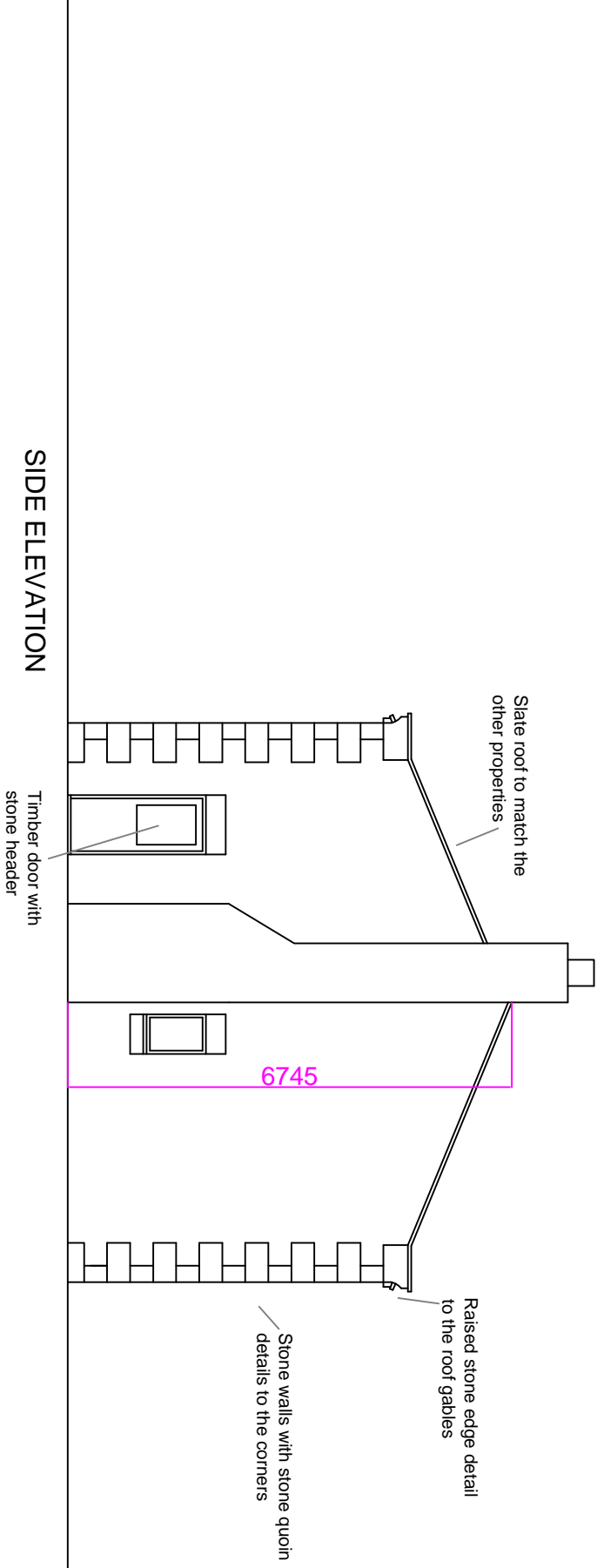
Drawn by: \_\_\_\_\_ Approved by: \_\_\_\_\_

RW

Subject  
Proposed Site Plans

Drawing No.  
2016 / 507 / 302

TOTAL VOLUME: 561.3 CUBIC M



**DNA GROUP**

Head Office:

122 CONISCLIFFE ROAD

DARLINGTON

COUNTY DURHAM

DL3 7RW

MANCHESTER LEEDS BIRMINGHAM DARLINGTON

tel: 0161 870 6316 e-mail : dna.group@mail.com

Project

Higher Wilson Fold Farm

Bolton

Scale 1:50@A1 1:100@A3

Partials	approved	drawn	checked	building reg.
Revision		inter	date	rev

Drawn by:

RW

Approved by:

Subject

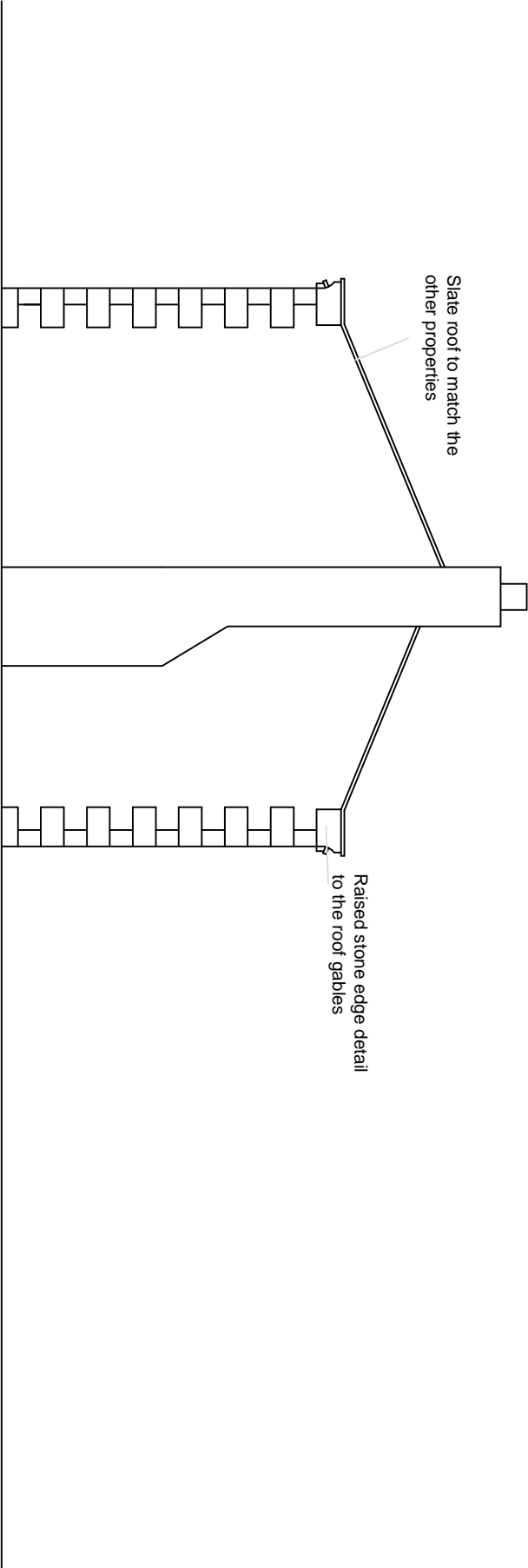
Elevations

Proposed 1

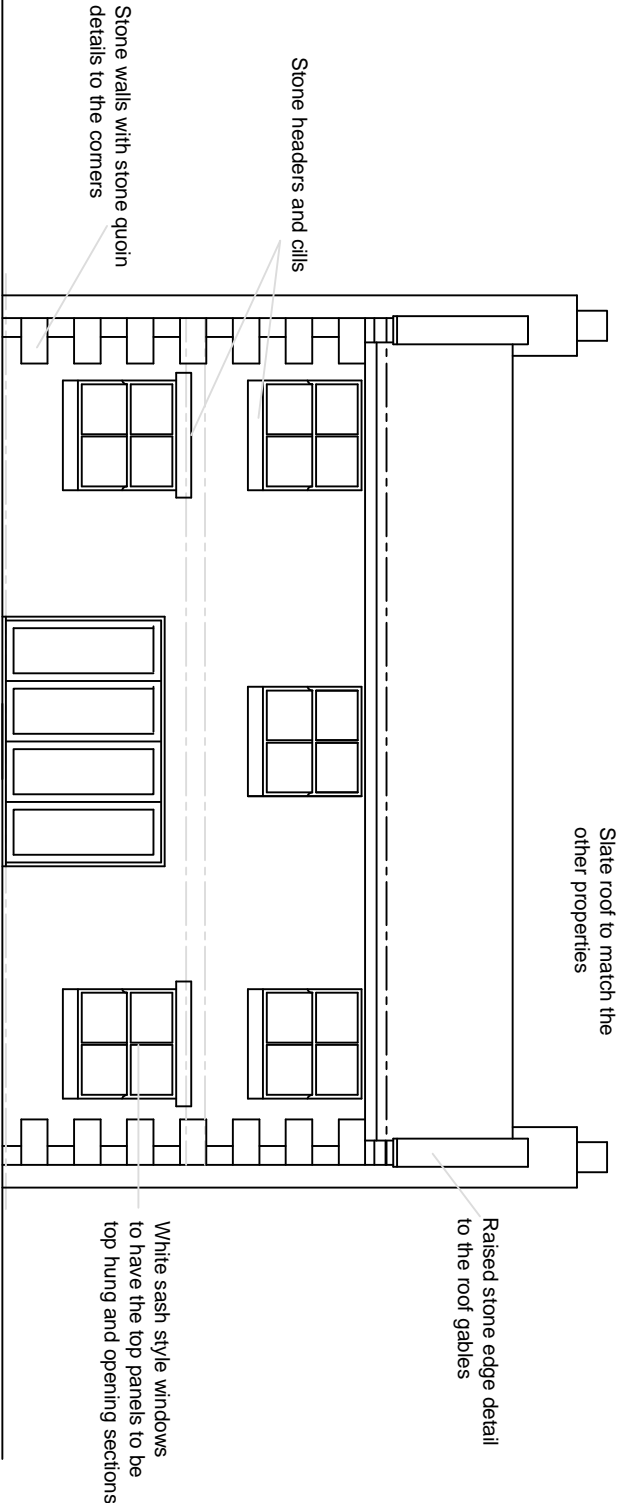
Drawing No

2016 / 507 / 307





SIDE ELEVATION



REAR ELEVATION



**DNA GROUP**

Head Office:

122 CONISCLIFFE ROAD  
DARLINGTON  
COUNTY DURHAM  
DL3 7RW

MANCHESTER LEEDS BIRMINGHAM DARLINGTON

Rt: 0161 870 6316 e-mail : dna.group@mail.com

Project

Higher Wilson Fold Farm  
Bolton

Scale 1:50@A1 1:100@A3

Put on site	approved	drawn	building reg.
Revision	inter	date	rev

Drawn by:

RW

Approved by:

Subject

Elevations  
Proposed 2

Drawing No.

2016 / 507 / 308

**Application number  
97507/16**



**Development & Regeneration Dept  
Development Management Section**

Town Hall, Bolton, Lancashire, BL1 1RU  
Telephone (01204) 333 333

**Bolton  
Council**

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**Date of Meeting: 24/11/2016**

**Application Reference: 97507/16**

**Type of Application: Extension of Time**  
**Registration Date: 06/10/2016**  
**Decision Due By: 30/11/2016**  
**Responsible Officer: Helen Williams**

**Location: 4 GLENDALE DRIVE, BOLTON, BL3 4PD**

**Proposal:** VARIATION OF CONDITION 4 ON PERMISSION 92044/14 TO ALLOW FOR THE RETENTION OF 2NO. EN SUITE WINDOWS AT FIRST FLOOR LEVEL IN SOUTHERN ELEVATION.

**Ward: Heaton and Lostock**

**Applicant: Mr Anwar**  
**Agent : SMS architecture**

## **Officers Report**

**Recommendation: Approve subject to conditions**

### **Proposal**

#### Planning background

Planning permission was granted in July 2014 for the erection of part single, part two storey extensions to the front, side and rear of 4 Glendale Drive (under planning application 92044/14).

Whilst the approved extension was being constructed, the local planning authority received an enforcement complaint that windows to the extension were not being installed in accordance with the approved plans. These windows included two first floor windows in the side extension to the two new en suite bathrooms. The windows being installed were shown on the floor plans but not shown on the approved elevational drawings.

In light of this discrepancy, the applicant submitted a non-material amendment (application 94912/15) in September 2015 to apply for the retention of the amended windows. This application was heard before Committee in November 2015 and was approved by Members, but subject to the following conditions:

- \* That the en suite windows in the side elevation (first floor) were bricked up prior to first occupation of the extension, and remained so bricked up.
- \* That the en suites be ventilated (by means other than the windows) prior to first occupation of the extension, with details of this alternative ventilation to be submitted to and approved by the local planning authority prior to installation.

A further enforcement complaint was received in March 2016 stating that the extension has become occupied but that the en suite windows were still in situ.

The applicant attempted to appeal the conditions attached to non-material amendment approval 94912/15 in April 2016, but was informed by the Planning Inspectorate that there was no rights of appeal for non-material amendment decisions.

A certificate of lawful development application was submitted by the applicant in August 2016 for the retention of the en suite windows. The en suite windows would have usually have been permitted development (within the Town and Country Planning (General Permitted Development) (England) Order 2015) as they are obscure glazed and top-opening only (over 1.7 metres above floor level). The applicant was however advised that permitted development rights had been taken away from the extensions approved under application 92044/14 as condition 4 stated:

*"Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any Order revoking, re-enacting or modifying that Order) no windows or doors shall be formed in the northern, western or southern elevations of the development hereby approved other than those shown on the approved drawings, nor shall those approved windows or doors be enlarged or altered."*

The applicant therefore decided to withdraw their submitted certificate of lawful development application and submitted this current application, to vary condition 4 of the original approval.

#### Current proposal

The applicant now seeks to vary condition 4 of planning approval 92044/14 (as cited above) to allow for the retention of the two obscure glazed en suite windows on the first floor level of the side extension, as installed.

#### **Site Characteristics**

The application property is a two storey detached dwelling. The property has been extended with a part single, part two storey side/front extension and a two storey rear extension.

The majority of houses on this side of Glendale Drive have been extended to the side and/or front, which has resulted in different designs.

The neighbouring property at 6 Glendale Drive has a bathroom window at first floor level on the side elevation facing no. 4.

#### **Policy**

National Planning Policy Framework (NPPF)

Core Strategy Policies: CG3 The Built Environment; CG4 Compatible Uses; OA4 West Bolton.

SPD House Extensions

#### **Analysis**

Section 38 of the Planning and Compulsory Purchase Act 2004 requires applications to be determined in accordance with policies in the Development Plan unless material considerations indicate otherwise.

Applications which are not in accordance with Development Plan policies should be refused unless material considerations justify granting permission.

Similarly, proposals which accord with Development Plan policies should be approved unless there

are material considerations which would justify a refusal of permission.

It is therefore necessary to decide whether this proposal is in accordance with the Development Plan and then take account of other material considerations.

The main impacts of the proposal are:-

- \* impact on the amenity of the neighbouring residents at 6 Glendale Drive
- \* impact on the character and appearance of the street

#### Impact on the Amenity of the Neighbouring Residents at 6 Glendale Drive

Policy CG4 of the Core Strategy states that the Council will ensure that new development is compatible with surrounding land uses and occupiers, protecting amenity, privacy, safety and security. SPD House Extensions sets out the Council's policy guidance for house extensions.

The two obscure glazed, first floor, en suite windows that the applicant is seeking to retain are in the side elevation of the property that faces the side elevation of the neighbouring property at 6 Glendale Drive. 6 Glendale Drive has a bathroom window at first floor level on their side elevation, which faces the applicant's proposed windows.

Bathrooms/en suite rooms are not classed as main rooms within SPD House Extensions (paragraph 4.3). Windows to non-main rooms are therefore not afforded protection within the Council's policy guidance.

As the proposed en suite windows will face a neighbouring bathroom window in this instance there is no undue harm to either the amenity of the neighbouring residents at no.6 or the residents at the application property. Furthermore, the applicant's en suite windows are obscure glazed and are only top opening, which prohibits any overlooking between the two properties.

Notwithstanding the conditions attached to the previous non-material amendment approval (94912/15), officers consider that the bricking up of the windows is not necessary in this instance as the windows (as discussed above) comply with policy, and had they been included in the original application (92044/14) it is likely that they would have been approved by officers at that time.

For these reasons it is considered that the proposed retention of the windows fully complies with Policy CG4 of the Core Strategy and the guidance contained within SPD House Extensions.

#### Impact on the Character and Appearance of the Street

Policy CG3 of the Core Strategy states that the Council will conserve and enhance local distinctiveness and will require development to be compatible with the surrounding area, in terms of scale, massing, grain, form, architecture, street enclosure, local materials and landscape treatment. Policy OA4 states that the Council will conserve and enhance the character of the existing physical environment.

The two en suite windows in the side elevation of 4 Glendale Drive has the appearance of just one window, given their proximity to one another. As the windows are sited centrally within the side elevation they are not particularly visible from the street. The design of the windows are compatible with the design of the windows in the rest of the house (white UPVC framed).

It is therefore considered that the proposed retention of the windows would not harm the character and appearance of the dwelling or the street scene, compliant with Policies CG3 and OA4 of Bolton's Core Strategy.



**Local finance considerations**

Section 70(2) of the Town and County Planning Act 1990 (as amended) provides that a local planning authority must have regard to a local finance consideration as far as it is material. There are not considered to be any local financial considerations in this case.

**Conclusion**

For the reasons discussed above it is considered that the proposed retention of the obscure glazed windows at first floor level at the side of the application property would not harm the amenity of the neighbouring residents and would not harm the character and appearance of the dwelling or the street. It is considered that the proposal is fully compliant with policy and policy guidance on house extensions, and therefore Members are recommended to approve this application.

## **Representation and Consultation Annex**

### **Representations**

**Letters:-** One letter of objection has been received from a neighbouring resident. This raises the following:

- \* A previous application has been refused by Committee;
- \* The issue has been going on for a while which is very upsetting for them and their family.

**Elected Members:-** Cllr. Morgan has requested that the application be heard before Planning Committee for the following reasons:

- \* Committee has previously refused the window and nothing fundamentally has changed from the original application when a condition was added that the window in question was to be removed to protect the amenity of the neighbour;
- \* Detrimental impact on the neighbours.

### **Consultations**

Advice was sought from the following consultees: None.

### **Planning History**

A Certificate of Lawful Development (S191) for the installation of first floor obscure glazed windows to southern side elevation was withdrawn by the applicant in September 2016 (97247/16).

A non-material amendment application (94912/15) for alterations to the approved window positions on approval 92044/14 was approved at Planning Committee in November 2015 subject to the following conditions:

- 1. Prior to first occupation of the side extension details of how the first floor bathroom will be ventilated shall be submitted to and approved in writing by the local planning authority. These approved details shall be installed in full prior to first occupation of the side extension and shall be retained thereafter.*
- 2. Prior to first occupation of the side extension the window opening on the first floor (bathroom window) facing 6 Glendale Drive shall be bricked up and shall remain in that condition thereafter.*
- 3. Prior to first occupation of the side extension the ground floor window facing 6 Glendale Drive shall be fitted with obscure glazing (top opening only) whose obscuration level is 5 on a scale of 1-5 (where 1 is clear and 5 is completely obscure) and shall be permanently retained in that condition thereafter.*

Permission was granted in July 2014 for the erection of part single, part two storey extension at the front, side and rear (92044/14).

**Recommendation:**           **Approve subject to conditions**

### **Recommended Conditions and/or Reasons**

1. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any Order revoking, re-enacting or modifying that Order) no windows or doors shall be formed in the side, front and rear elevations of the development hereby approved other than those shown on the approved drawings, nor shall those approved windows or doors be enlarged or

altered.

Reason

To safeguard the outlook, privacy and living conditions of neighbouring residents and to comply with policy CG4 of Bolton's Core Strategy.

2. The development hereby permitted shall be carried out in complete accordance with the following approved plans:

**Elevations; received 06 Oct 2016**

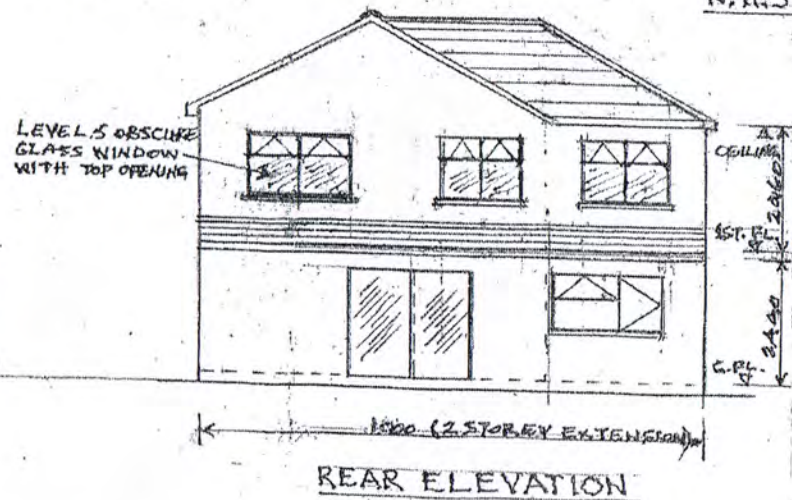
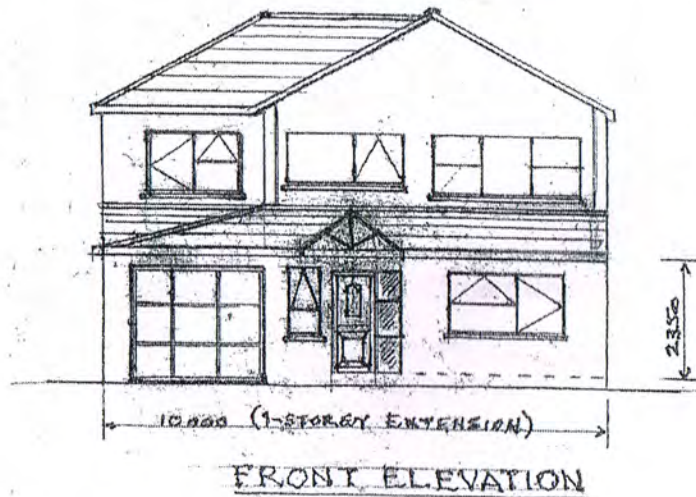
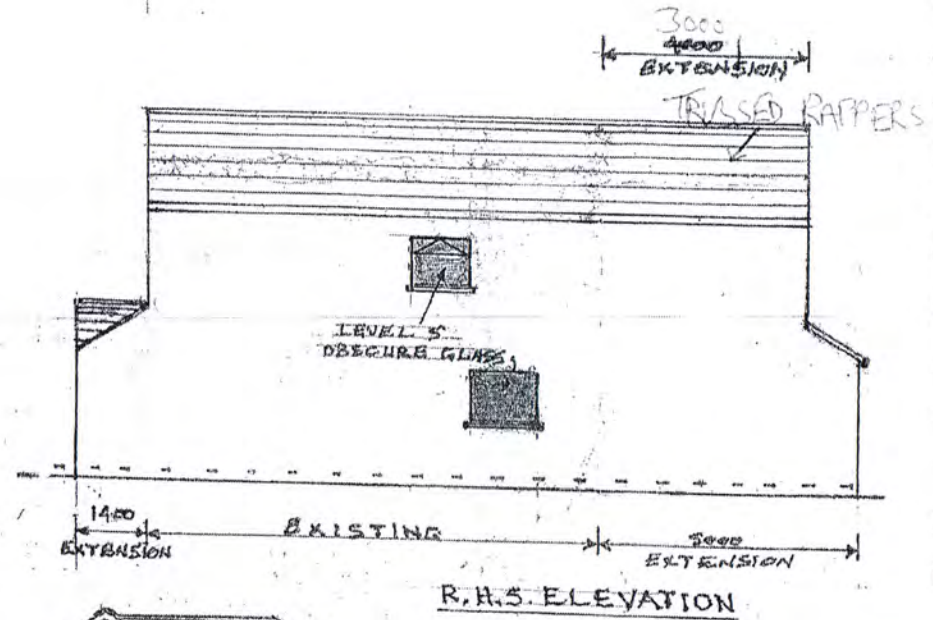
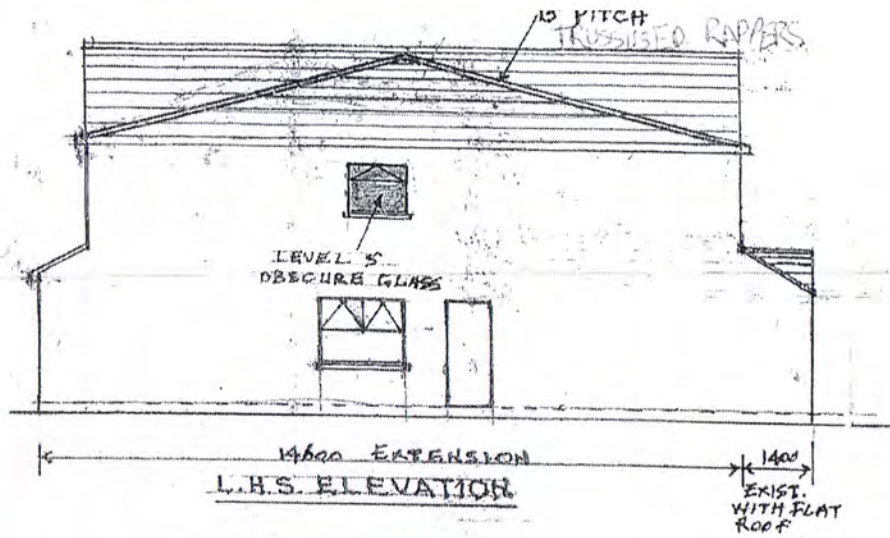
Reason

For the avoidance of doubt and in the interests of proper planning.

PROPOSED

04 GLENDALE DRIVE, LADYBRIDGE, BOLTON.

B3 480





# Application number 97528/16



Development & Regeneration Dept  
Development Management Section

Town Hall, Bolton, Lancashire, BL1 1RU  
Telephone (01204) 333 333

# Bolton Council

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**Date of Meeting: 24/11/2016**

**Application Reference: 97528/16**

**Type of Application: Full Planning Application**

**Registration Date: 26/09/2016**

**Decision Due By: 20/11/2016**

**Responsible  
Officer: Kara Hamer**

**Location: LEVERHULME PAVILLION SITE (BOLTON SCHOOL), CHORLEY  
NEW ROAD, BOLTON**

**Proposal: PROPOSED SYNTHETIC TURF PITCH, FLOODLIGHTING,  
FENCING, DRAINAGE, AND ANCILLARY WORKS**

**Ward: Heaton and Lostock**

**Applicant: Bolton School**

**Agent : Notts Sport Ltd**

## **Officers Report**

**Recommendation: Approve subject to conditions**

### **Proposal**

This application is a resubmission of withdrawn submission (Application ref 95561/16). This application was withdrawn on Planning Officer advice in order to provide additional information. This has enabled pre-application advice and consultation to be provided in order to improve the resubmission with the inclusion of off road car parking spaces and additional landscaping.

Permission is sought to replace the existing grass pitch with a synthetic turf pitch, floodlighting, fencing, drainage and ancillary works at Bolton School's Leverhulme Pavilion sports ground. In detail:

- Pitch - high quality tufted manufactured sand dressed synthetic turf, marked up for hockey and lacrosse, measuring 0.75 hectares;
- Fencing - high rolled mesh powder coated green fencing to a height of 3.0m along the sides and 4.5m behind goal areas;
- Floodlighting - 8 no 15 metre high raise and lower base hinged floodlighting, time clocks will be installed to ensure strict management of operating hours;
- Drainage - a network of perforated UPVC piping collecting water permeating through the pitch construction and playing surface will be directed into the existing drainage outfall ditch; and
- Parking - 24 parking bays will be provided on a redundant tennis court, adjacent to the proposed pitch, access to this provision is from an existing maintenance access point served from Overdale Drive.

The current grass pitch benefits from an unrestricted planning permission with regard to hours of use. The applicant wishes to maintain this unrestricted use with regard to hours of operation (in daylight) but accepts that hours of use must be restricted with regard to floodlights. The original



proposed hours of operation of the floodlights were 08:00 to 21:00 seven days a week including Bank Holidays; however in response to concerns raised by Pollution Control, the applicant has amended the proposal to the following hours of use of the floodlights:

09:00 to 21:00 Monday to Friday

10:00 to 16:00 Saturday

11:00 to 16:30 Sundays and Bank Holidays

Operational (and construction) access will be retained as per the existing position off Chorley New Road.

The proposed synthetic pitch will be utilised primarily for Bolton School's curricular use and for ancillary and selected community group use subject to a management regime, namely the site will be a base for Bolton Hockey Club. The applicant submits that the pitch will help to sustain and develop high quality competitive hockey for Bolton School and within the Bolton hockey community and will help the school promote stronger ties with other schools in the Borough, as well as strengthening links with Bolton University, Bolton Lads and Girls Club, Bolton Sixth Form College and the Council. An objection has been received during consultation stating that the proposal represents a change of use from D1 (Non-residential Institutions) to D2 (Assembly and Leisure). From the information submitted by the applicant, Officer's consider that the use of the proposal will remain primarily for Bolton School's curricular use and for ancillary selected community group use only outside of school hours and school evening/weekend bookings schedule.

The benefits of the synthetic pitch would include no loss of use for training or match purposes during inclement weather. The fencing would limit balls leaving the pitch during play.

As with the previous planning application (Ref: 95561/16) the proposal impacts on five tennis courts to the north of the site as the artificial grass pitch (AGP) overlaps four of the tennis courts and the car parking spaces will be provided on a redundant tennis court.

### **Site Characteristics**

Leverhulme Pavilion is located 0.5 miles to the east of Bolton School's main buildings on Chorley New Road. The pavilion site comprises a mix of playing fields, shale and hard tennis courts, the pavilion building and netball facilities. The pavilion building contains changing areas, equipment storage facilities, a lounge area and kitchen.

The proposed synthetic pitch is sited to the south of the Leverhulme Pavilion building and would replace playing fields currently marked out for lacrosse. The existing pitch is sited at a lower ground level than the shale tennis courts to the north by approx. 1.1m at the western side and 1.6m at the eastern side.

The site is bound by shale tennis courts and fencing to the north, hard sports courts and fencing to the south, mature vegetation along Overdale Drive and residential properties at Handley Gardens to the east and, young/new vegetation and apartments at Merryfield Grange and residential properties at Cedar Wood Court to the west.

There are a small number of on site parking spaces located close to the pavilion building which is sited by the entrance from Chorley New Road.

### **Policy**

National Planning Policy Framework

Core Strategy Policies: P5 Transport and Accessibility; S1.2 Road Safety; CG1.2 Urban Biodiversity; CG3 The Built Environment; CG4 Compatible Uses; OA4 West Bolton.

Supplementary Planning Document - General Design Principles 2015

### **Analysis**

Section 38 of the Planning and Compulsory Purchase Act 2004 requires applications to be determined in accordance with policies in the Development Plan unless material considerations indicate otherwise.

Applications which are not in accordance with Development Plan policies should be refused unless material considerations justify granting permission.

Similarly, proposals which accord with Development Plan policies should be approved unless there are material considerations which would justify a refusal of permission.

It is therefore necessary to decide whether this proposal is in accordance with the Development Plan and then take account of other material considerations.

The main impacts of the proposal are:-

- \* impact on playing pitch provision/principle of development;
- \* impact on the character and appearance of the area;
- \* impact on living conditions of adjoining residents;
- \* impact on surface water run-off drainage;
- \* impact on the highway;
- \* impact on protected trees;
- \* impact on biodiversity;

### **Impact on Playing Pitch Provision/Principle of Development**

Guidance contained within NPPF (paragraph 74) clearly states that existing open space, sports and recreational buildings and land, including playing fields, should not be built on unless:

- an assessment has been undertaken which has clearly shown the open space, buildings or land to be surplus to requirements; or
- the loss resulting from the proposed development would be replaced by equivalent or better provision in terms of quantity and quality in a suitable location; or
- the development is for alternative sports and recreational provision, the needs for which clearly outweighs the loss.

Core Strategy Strategic Objective 1 aims to maximise access to health facilities, sporting and recreation facilities, especially for those living in the most deprived areas and to increase opportunities for walking and cycling. Whilst Strategic Objective 11 seeks to conserve and enhance the best of Bolton's built heritage and landscapes, and improve the quality of open spaces and the design of new buildings.

Sport England are a statutory consultee on all planning applications for development affecting playing field land. Sport England will object to proposals which result in the loss of playing field land unless it meets one of five specific exceptions. The exception which would apply in this proposal would be:

*Policy E5 - The proposed development is for an indoor or outdoor sports facility, the provision of*

*which would be of sufficient benefit to the development of sport as to outweigh the detriment caused by the loss of the playing field or playing fields.*

The proposed synthetic pitch will be utilised primarily for Bolton School's curricular use and for ancillary and selected community group use. The proposed car parking spaces occupy one of the tennis courts and the AGP overlaps four other tennis courts.

Sport England have been consulted as a statutory requirement and raise no objection to this application which is considered to meet exception E5 of our adopted Playing Fields Policy, subject to conditions relating to securing community use.

In addition, Sport England consulted England Hockey (the national governing body for hockey). England Hockey comments have been summarised as:

- *provision of a new Hockey AGP at the Bolton School site has been identified in the Playing Pitch Strategy;*
- *the AGP complies with England Hockey spec and design;*
- *Bolton Hockey Club is a strong partner for the future use of the AGP;*
- *the development of the proposed Hockey AGP is paramount for the future use of Bolton Hockey Club and future growth of hockey in the area.*

Sport England also consulted the Lawn Tennis Association as the proposed car parking spaces occupy one of the tennis courts and the AGP overlaps four other tennis courts however, the Association did not respond and Sport England consider that; *given that the Lawn Tennis Association did not raise any concerns over the loss, and given that the proposed is paramount to the future of Bolton Hockey Club and serves an identified need in the Bolton Playing Pitch Strategy, Sport England is satisfied that the overall benefits to the development of sport outweigh the loss of the tennis courts.*

Sport England state that the lack of objection is subject to a condition for a Community Use Scheme which shall be submitted to and approved in writing by the Local Planning Authority, after consultation with Sport England. The Scheme shall include details of pricing policy, hours of use, access by non-school users/non-members, management responsibilities and include a mechanism for review.

It is considered that the proposal would provide an improved facility which meets the objectives of CS Strategic Objective 1 and meets with the approval of Sport England, subject to the provision/implementation of a Community Use Agreement.

#### Impact on the character and appearance of the area

Policy CG3 of the Bolton Core Strategy states that the Council expects development proposals to contribute to good urban design, respect and enhance local distinctiveness, ensuring development has regard to the overall built character and landscape quality of the area.

The immediate area is characterised by various sports pitches, courts and facilities, including buildings that are ancillary to the existing uses. The proposed synthetic pitch surface will offer a similar appearance to amenity grass and as such is compatible with the existing sports pitch/facility. It is considered that the introduction of an artificial turf pitch will not have any further impact upon the character and appearance of the surrounding area than the existing sports facilities that are currently operated by the school.

The proposed fencing is weld mesh design and will be powder coated green. The fencing would be seen against the backdrop of the synthetic turf pitch and mature hedging to the east and young/new

hedging to the west site boundaries and would therefore not have a detrimental impact on the visual amenities of the area.

The proposed pitch measures 110m x 65m and will be level across (east to west). The existing pitch is sited at a lower ground level than the shale tennis courts to the north by approx. 1.1m at the western side and 1.6m at the eastern side. At the northern end it is proposed that the difference in levels will batter from/to existing levels and will not exceed 1:3 Grade and existing steps are replaced with slopes. Over the length (north to south) the pitch levels change by 90cm and the Council's Landscape Architect has commented; *the proposal is for a longitudinal fall down the pitch of 1:100. This equates to a level change of over 1m and fits with the submitted levels drawing.*

The Council's Landscape Architects have been consulted and comment;

*Floodlighting columns are to be 15m in height. The existing mature vegetation surrounding the site should help to integrate the columns. I recommend that the columns are coloured green, as the proposed fencing, to help them blend in to the vegetated background. The floodlighting does sit close to mature vegetation, however when the additional use is anticipated during the winter months, the deciduous vegetation will be devoid of leaf cover.*

*I do not consider the 4 additional trees shown on the Tree Protection Plan to be in any way sufficient screening/mitigation in the area. Holly (Ilex) and Yew (Taxus) although evergreen, are notoriously slow growing and no nursery specification is provided. I recommend that the existing landscape surrounds be 'bolstered' around the site with carefully chosen evergreen species. Additional planting should also help to screen the proposed car parking area.*

*Should this planning application receive approval at Committee stage then I recommend that the standard condition LS02 "Planting scheme to be submitted for approval prior to works commencing on site" be applied to the permission document.*

Officer's consider that the recommended condition for lighting column paint colour should be included and that the paint colour should match that of the proposed fencing. The Council's standard planting scheme condition will also be included in an approving decision notice.

The proposed development, subject to the recommended conditions, is considered to comply with policy CG3 of the Core Strategy.

#### Impact on impact on living conditions of adjoining residents

Policy CG4 of the Core Strategy states that the Council will ensure that new development is compatible with surrounding land uses and occupiers, protecting amenity, privacy, safety and security and does not generate unacceptable nuisance, odours, fumes, noise or light pollution.

Supplementary Planning Document - General Design Principles 2015 states that the Council will assess applications for floodlighting in terms of the impact of light pollution on the character and appearance of the area and the impact on the amenity of adjoining uses, particularly dwellings, and will look to restrict hours of use of the lighting as set out (in the guidance). Further control may be imposed by applying *maximum* Lux levels as conditions unless technical specifications can show otherwise that there will not be any undue intrusions from the installations.

The issue of noise generation is a material consideration however it is noted that the application site is an existing sports pitch sited within an existing school sports facility. It is not considered that the use of the proposal is likely to generate any greater noise disturbance than is already experienced by local residents.

The visual impact of the proposal has been largely addressed in the Character and Appearance section of this report, the pitch is to be sited centrally within the site, mature hedging offers partial screening to site boundaries adjacent to residential properties which will be further improved with additional evergreen planting. It is considered that the proposed pitch surface, lighting columns and fencing will not be detrimental in terms of visual impact when viewed from any adjacent properties.

The potential for pollution and nuisance arising from light spillage has been carefully assessed and the proposed floodlighting solution set out within the Lighting Impact Study is considered acceptable. Whilst the floodlights will have some impact in terms of darkness, the proposed floodlight luminaires are designed with a zero upward light ration which will result in low vertical overspill onto adjacent land. Furthermore, the new lighting will incorporate timer control devices that will ensure they do not remain on later than the permitted operating times. The pitch is moreover surrounded by a large amount of vegetation (on the two boundaries where residential properties are located) and additional evergreen planting would further mitigate light emissions. The Applicant has reduced the proposed hours of use of the flood lighting and the Council's Pollution Control Unit have been consulted and have raised no objections to the application in principle, however they have recommended the inclusion of specific conditions and comment;

*The lighting scheme should meet the Council's lighting condition, however the lux levels are very close to the limit of the condition and the applicant should verify the levels once the lighting has been installed to ensure they comply. The proposal is for use from 8am to 9pm 7 days a week. There are residential properties in close proximity and to have the pitch open for such long periods may have a detrimental noise impact on the amenity of the area. I would therefore recommend restricting the hours of use to between 09:00 and 21:00 Monday to Friday and between the hours of 10:00 and 18:00 on Saturday and 11:00 and 16:30 on Sunday and Bank Holidays.*

Conditions will be attached restricting the hours of usage of the floodlights and maintaining future use of a maximum Lux and luminaire design to ensure that the lighting will not have an adverse impact on the surrounding area and nearby residents in terms of nuisance from light pollution. The contractor Notts Sports Ltd have measured on site (on 31/10/16) the distance between the proposed floodlighting and the nearest residential property; which confirmed that the distance to the nearest floodlighting columns will be in excess of 24m of the nearest windows on Merryfield Grange. Guidance contained within Supplementary Planning Document - General Design Principles 2015, contains suggested hours restrictions for floodlighting of 20m - 34m in distance from residential property of: 09.00 - 21.00 Monday to Friday, 09.00 - 18.00 Saturdays and 09.00 - 17.00 Sundays, recommended for a temporary period of one year in order to monitor the impact upon nearby residential properties. Given the comments from the Council's Pollution Control Unit and the guidance contained within the SPD, Officer's recommend on balance, conditioning hours of use of floodlighting to between 09:00 and 21:00 Monday to Friday and between the hours of 10:00 and 18:00 on Saturday and 11:00 and 16:30 on Sunday and Bank Holidays. Given that the lux levels fall within acceptable levels the SPD recommended temporary 12 month approval for assessment purposes is not recommended.

It is therefore considered that whilst the proposal may have some impact upon the living conditions of adjoining residents, it is not considered that the use of the proposal is likely to generate any increase in noise level than is already experienced by local residents, albeit for extended week day hours during early evenings in winter months, and sufficient mitigation measures will be implemented to minimise this impact. It is therefore considered that subject to condition, the proposal would comply with Core Strategy policy CG4 and guidance contained within the SPD General Design Principles.

#### Impact on surface water run-off drainage

Core Strategy CG1.5 seeks to reduce the risk of flooding by minimising water run-off from sites.

A network of perforated UPVC piping collecting water permeating through the pitch construction and playing surface will be directed into the existing drainage outfall ditch.

Technical consultees have been consulted and advise that a condition be included requiring the applicant to submit details of the implementation, maintenance and management of a sustainable drainage scheme for approval by the Local Planning Authority prior to the commencement of development.

It is therefore considered, subject to the recommended condition, that the proposal would comply with Core Strategy CG1.5.

#### Impact on the Highway

Policy P5 of the Core Strategy states that the Council will ensure that developments take into account [amongst other things] accessibility by different types of transport, servicing arrangements and parking, in accordance with the parking standards set out in appendix 3. Policy S1.2 states that the Council will promote road safety in the design of new development.

It is acknowledged in the application that the provision of the artificial pitch will extend usage on site during the daytime and evenings. There are a small number of on site parking spaces located close to the pavilion building and on street parking is well established along Chorley New Road and Overdale Drive. 24 parking bays will be provided on a redundant tennis court, adjacent to the proposed pitch, access to this provision is from an existing maintenance access point served from Overdale Drive. Bolton School have submitted a Parking Management Strategy, which will be reviewed annually and aims to:

- encourage alternatives to car commuting wherever possible;
  - eliminate unauthorised parking, including unauthorised on-street parking; and
- enhance surveillance, control, and management of parking by users of the site.

The Parking Management Strategy applies to all users of the pitch. Use of the Pavilion site and carparks will be managed on site by Parking Marshals (typically the Site Manager) at peak times, aiming to ensure pedestrian safety, guiding users to the Pavilion site and preventing misuse of parking spaces.

Highways Management have been consulted and comment;

*During discussions on previously withdrawn application 95561/16 and pre-application discussions on this application, it was agreed that the applicant should provide an element of off-road parking provision in order to facilitate the level of development proposed. The off-road parking provision/access provision was agreed in principle by the Highways Authority. This level of off-road parking provision proposed coupled with the parking management strategy submitted could help to alleviate potential on-road parking issues that could be associated with the proposal during its hours of operation. Potential over-spill parking issues was a concern raised by residents at this location on the previous application.*

*If the parking provision is insufficient to cater for the level of events/functions and the parking strategy proposals are not adhered to then there could be potential overspill parking on the surrounding highways to detriment of residential amenity, and could potentially pose road safety implications if there is an increase in parking along the Chorley New Road frontage. We will not know whether there will be potential parking issues at this location or whether the parking management*



*strategy works until the facility is in operation. Although we cannot condition the monitoring of parking at this location once the facility opens it may be prudent conditioning that the applicant funds the promotion of additional waiting restrictions on Chorley New Road and Overdale Drive in order to restrict potential over-spill parking at this location and to help ensure that the proposed off-road parking is used to its full advantage and that the parking management strategy is adhered to.*

It is considered by Planning Officer's that the early evening and weekend hours usage of the pitch by community groups will not clash with the daytime week day operational hours of the crematorium, visitors to which result in extensive on street parking along Overdale Drive.

The Council's Highways and Engineering have confirmed that approved Parking Restrictions will soon be implemented along Chorley New Road in the vicinity of The Retreat Restaurant to improve visibility and thus safety in this area where overspill on street parking from restaurant customers has become an issue.

It is not possible to condition further Parking Restrictions along the Chorley New Road frontage of the Leverhulme Pavilion site, it should be noted that such a condition would not be legally enforceable (by the LPA) as objections to Highways public consultation could result in the withdrawal of a proposed parking scheme/Traffic Order.

It is Officer's considered view that the new off-road parking provision proposed (24 spaces) together with established parking provision at the main school site (74 spaces) and the Tudor Avenue car park (54 spaces) and, use of the approved Traffic Management Strategy as stated above, will be sufficient parking provision and management for an event which would draw spectators.

Given that there will be no clash in overspill parking along Overdale Drive with the crematorium by virtue of different hours of community use and, the approved parking restrictions in the vicinity of The Retreat Restaurant and, the condition ensuring use of the schools approved Parking Management Strategy, Officer's consider that subject to recommended conditions, the development would comply with Policy P5 and S1 of the Core Strategy.

#### Impact on Protected Trees

The NPPF states in paragraph 109 that the planning system should contribute to and enhance the natural and local environment by protecting and enhancing valued landscapes, geological conservation interests and soils.

Core Strategy Policy CG1.2 safeguards and enhances biodiversity in the borough by protecting sites of urban biodiversity including trees, woodland and hedgerows from adverse development, and improving the quality and inter connectivity of wildlife corridors and habitats.

The Council's Tree and Woodland Officer has been consulted and comments; *the Arboricultural Impact Assessment by Godwin's Arboricultural Limited has been assessed in respect to the tree stock on and adjacent to the site, and is generally accurate in its assessment of the species, sizes and classification in line with the BS5837 (2012) Trees in Relation to Design Demolition and Construction* and recommends a number of measures be conditioned for specified areas of the site, in brief:

- fencing to protect trees and tree root zones during development works;
- ground protection measures to prevent soil compaction and contamination during development works;
- planting in mitigation of tree loss;
- no dig proposals;

- tree impact report and method statements;
- no trenching or cabling for lighting columns within root protection zones of any trees.

The Tree and Woodland Officer advises that; *as the proposed site is surrounded by predominantly broadleaf trees it should be noted that there will be issues concerning leaf fall and sap fall on the playing surface as the trees continue to mature and their canopy spread increases.*

It is the considered view of the Tree Officer that; *the 4 additional trees shown on the Tree Protection Plan are insufficient screening/mitigation in the area and that additional planting of more appropriate species would also help to screen the proposed car parking area.* As such, a detailed tree and landscape proposal will be conditioned for approval by the Local Planning Authority prior to the commencement of development.

Subject to the recommended Conditions, it is considered that the proposal would comply with policy CG1.2 of the Core Strategy.

#### Impact on biodiversity

The NPPF states in paragraph 109 that the planning system should contribute to and enhance the natural and local environment by protecting and enhancing valued landscapes, geological conservation interests and soils.

Core Strategy Policy CG1.2 safeguards and enhances biodiversity in the borough by protecting sites of urban biodiversity including trees, woodland and hedgerows from adverse development, and improving the quality and inter connectivity of wildlife corridors and habitats.

The Council's Greenspace Management have been consulted and comment; *the proposed development would not cause any significant impact upon biodiversity of the area and suitable consideration has been given to outdoor lighting with regard to reducing disturbance to wildlife,* and note the following:

- the site is 470m north of the nearest wildlife designated sites of Haslam Park LNR and Bank Wood & Marsh SBI. It is adjacent to a planning Conservation Area which may have been confused with a wildlife conservation area;
- with regard to protected species, deer and livestock are not recognised as protected species. Bats and owls may be present, foraging on and around the site but since no structures or significant tree removal is proposed, removal of nests or roosts may be discounted. Further clarification on this could be sought from GMEU if required;
- three waterbodies are present within 320m of the site, two are ornamental ponds within the cemetery 'garden of remembrance and the other is to the west, near Atkinson's Farm. All these ponds are heavily shaded and unlikely to provide suitable habitat for Great Crested Newts. Again, clarification on this issue may be sought from GMEU;
- information with regard to floodlighting has been provided in a report, avoiding upward illumination and reducing light spill to surrounding habitats. The seasons and times when such floodlighting will be used are unlikely to cause any major impact to foraging bats or nesting birds.

The Greater Manchester Ecology Unit have been consulted and comment;

*The site is of low ecological value. As noted in the planning document the only likely risk is indirect impacts resulting from the floodlighting on species such as bats. I am satisfied based on the lighting information supplied that the impacts are low enough that no further information is required prior to determination. I recommend that the proposed lighting scheme is conditioned.*

*There is a risk of minor impacts to potential bird nesting habitat. All British birds nests and eggs (with certain limited exceptions) are protected by Section 1 of the Wildlife & Countryside Act 1981, as amended. I recommend a condition is applied to any permission requiring a detailed bird nest survey prior to clearance and written confirmation provided that no active bird nests are present, which has been agreed in writing by the LPA.*

Given the above comments, Officer's consider that subject to the recommended conditions, the proposal would comply with policy CG1.2 of the Core Strategy.

### **Conclusion**

For the reasons discussed above it is considered that subject to conditions, the proposed development would not detrimentally harm the character and appearance of the surrounding area, nor would it unduly affect the living conditions of adjoining residents, or adversely affect the safety of highway users, or the local biodiversity. The proposal therefore complies with the aforementioned national and local planning policies.

Members are therefore recommended to approve the application.

## **Representation and Consultation Annex**

### **Representations**

**Letters:-** 8 letters have been received from residents of Merryfield Grange, 1 letter has been received from the Management Board of Merryfield Grange, 1 letter has been received from a resident of Reeceton Gardens and 1 letter has been received from a resident of Oak Coppice; objecting to the proposal on the grounds of;

- Impact of floodlighting on nearby residents; the proposed vegetative screening will be significantly less in winter, timer control devices requested, hours of use conditions requested;
- No information provided on the capacity of the drainage ditch to accommodate new run-off from the artificial pitch, the underground car park at Merryfield Grange floods at times of heavy rainfall;
- Long established and future new traffic congestion and parking issues on Overdale Drive and surrounding local roads due to visitors to Overdale Crematorium, The Retreat Restaurant, Newlands and sporting events held at the Leverhulme Pavilion sports ground - the Pavilion operator uses no parking cones during events and, impact on sight lines for drivers of vehicles exiting Overdale Drive;
- The proposal will increase the number of hours available for the use of the facilities, outside of school operating hours, making this a more commercial activity with intensification of use having an impact on the amenity of neighbouring residents;
- There are no changing facilities or toilets on site or proposed; *Officer Comment - there are changing facilities/toilets within the Pavilion buildings*
- There are no security or management staff on site or proposed; *Officer Comment - these will be incorporated into the Community Use Agreement - which Sport England will approve*
- The proposal is a material change of use from the existing D1 use to an overall mixed land use of D1 and D2 as a result of introducing community group use;
- The sports ground will become the "home base for Bolton Hockey Club" and the "facility will enable the School to further strengthen the sporting links with the University, Bolton Lads and Girls Club, the Sixth Form College and the Council". There is no detailed information about what exactly this will involve and residents cannot therefore possibly make a reasonable judgement about whether the principle of the development may be acceptable;
- The School is suggesting that a Community Use Agreement be adopted though it is not possible for the Local Planning Authority to adequately retain planning control due to the lack of detail provided;
- The plans show the synthetic pitch being located centrally within the site but also occupying some of the area of the existing tennis courts immediately to the rear of the pavilion building. There is a substantial change in level between the existing lacrosse pitch and the higher tennis courts yet the application does not explain how this will be addressed;
- Interface distance from floodlights to nearest main room window in Merryfield Grange is under the policy limit of 24m - 35m;
- The proposed hours of operation between 08.00 and 21.00 each day is beyond the policy limit of between 09.00 and 21.00 Monday to Friday, 09.00 and 18.00 on Saturdays and 09.00 and 17.00 on Sundays;
- The proposed number of car parking spaces is totally inadequate for players, officials and spectators;
- It is unrealistic to assume that users will use public transport or park at Bolton School's main site car park;
- The off-street parking standards appended to the Core Strategy state that the provision for outdoor sports sites categorised as D2 should be determined under individual consideration. However, in the absence of the details of the number of teams and spectators it is not possible to

come to a view on this;

- The development site is located in close proximity to protected woodland and a pond. Protected species are known to be present in this area;
- Of significance is the pond next to the Crematorium. This counts as a water body. There is also a water course that runs around the rear of Keilder Mews before going into a culvert under Chorley New Road. Both of these are close to the proposed development site and have the potential for Great Crested Newts to be present;
- The application and planning statement is silent on the increased amount of use that would be introduced as a result of the new development;
- The Hockey Club promotes the fact that it has 3 men's teams, two women's teams, numerous youth teams U18-U11, a mixed team and a veteran's team. From the published fixtures on their web site it is possible to count a minimum of at least 84 home fixtures within a 7 month season (Sept-March). When you add the training sessions at the beginning of the week which they advertise that makes it a very intensive use over that period; *Officer Comment - this equates to approx. 12 fixtures per month or 3 per week.*
- This will be a major sporting arena open all day and night; *Officer Comment - hours of use will be conditioned.*
- Astro turf is carcinogenic - *Officer Comment - clarification has been sought from the Agent on this matter - "Notts Sport are aware that there have been concerns raised (mainly in the media) regarding the rubber granule infill that is used in 3G synthetic turf pitch systems as being linked to carcinogenic causing chemicals. However, such concerns are unproven. Moreover, none of this is applicable in any case as the synthetic turf surface proposed for Bolton School is a sand dressed surface (not 3G) and does not contain any loose rubber granule infill".*

Points without officer comments have been addressed in the main body of the report.

**Elected Members:-** no comments received.

### **Consultations**

Advice was sought from the following consultees: The Council's Pollution Control Unit, Drainage and Technical Support, Highway Management Engineers, Greenspace Management, Tree and Woodland Officer, Landscape, Greater Manchester Ecology Unit, Sport England and Design For Security GM Police.

### **Planning History**

Application 95561/16 for a proposed synthetic turf pitch, floodlighting, fencing, drainage and ancillary works was withdrawn in May 2016 at the advice of Planning Officers and pre-application advice and consultation was provided in order to improve the resubmission.

Permission was granted in September 2006 for the erection of 1.8 metre high fencing and 2.1 metre high site entrance gates at the boundary with Chorley New Road and 2.4 metre high fencing to part of the side boundaries (74866/06).

Permission was granted in September 1980 for the demolition and rebuilding of the sports pavilion together with alterations to the existing vehicular/pedestrian accesses (15016/80).

**Recommendation:**            **Approve subject to conditions**

### **Recommended Conditions and/or Reasons**

1.        The development hereby permitted shall be begun before the expiration of three years from the date

of this permission.

Reason

Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2. No demolition, development or stripping of soil shall be started until:

1. The trees and hedgerows within or overhanging the site which are to be retained/or are subject of a Tree Preservation Order (TPO) have been surrounded by fences of a type to be agreed in writing with the Local Planning Authority prior to such works commencing and as detailed on the tree protection Plan (TPP.12531.01). This is to include external planting as detailed in figure 3 of BS5837 (2012) Trees in Relation to Design Demolition and Construction where access is required adjacent to G14, T15, T16 & T18.
2. The approved fencing shall remain in the agreed location (in accordance with BS 5837:2012) until the development is completed or unless otherwise agreed in writing with the Local Planning Authority and there shall be no work, including the storage of materials, or placing of site cabins, within the fenced area(s).
3. No development shall be started until a minimum of 7 working days written notice has been given to the Local Planning Authority confirming the approved protective fencing has been erected.

Reason

To protect the health and appearance of the tree(s).

3. Before the development hereby approved is first brought into use a scheme shall be submitted to and approved in writing with the Local Planning Authority for external lighting/floodlighting. The lighting shall be designed to an illumination value of no greater than [5] lux at the nearest residential property. The beam angle of any lights directed towards any potential observer should be kept below [70] degrees. Spill shields should also be fitted. Provision should be made for an automatic control switch which ensures that the floodlights are switched off at the times agreed within **Condition No. 14**. The approved scheme shall be implemented in full before the development is first brought into use and retained thereafter.

Reason

To safeguard the character and appearance of the area and to safeguard the living conditions of nearby residents and to comply with policy CG4 of the Core Strategy.

4. No development shall take place until details of the implementation, maintenance and management of the sustainable drainage scheme have been submitted to and approved by the Local Planning Authority. The approved scheme shall be implemented in full and thereafter retained, managed and maintained in accordance with the approved details. Those details shall include:

- 1) A timetable for its implementation, and
- 2) A management and maintenance plan for the lifetime of the development which shall include arrangements for adoption by any public body or statutory undertaker, or any other arrangements to secure the operation of the sustainable drainage scheme throughout its lifetime.

Reason

To ensure the site provides satisfactory means of surface water drainage.

5. Prior to the commencement of development of any works on site, the developer shall submit to the Local Planning Authority, and have approved in writing, a method statement detailing how the following elements of the development will be constructed without causing harm or damage to the protected trees found on the site. The specific requirements are:

- Details of how the installation of the car parking area and the no-dig proposals for the



entrance road are to be supplied without compromising the root systems of the trees during construction;

- Details of trenching or cabling to accommodate the lighting columns which should show no works undertaken within the root protection zones of any of the trees;
- Details of any drainage works that will infringe upon the root protection zones of any of the trees on the site. A method statement is required that details the excavation works for the drainage system and its route for disposal off-site.

No development or site clearance shall take place until the Local Planning Authority has agreed the measures in writing, and these measures shall then be implemented fully in accordance with the approved details.

Reason

To ensure the safe development of the site and favourable retention of trees.

6. Trees and shrubs shall be planted on the site in accordance with a landscape scheme to be submitted and approved in writing by the Local Planning Authority prior to the development being first brought into use. The approved scheme shall be implemented in full and carried out within 6 months of the occupation of any of the buildings or the completion of the development, whichever is the sooner, or in accordance with phasing details included as part of the scheme and subsequently approved by the Local Planning Authority. Any trees and shrubs that die or are removed within five years of planting shall be replaced in the next available planting season with others of similar size and species.

Reason

To reflect and soften the setting of the development within the landscape.

7. No soil or soil forming materials shall be brought to the site until a testing methodology including testing schedules, sampling frequencies, allowable contaminant concentrations (as determined by appropriate risk assessment) and source material information has been submitted to and approved in writing by the Local Planning Authority. The approved testing methodology shall be implemented in full during the importation of soil or soil forming material.

Prior to the development being first brought into use or occupied a verification report including soil descriptions, laboratory certificates and photographs shall submitted to and approved in writing by the Local Planning Authority.

Reason

To ensure the site is safe for use.

8. Prior to the development being brought into use, a Community Use Scheme shall be submitted to and approved in writing by the Local Planning Authority, after consultation with Sport England. The Scheme shall include details of pricing policy, hours of use, access by school users/non-members, management responsibilities and include a mechanism for review. The approved Scheme shall be implemented upon commencement of use of the development.

Reason

To secure well managed safe community access to the sports facility, to ensure sufficient benefit to the development of sport as to outweigh the detriment caused by the loss of the grass playing field, and to accord with Sport England Policy 'A Sporting Future for the Playing Fields of England' E5.

9. Prior to the development hereby approved/permitted being first occupied or brought into use the means of vehicular access to the site from Overdale Drive shall be constructed in accordance with the drawing ref **Pitch Location Plan, Drwg No. NSBS008, 18/05/16.**

Reason

In the interests of highway safety and in order to comply with policies S1 and P5 of Bolton's Core Strategy.

10. Before the approved/permitted development is first brought into use no less than 24 car parking spaces with minimum dimensions of 2.4 metres by 4.8 metres shall be marked out and provided within the curtilage of the site, in accordance with Drawing Ref: **Pitch Location Plan, Drwg No. NSBS008, 18/05/16**, details to be submitted to and approved by the Local Planning Authority. Such spaces shall be made available for the parking of cars at all times the premises are in use.

Reason

To ensure that adequate provision is made for vehicles to be left clear of the highway and to comply with policy P5 and Appendix 3 of Bolton's Core Strategy.

11. Prior to the development hereby approved being first occupied or brought into use, a scheme detailing how parts of the site to be used by vehicles are to be laid out, constructed, surfaced, drained and lit shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be implemented in full and thereafter made available for the use of vehicles at all times the development is in use.

Reason

To encourage drivers to make use of the parking and circulation area(s) provided.

12. Before development commences details of the signing scheme within the site to inform drivers of the proposed access/egress shall be submitted to and approved by the Local Planning Authority. The approved signing scheme shall be implemented in full before the development hereby approved is first occupied or brought into use and retained thereafter.
13. Notwithstanding the approved plans, prior to installation on site the design of the hereby approved floodlighting columns shall be submitted in writing and approved by the Local Planning Authority. The floodlighting columns and fencing shall be painted RAL 6055 Moss Green. The floodlighting columns and fencing shall remain so coloured thereafter.

Reason

To safeguard the character and appearance of the surrounding area and to comply with Policy CG3 of Bolton's Core Strategy.

14. The floodlights hereby approved shall not be in use outside the following times;

09:00 - 21:00 Monday to Friday  
10:00 - 18:00 Saturdays  
11:00 - 16:30 Sundays and Bank Holidays

Reason

To safeguard the character and appearance of the area and to safeguard the living conditions of nearby residents and to comply with policies CG3 and CG4 of the Core Strategy.

15. The development hereby permitted shall be carried out in complete accordance with the following approved plans:

**Fencing Plan, Drwg No. NSBS004b, 07/07/16**  
**Drainage Layout, Drwg No. NSBS005, 23/12/15**  
**Proposed Floodlighting, Drwg No. HLS00681 Rev 1, 16/11/15**  
**Pitch Location Plan With Carpark, Drwg No. NSBS007, 25/04/16**  
**Pitch Location Plan, Drwg No. NSBS008, 18/05/16**  
**Area Available For Community Use, Drwg No. NSBS006, 23/03/16**  
**Proposed Levels, Drwg No. NSBS005, 23/12/15**

**Location Plan, Drwg No. NSBS001b, 19/05/16**

Reason

For the avoidance of doubt and in the interests of proper planning.

16. The approved Parking Management Strategy [ref; Parking Management Strategy, dated October 2016, Geraint John Planning] shall be implemented upon commencement of use of the development and shall remain in use thereafter.

Reason

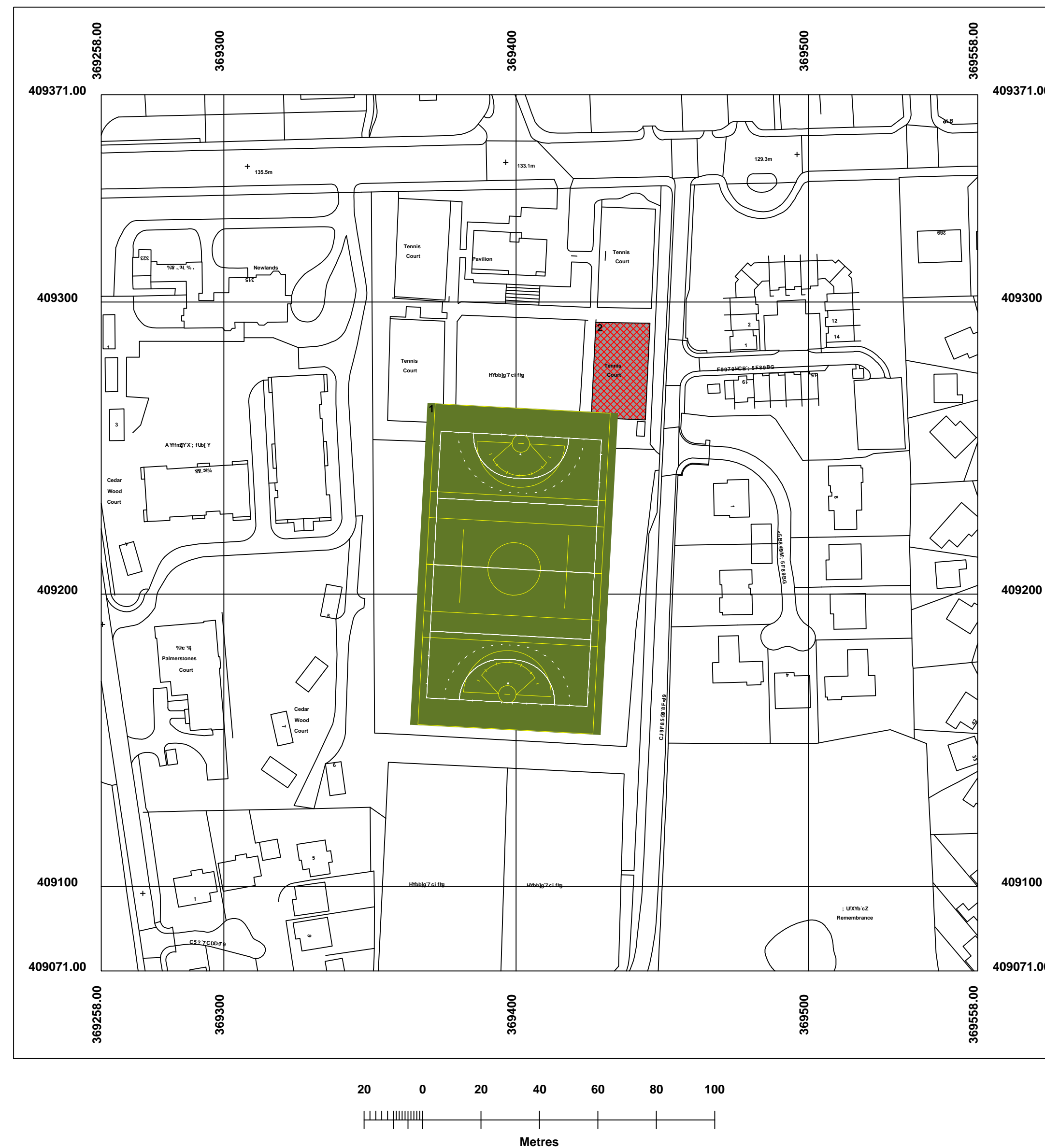
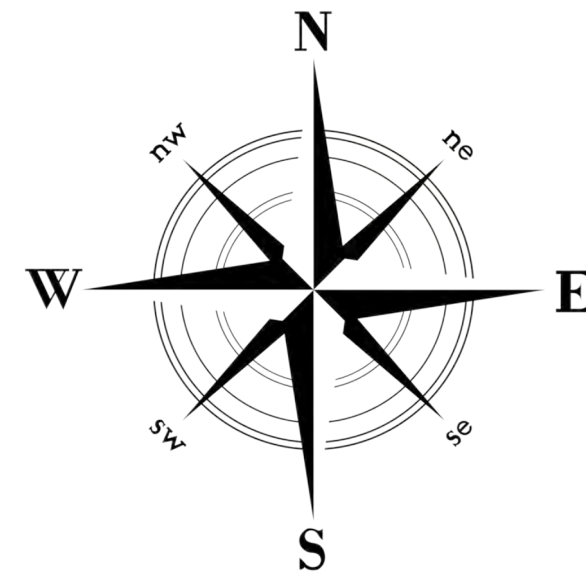
In the interests of highway safety and in order to comply with policies S1 and P5 of Bolton's Core Strategy.

17. No works to trees or shrubs shall occur between the 1<sup>st</sup> March and 31<sup>st</sup> August in any year unless a detailed bird nest survey by a suitably experienced ecologist has been carried out immediately prior to clearance and written confirmation provided that no active bird nests are present which has been agreed in writing by the LPA.

Reason

The site has the potential to support breeding birds. It is an offence under the Wildlife and Countryside Act 1981 (as amended) to disturb birds whilst they are breeding.





NOTES:-

- 1 - Synthetic Turf Pitch (110.0m x 65.0m)
- 2 - Parking area to replace existing tennis court

**nottssport** Synthetic Surfacing / Multi-Sports

Technical Services  
Innovation House  
Magna Park  
Lutterworth  
Leicestershire  
LE17 4XH  
United Kingdom

<b>Bolton School</b>	
<b>Synthetic Turf Pitch (STP) Development</b>	
<b>Pitch Location Plan (including car parking area)</b>	
Date	25/04/16
Drawn by	JP
Checked by	JP
NSBS007	
Scale	1:1250 @ A1
Client Signature .....	
Date Signed .....	





**nottssport**   
Synthetic Surfacing / Multi-Sports

Technical Services  
Innovation House  
Magna Park  
Lutterworth  
Leicestershire  
LE17 4XH  
United Kingdom

**Bolton School**

**Synthetic Turf Pitch  
(STP) Development**

**Drainage Layout**

**Notes:-**

- Pitch Outline
- 150mm Carrier Drains
- 80mm Laterals 10m Apart
- Catch Pit/Existing Outfall

**Date** 23/12/15

**Drawn by** JP

**Checked by** JP

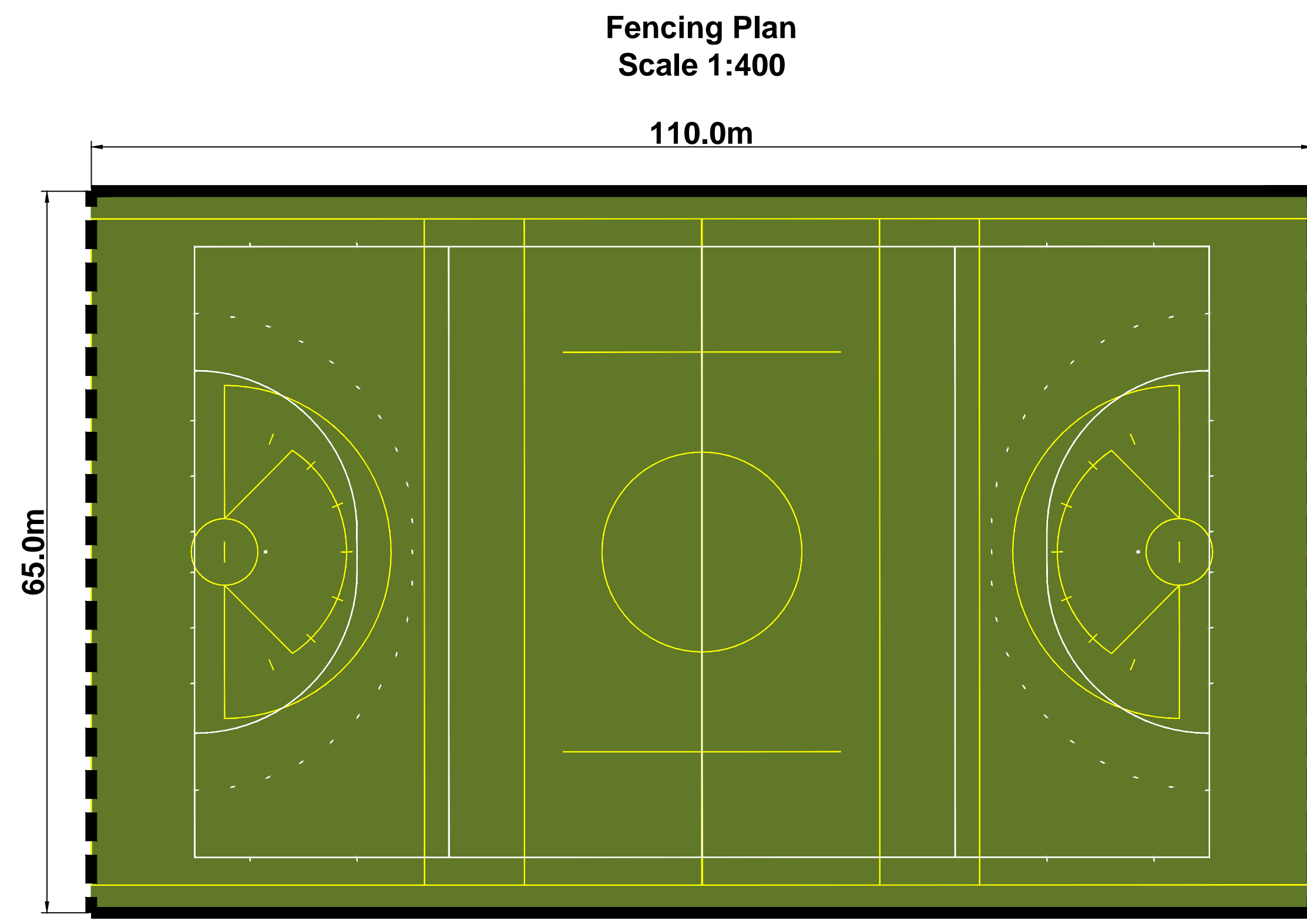
**NSBS005**

**Scale** 1:250 @ A1

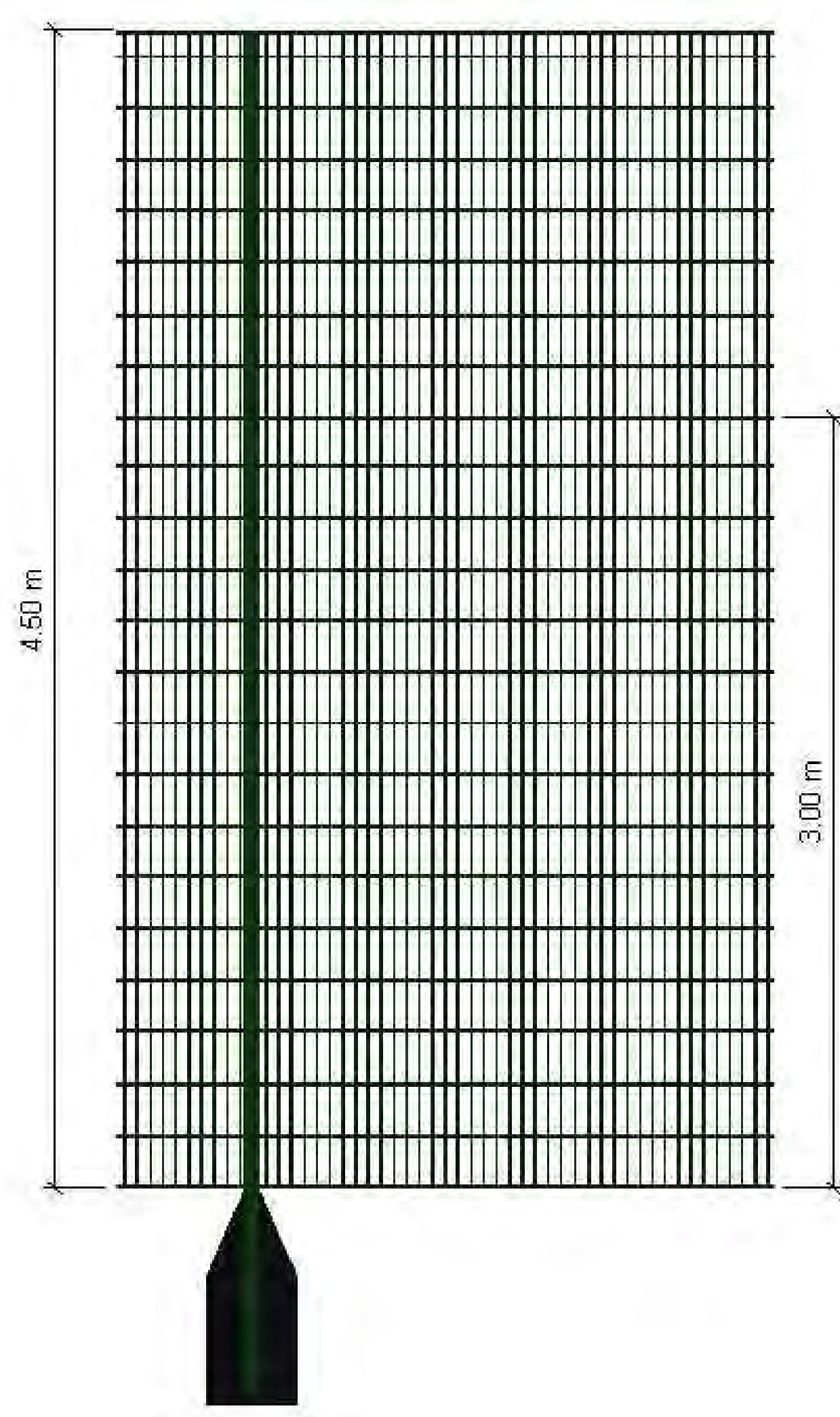
**Client Signature**

**Date Signed**



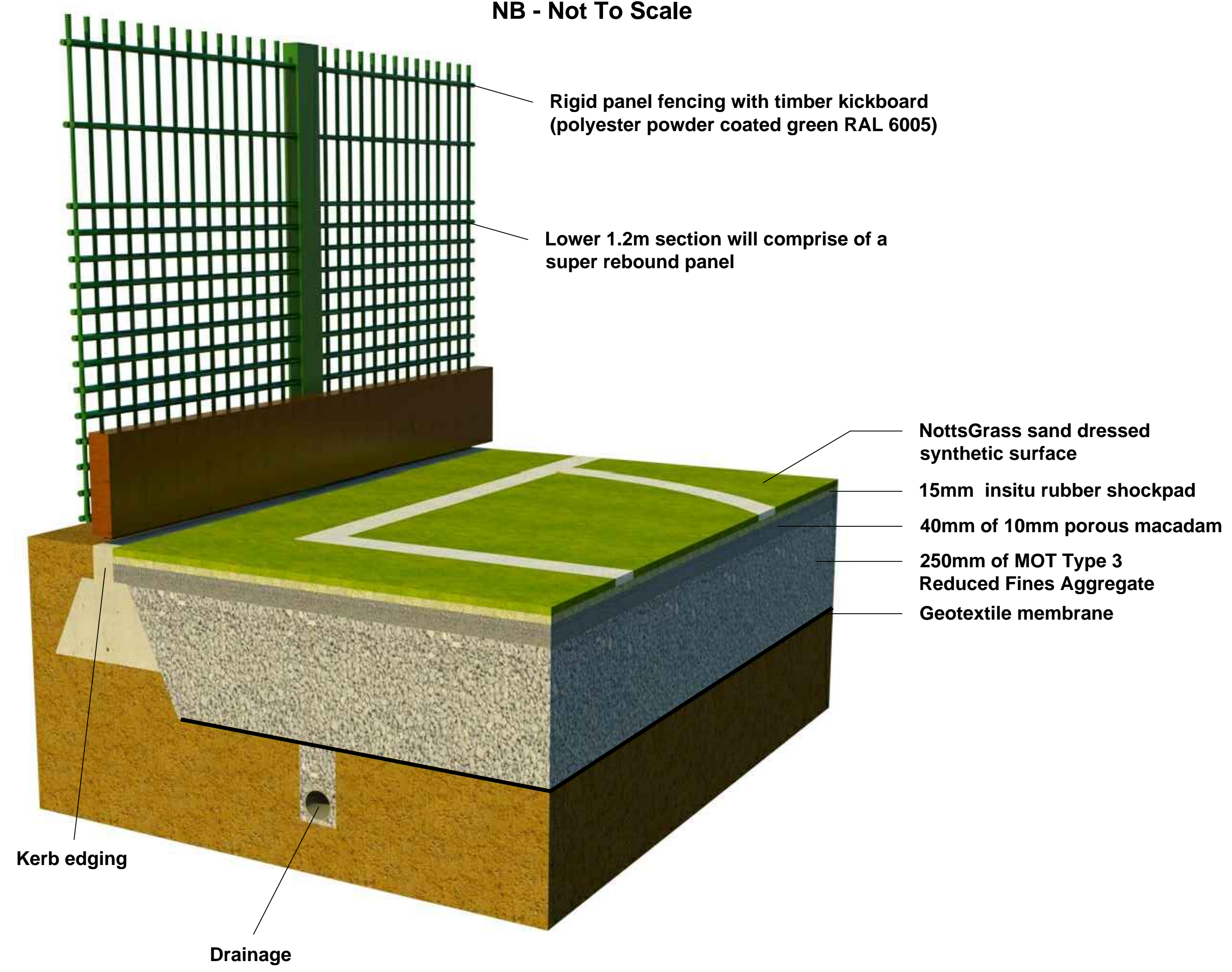


Fencing Elevation  
Scale 1:20



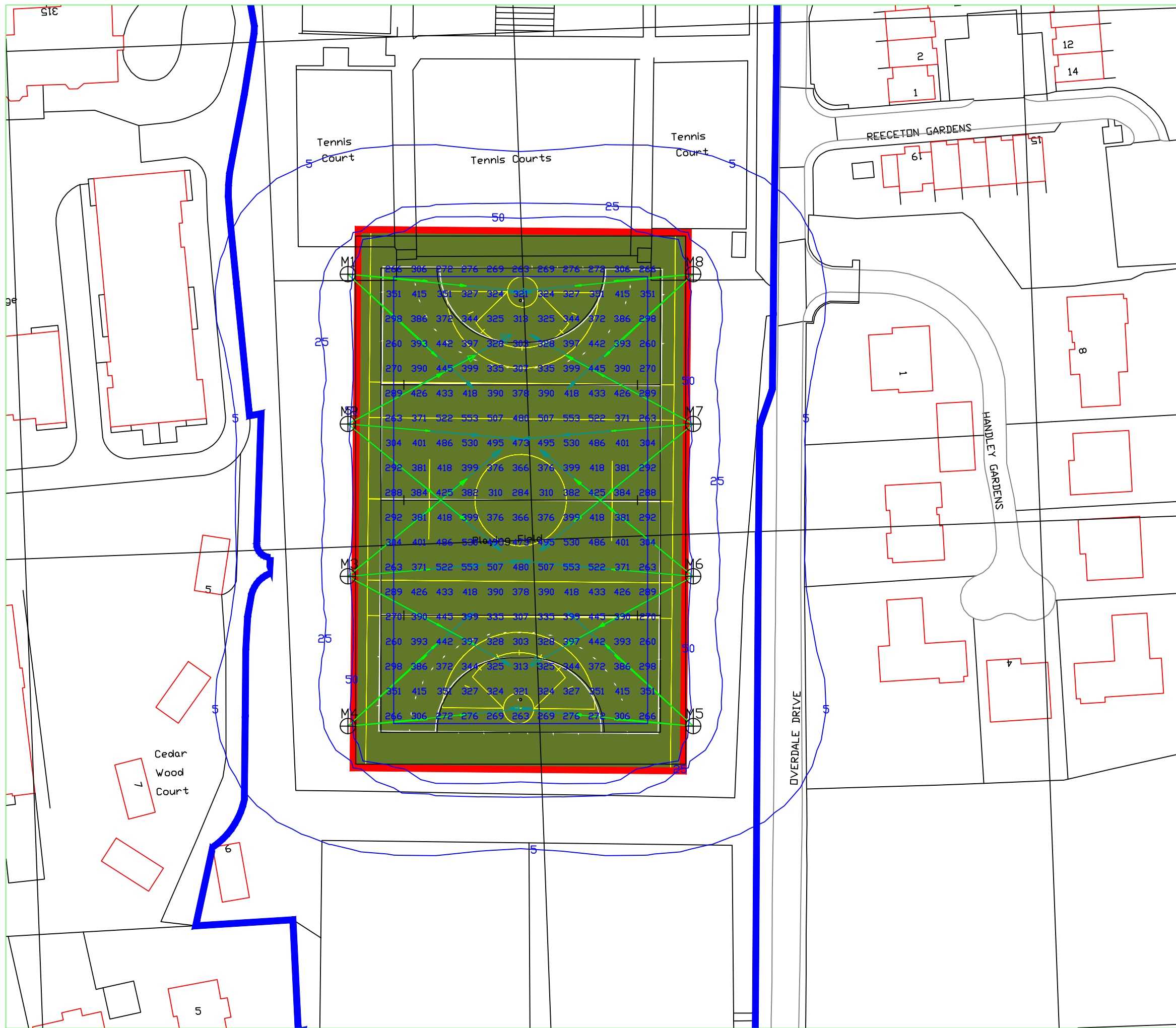
3m high fencing to all sides with  
1.5m high additional fencing at  
goal ends

3D Cross Section  
NB - Not To Scale



<b>NOTES:-</b>	
1 - Synthetic Turf Pitch (110.0m x 65.0m)	
 Synthetic Surfacing / Multi-Sports  Technical Services Innovation House Magna Park Lutterworth Leicestershire LE17 4XH United Kingdom	
<b>Bolton School</b>	
<b>Synthetic Turf Pitch (STP) Development</b>	
<b>Fencing Plan, Fencing Elevation, 3D Cross Section</b>	
Date	07/07/16
Drawn by	JP
Checked by	JP
NSBS004b	
Scale	As Indicated @ A1
Client Signature .....	
Date Signed .....	





**Notes**

**Floodlighting Equipment**  
8 x 15m Masts (M1-M8)  
Each carrying the following following Floodlights :-  
M1,M4,M5 & M8.....  
2 x Thorn LED Floodlight  
M2,M3,M6 & M7  
3 x Thorn LED Floodlight

**Illuminance Levels**  
**Initial** -  
(100hrs) E.i.ave = 370Lux  
**Maintained** -  
(4000hrs) E.i.ave = 352Lux

**Uniformity**  
Emin/Eave = 0.70

Grid values in Lux(initial).  
Grid interval = 5m.  
Contour values in Lux (initial).  
Contours: 5, 20, 50 Lux.

**Maintenance Factor = 0.80**

HALLIDAY LIGHTING

Project  
Bolton School - LED

DRAWING REVISION 1

www.hallidaylighting.co.uk

Drawing Title  
Proposed floodlighting

Drawn By (print)  
JW

Date  
16/11/2015

Project No  
00681

Scale  
1:750 @A3

Drawing No  
HLS00681 Rev 1

Status  
Proposal

# Application number 97730/16



**Development & Regeneration Dept  
Development Management Section**

Town Hall, Bolton, Lancashire, BL1 1RU  
Telephone (01204) 333 333

# Bolton Council

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**Date of Meeting: 24/11/2016**

**Application Reference: 97730/16**

**Type of Application: Full Planning Application**

**Registration Date: 24/10/2016**

**Decision Due By: 22/01/2017**

**Responsible Officer: Alex Allen**

**Location: PLOT E1, HULTON HEYS WAY, (LOGISTICS NORTH, CUTACRE),  
LITTLE HULTON**

**Proposal:** ERECTION OF EXTENSIONS TO PROVIDE  
OFFICE/ADMINISTRATION & WELFARE FACILITIES,  
ALTERATIONS TO EXISTING DISTRIBUTION WAREHOUSE TO  
ERECT A MULTI STOREY CAR PARK, EXTERNAL STAIRCASE  
TOWERS, CAR AND HGV PARKING TOGETHER WITH  
LANDSCAPING AND ASSOCIATED WORKS

**Ward: Hulton**

**Applicant: First Industrial Ltd**

**Agent : Turley**

## **Officers Report**

**Recommendation: Delegate the decision to the Director**

### **Proposal**

The applicant proposes extensions to the development as built as follows:

- Extension of existing offices and staff welfare facilities through the addition of a 3 storey wrap around extension;
- Formation of additional hub office levels;
- Relocation of the proposed gatehouse;
- Erection of a decked / multi storey car park above the existing surface car park;
- Formation of additional surface car parking and manoeuvring areas;
- Physical additions to the building including external stair towers, roof plant and drivers hub.

Additional works proposed include the formation of mezzanine flooring within the fabric of the existing building as built. It is noted that this element does not require the benefit of planning permission.

The total of additional floorspace created by the proposed new development would be 5,171 sq, metres of office and welfare facilities and 400 sq.m of other floorspace. The mezzanine levels created would also provide an additional 57,649 sq.m of floorspace. A total of 840 staff car parking spaces would be provided if the proposed development is built out. The aim of increased level of car parking is to provide enough space within the site to accommodate demand during shift crossovers.

A bus layby would be provided within the site to accommodate upto 3 buses. This would be primarily used by the occupier to bus additional agency staff to and from the site during periods of peak demand. A total of 20 (no) surface visitor spaces would be provided within the site.

### **Site Characteristics**

The application site occupies the plot located in the south western corner of the Logistics North employment area, with Plot B1 (MBDA) and B2 (Joy Global) recently completed and occupied. The main spine road has been constructed together whilst construction of the main east / west link road has also recently been completed.

The approved development at Plot E1 was completed earlier in 2016 and comprises of a large industrial building comprising of approximately 32,000 sq.m of B8 floorspace, with ancillary office uses totalling just over 1,100 sq.m over two floors. The site is accessed by both vehicular and pedestrian traffic from the inner spine road to the north where the car parking is also located. The overall dimensions of the building are 128 metres in width, 247 metres in length with a maximum height of 18.375 metres to the ridge of the roof.

A total of 284 car parking spaces have been provided in the northern part of the application site which would include 273 standard car parking spaces and 14 disabled/accessible spaces in addition to covered cycle storage facilities. The existing ancillary office space is located in the northern elevation of the building adjacent to the spur from the main spine road directly to the south of Plot B2 (Joy Global) development. The service yard which provides the docking bays for the development would be located along the western elevation of the building whilst the eastern elevation would be broken up by contrasting panels and the side elevation of the offices. In addition, there is a 15 to 24 metre wide landscaping buffer running along the eastern side of the application site.

The site slopes gently from the north to south with land to the west rising upwards. The closest residential properties are some 247 metres away to the west (Spout Fold Farm) and to the south some 425 metres away (Mills Brow). Members will be aware that these two farmsteads have extant permission for conversion and redevelopment to create new dwellings within the Country Park area. The site forms the south western limit of the Logistics North employment site which is then bounded to the west and south by the Cutacre Country Park. The implementation of the Country Park has also commenced.

### **Policy**

National Planning Policy Framework 2012

Core Strategy policies: CG1 Cleaner Greener, CG2 Sustainable Design and Construction, CG3 The Built Environment, CG4 Compatible Uses, P1 Employment, P5 Accessibility, S1 Safe and M3 Broad Location for Employment Development.

Allocations Plan: CG7AP Green Belt

Sustainable Design and Construction SPD, Accessibility and Transport SPD and General Design Principles SPD.

### **Analysis**

Section 38 of the Planning and Compulsory Purchase Act 2004 requires applications to be determined in accordance with policies in the Development Plan unless material considerations indicate otherwise.

Applications which are not in accordance with Development Plan policies should be refused unless

material considerations justify granting permission.

Similarly, proposals which accord with Development Plan policies should be approved unless there are material considerations which would justify a refusal of permission.

It is therefore necessary to decide whether this proposal is in accordance with the Development Plan and then take account of other material considerations.

The main impacts of the proposal are:-

- \* principle of employment development;
- \* impact on the character and appearance of the site/area;
- \* impact on surrounding land uses/users;
- \* impact on land stability / site remediation;
- \* impact on drainage;
- \* impact on highway safety / accessibility;
- \* impact on sustainability;
- \* impact in ecology/biodiversity.

#### Principle of Employment Development

Members will recall that outline planning permission was granted, subject to the signing of a Section 106 Agreement, for the development of the Logistics North employment area in April 2014. A number of other permissions have been granted for the Western half of the Logistics North site including current occupiers Aldi (RDC), MBDA, Joy Global. Other elements of the development are also under construction including the Plot A6 development plots and the Aldi training retail store.

The proposal is entirely consistent with the outline approval and the allocation of the wider site for employment use. The original development at Plot E1 was built as a speculative unit for B8 purposes totalling some 32,117 sq. metres of B8 floorspace together with 1,114 sq. metres of ancillary B1 use (3.47% of the B8 floorspace). The site owner has an occupier who would commit to a long term lease on the property subject to the proposed changes.

The proposed development would provide an additional 57, 649 sq. metres of B8 floorspace together with an additional 5,171 sq. metres of B1 floorspace together with an increase in on site car parking. This would total a building which had 89,766 sq. metres,

It is noted that the hybrid permission for the Logistics North site has limitations on the quantum of floorspace created within the industrial estate. The main reason for this was the potential impact of the proposal on the highway network (both local and motorway network).

In terms of the wider site the proposal complies with policy as it is for industrial (B8 use) development with ancillary office space. The issue of impact on the highway network is considered below.

#### Impact on the Character and Appearance of the Area

Core Strategy policy CG3 seeks to ensure that development proposals conserve/enhance local distinctiveness. The application and wider site has permission for employment development with development parameters which prevent the development from exceeding 20 metres in height in the western parcel of land. The maximum height of the unit as built is 18.375 metres.

The Officer's report for the outline permission states:



*'The long term effect of the country park proposals, which wrap around the western and southern sides of the development site, will be to create a strong woodland framework and will assist in screening the development; nevertheless the inherent scale and nature of the buildings proposed will result in a change to the landscape character and views in the locality.'*

*'There is no doubt that the scale and extent of development proposed is a significant land use that would impact on the character and appearance of the area. These impacts would be most substantial in the early stages before the country park planting is complete and has had time to mature. They would diminish as the works are completed and the planting matures to the point where these impacts are partly mitigated. It is of vital importance therefore that the country park proposals are implemented in a timely fashion and are retained and well-managed in the long-term.'*

The additional multi storey car park and ancillary office space will be seen as additions to the existing floorspace, and would be considered as relative modest additions when viewed in the context of the building as constructed to date.

Members may be aware that a number of complaints were received from local residents in relation to the scale of Plot E1 and its visibility from residential properties some 500 metres to the west. These complaints were investigated and it was found that the building was built in accordance with the approved plans. The multi storey car park would be sited to the north of the existing building at Plot E1 and benefits from being located adjacent to the highest point of the mound within the Country Park. This would ensure the car park is effectively screened from the majority of residential properties. The additional office development would be sited on the eastern side of the development and strictly viewed in the context of the wider Logistics development.

The proposal is fully compliant with the site's allocation as a development site for primarily logistics / distribution uses and complies with policy.

#### Impact on Surrounding Land Uses/Users

Core Strategy policy CG4 seeks to ensure that new development is compatible with surrounding land uses and occupiers protecting amenity, privacy, safety and security.

The closest residential properties (Spout Fold Farm and Mills Brow Farm) are between 250 and 425 metres away from the western edge of the application site. Members will be aware that these properties are currently unoccupied but have consent for conversion and/or redevelopment for residential purposes. In terms of the visual impact of the proposed development it is considered that the properties are far enough away from the proposed development to not have any detrimental impact on their outlook.

Two objection letters have been received from local residents (in Overhulton to the west) relating to issues of noise and light pollution from the site. Reference is specifically made to the Aldi RDC building.

The hybrid permission seeks to control both noise and light pollution from the site so as not to impact on local residents living conditions.

Issues of noise emanating from the application site / operations would be controlled through Condition No. 14 on the outline permission for the site. This condition sets the noise limit from the building and plant and equipment from the site to 39dB within 4 metres of the closest elevation of the residential property. This information needs to be submitted and approved prior to occupation of the proposed unit.

However, as the proposal is an extension to the original building it is not governed by the conditions relating to the existing building. It is considered both appropriate and reasonable to condition both noise and lighting from the proposed extensions to ensure residential amenity is not harmed.

It is considered that the proposal complies with policy CG4.

#### Impact on Land Stability / Site Remediation

Core Strategy policy CG4 seeks to ensure that new development proposals affected by contamination and / or ground stability must include an assessment of the issues and potential risks. Development will only be permitted where the land is, or is made, suitable for the proposed use.

The development as built has been remediated successfully. However, in the absence of a Coal Mining Risk Assessment the Coal Authority have objected to the proposed extensions. The applicant has provided additional information in terms of the treatment of the mine shaft located within the site, which has been grouted. The Coal Authority have been reconsulted on this information and in light of the recommendations of the earlier remediation strategy for the site.

Further information will be reported to Members at the Planning Committee meeting.

Subject to further approval from the Coal Authority and the Council's EHOs it is considered that the proposal complies with policy.

#### Impact on Drainage

Core Strategy policy CG2 seeks the provision of a sustainable drainage system which is capable of reducing surface water run-off from the site in addition to policy CG1 which seeks to reduce the risk of flooding in Bolton and other areas downstream by minimising water run-off from new development.

The approved drainage scheme for the site, as existing, is a series of on site attenuation tanks which control surface water run-off from the site. The applicant has submitted a Drainage Philosophy Statement which seeks to provide additional on site attenuation tanks to ensure the proposal does not increase flood risk from the site. To ensure compliance with this philosophy it is considered appropriate to condition this information prior to commencement of development.

This will ensure that flood risk to the proposed development is appropriately managed without increasing flood risk downstream of the site.

It is considered that the proposal would contribute to the wider sustainable drainage system and complies with plot level restrictions on surface water run-off and therefore complies with policy.

#### Impact on Highway Safety/Accessibility

Core Strategy policies P5 and S1 seek to ensure that new development proposals are accessible by a range of types of transport including pedestrians, cyclists and public transport uses. It is also necessary to ensure that developments should promote road safety.

The overall highway impact of the Logistics North site was assessed at the outline stage in which Harworth Estates produced a robust Transport Assessment that was been accepted by Transport for Greater Manchester (TfGM) and Highways England (formerly the Highways Agency) and which demonstrated satisfactorily that the impact of the development can be mitigated. Public transport accessibility will be improved with significant investment in cycling and walking routes.

Whilst the additional proposed B8 floorspace would in itself not require the benefit of planning

permission, it is an additional 57,649 sq. metres of industrial floorspace which was not anticipated when the Logistics North development was planned / approved. In addition, the proposal would also create an additional office (B1) floorspace of some 5,171 sq. metres. The cumulative B1/office floorspace would be integral to the operation of the development plot as a whole whilst remaining ancillary (c. 6.5 % of total floorspace).

The applicant has submitted a Transport Assessment Addendum which seeks to assess the impact of this increase in floorspace. In summary, the Addendum concludes as follows:

- The end user of the unit would generate similar level of traffic in the morning and evening peak hours as the permitted use of the site;
- Additional trips would be generated as a result of the proposed use. However, shift patterns would be outside the peak hours of travel;
- End user would be able to achieve a lower level of car use;
- Office staff would typically work on a 0900 hrs to 1700 hrs;
- Total warehouse staff working at the site in one shift would be 1,200 at peak times (at the run up to Christmas).

The Council's Highways Engineer has requested that the applicant provide additional information to fully detail the impact on the highways network. In addition, Highways England have been consulted on the proposals, their comments are awaited and will be reported at the Committee meeting.

There is a public right of way (restricted byway) which crosses the South East corner of the proposed development site. Whilst this public right of way (PROW) does not physically exist on site its diversion is required. The Council's public rights of way officer has commented that the PROW will need diverting around the site. It is considered that there is scope to divert the PROW without compromising accessibility in the wider area.

The proposal would make provision for a total of 884 car parking spaces which include 14 disabled/accessible spaces. The applicant also proposes covered cycle parking spaces. The car parking provision for the site would be in accordance with the Council's maximum standards.

It is considered that the proposal provides for sufficient curtilage car parking for staff and visitors with safe circulation space for all users of the site.

Subject to the Council's Highways Engineers and Highways England raising no objections to the proposal, it is considered that the proposal would comply with policy.

#### Impact on Sustainability

The application is accompanied by a Sustainability Statement which proposes that the development would achieve a rating of BREEAM 'very good' or better.

The existing building (shell) has been built to the BREEAM very good rating. It is envisaged that the extensions would also be built to this standard in order to comply with Core Strategy policy CG2. This element would be conditional upon any approval.

The proposal complies with policy.

#### Impact on ecology/biodiversity

Core Strategy policy CG1 seeks to ensure that the Council and its partners will safeguard and enhance biodiversity in the borough.

The new development proposal would be amendments to an existing development site which has limited biodiversity value. The key areas of biodiversity interest lie outside the development site, to the west and south i.e. within the existing Cutacre Country Park.

The Council's Wildlife Liaison Officer and officers from the Greater Manchester Ecology Unit have confirmed they have no objections to the proposed development.

The proposal would comply with CS policy CG1.

### **Conclusion**

The proposal to develop plot E1 is entirely consistent with both the approved outline planning permission and masterplan for the wider site in terms of the principle of industrial development, the design, siting and massing of the proposal and the environmental and transport impacts. At the time of publication of the report, further assessment is required on a number of aspects of the proposal, it is considered appropriate if and as required to delegate the decision to the Director of Place to enable these matters to be resolved.

## **Representation and Consultation Annex,**

### **Representations**

**Letters/petitions:-** two objection letters have been received to date raising concerns that as the development would be open 24 hours a noise and light pollution assessment needs to be submitted to assess the impact of the proposal on local residents. Concern is also raised that residents to the west have not been consulted.

**Officer comment:-** issues of noise and light pollution are referenced above. In terms of consultation with local residents, the closest properties have been consulted. Properties to the west, in the main settlement of Over Hulton have not been consulted formally as they are over 500 metres away from the Logistics North development and therefore not adjacent to the proposal. However, a number of site notices were erected along the adjoining public rights of way, in addition to a press notice in the Bolton News. It is considered that the level of consultation / publicity is in accordance with both the requirements as set out in the Development Management Procedure Order and also within the Council's Statement of Community Involvement.

**Elected Members:-** no comments received to date.

### **Consultations**

Advice was sought from the following consultees: Ramblers Association, Peak and Northern Footpath Society, Public Rights of Way team, Coal Authority, National Grid, Health and Safety Executive, Greenspace Management, Landscape Design and Development, Environmental health officers, Design for Security (Greater Manchester Police), Highways England.

### **Planning History**

There have been a number of planning applications which relate solely to Plot E1 including:

- Reserved matters approval for Plot E1 was granted in December 2015 (Ref: 94999/15).
- A non material amendment to the reserved matters was granted (Ref: 96117/16) in July 2016. This involved minor amendments to the elevations of the proposal and the overall site layout.

The key permissions for the wider site, including the approved Country Park are as follows:

- Ref: 90539/13 which provided for outline planning permission for phased employment development comprising of 102 ha of B8, B2 and ancillary uses.
- Ref: 90543/13 which will grant full planning permission for the construction of a Regional Distribution Centre (including ancillary office accommodation); and
- Ref: 90552/13 which will change the use of restored former Open Cast mine site to form a Country Park including remodelled landform, creation of ponds, watercourses and a mix of habitats, improved public access routes and the provision of a visitors' car park.

**Recommendation:            Delegate the decision to the Director**

### **Recommended Conditions and/or Reasons**

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason

Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990 as



amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2. Prior to the commencement of development the details (samples if required) of the type and colour of materials to be used for the external walls and roof to be agreed with the Local Planning Authority. The approved materials shall be implemented in full thereafter.

Reason

To ensure the development reflects local distinctiveness and to comply with policy CG3 of Bolton's Core Strategy.

3. Prior to the commencement of any groundworks surface water drainage works should be implemented in full in accordance with details that have been submitted to and approved in writing with the Local Planning Authority. Before these details are submitted an assessment shall be carried out of the potential for disposing of surface water by means of a sustainable drainage system in accordance with the principles set out in the National Planning Policy Framework, and the results of the assessment provided to the Local Planning Authority. Where a sustainable drainage system is to be provided, the submitted details shall:

- 1) Provide information about the design storm period and intensity, the method employed to delay and control the surface water discharged from the site and the measures taken to prevent pollution of the receiving groundwater and/or surface waters.
- 2) Include a timetable for its implementation, and
- 3) Provide a management and maintenance plan for the lifetime of the development which shall include the arrangements for adoption by any public authority or statutory undertaker and any other arrangements to secure the operation of the scheme throughout its lifetime

Reason

To ensure the site provides satisfactory means of surface water drainage and to comply with policies CG1.5 and CG2.2 of Bolton's Core Strategy.

4. Prior to the commencement of development a Construction Method Statement and Air Quality Management Plan shall be submitted to, and approved in writing by, the Local Planning Authority. The approved Statement shall be adhered to throughout the construction period.

The Statement shall provide for:

- i. The parking of vehicles of site operatives and visitors;
- ii. Loading and unloading of plant and materials;
- iii. Storage of plant and materials used in constructing the development;
- iv. The erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate;
- v. Wheel washing facilities;
- vi. Measures to control the emission of dust and dirt during construction;
- vii. A scheme for recycling/disposing of waste resulting from demolition and construction works.

Reason

To ensure the safe development of the site and preserve the local amenity.

5. Prior to commencement of development a site investigation and risk assessment shall be submitted to and approved in writing by the Local Planning Authority, to assess the nature and extent of any contamination on the site. The investigation and risk assessment must be undertaken in accordance with Model Procedures for the Management of Land Contamination (CLR 11) and a written report of the findings must be produced. The written report shall include:
  - (i) a survey of the extent, scale and nature of contamination;
  - (ii) an assessment of the potential risks to human health, property or the environment;
  - (iii) an appraisal of remedial options and proposal for a preferred option. This should include details of testing methodology for any soil or soil forming materials to be brought onto site.

Prior to first use/occupation of the development hereby approved:

(iv) A Verification Report shall be submitted to, and approved in writing by, the Local Planning Authority. The Verification Report shall validate that all remedial works undertaken on site were completed in accordance with those agreed by the LPA.

Reason

To safeguard the amenity of the future occupants of the development and to comply with Core Strategy policy CG4.

7. Trees and shrubs shall be planted on the site in accordance with a landscape scheme to be submitted and approved in writing by the Local Planning Authority prior to the development being first brought into use. The approved scheme shall be implemented in full and carried out within 6 months of the occupation of any of the buildings or the completion of the development, whichever is the sooner, or in accordance with phasing details included as part of the scheme and subsequently approved by the Local Planning Authority. Any trees and shrubs that die or are removed within five years of planting shall be replaced in the next available planting season with others of similar size and species.

Reason

To reflect and soften the setting of the development within the landscape.

8. Within 4 months of the commencement of development full details of the proposed sprinkler tanks and pump house shall be submitted to and approved in writing by the Local Planning Authority. The approved details shall be implemented in full prior to first use of the development hereby approved.

Reason

To safeguard the visual appearance and character and appearance of the area.

9. Any building/fixed plant/equipment within the site should be designed to give a rating level, as defined in BS4142:1997, of 5dB below LAF90 39dB as measured at 4 metres from the closest elevation of the nearest noise sensitive premises to the plot proposed for development. The monitoring information and the acoustic calculations together with the proposed specifications of the building/fixed plant/equipment and any sound attenuation proposed should be submitted to and approved by the Local Planning Authority in writing prior to the occupation of the buildings / extensions to which this permission relates.

Reason

To minimise the impact of noise on the general and residential amenity from the increase and alteration of commercial and/or industrial uses in the area.

10. Prior to the first use of the car park and extensions hereby approved a lighting scheme shall be submitted to and approved in writing by the Local Planning Authority which ensures that the proposed lighting has been designed so as not to cause light pollution in adjacent habitats and/or landscaped areas including planted trees and other green infrastructure and also that the illumination of the lighting permitted by this consent shall be no greater than 5 LUX at the closest elevation with any residential property.

Reason

To safeguard the amenity of nearby dwellings and to ensure protection of protected species and their habitat in and adjacent to the application site.

11. Prior to occupation of the approved development, an Employment and Skills Statement for the

occupier of the approved development should be submitted to the Local Planning Authority for approval and once approved shall be implemented in full in accordance with an agreed timetable.

Reason

To ensure that local employment benefits are addressed and secured.

12. Within 3 months of the commencement of development, a scheme which assesses the proposed BREEAM rating of the buildings hereby approved shall be submitted to and approved in writing by the Local Planning Authority. Such a scheme shall achieve a BREEAM (Industrial) Very Good standard (or such national measure of sustainability for industrial design that replaces that scheme). Within 6 months of the occupation of each building a Final BREEAM Certificate has been issued for it certifying that the approved scheme/standard has been achieved and such Certificate shall be submitted to and approved by the Local Planning Authority.

Reason:

To reduce the impact on climate change and to improve the sustainability of the site.

13. Before the approved development is first brought into use the arrangements for HGV access, waiting and parking (including covered cycle parking) shall be laid out within the curtilage of the site in accordance with the submitted plans reference PO2 Rev. A and PO3 Rev. A and retained thereafter.

Reason

To ensure that adequate provision is made for vehicles to be left clear of the access road and that no obstruction is caused to the access road.

14. Notwithstanding the provisions of Parts 24 and 25 of the Town and country Planning (General Permitted Development ) Order 1995 (as amended or re-enacted) no external telecommunications equipment or structures shall be placed on the roof or any other part of the building without the prior written consent of the Local Planning Authority.

Reason

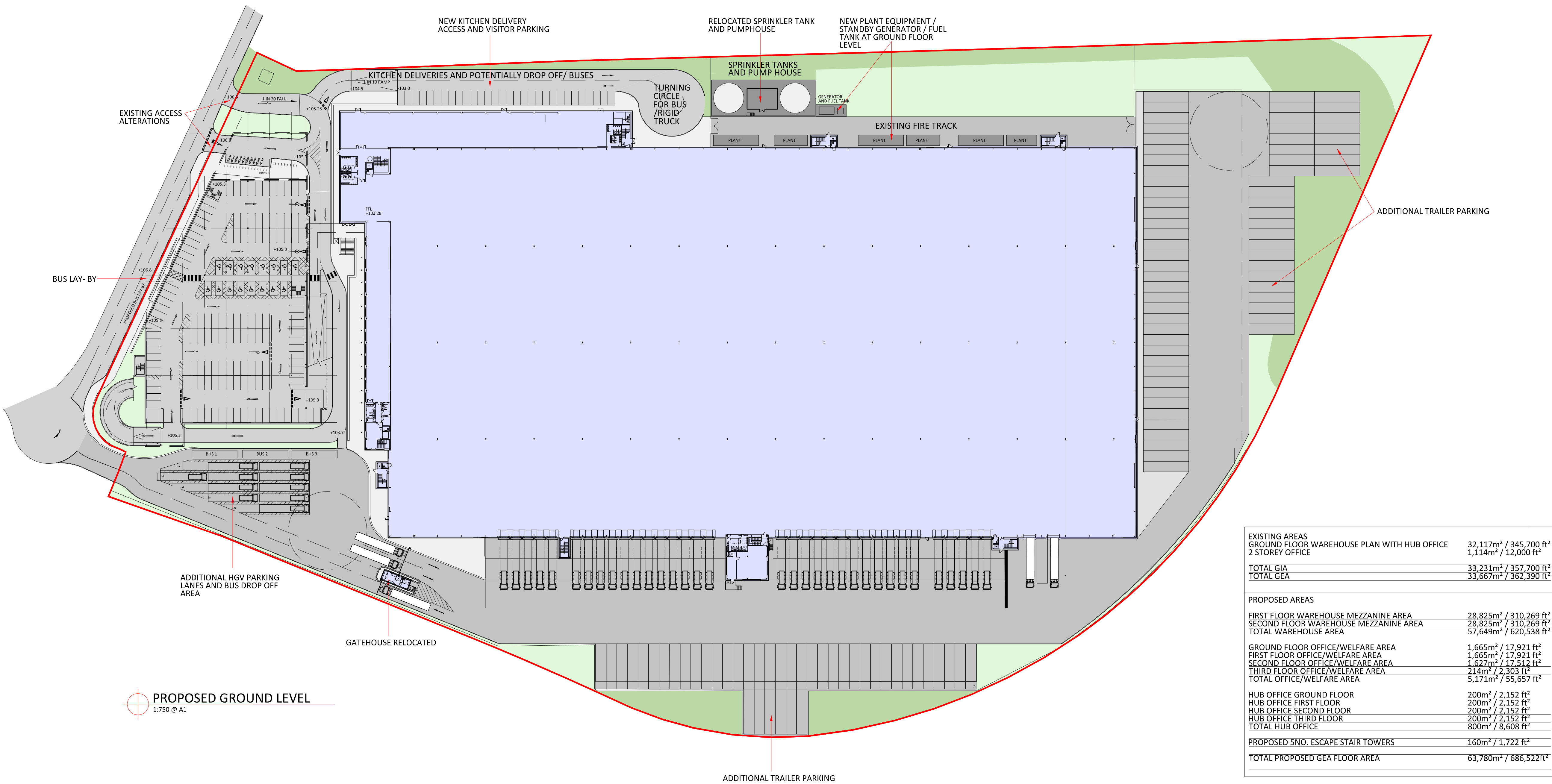
In the interest of the appearance and design of the building and the visual amenity of the area.

15. The development hereby permitted shall be carried out in complete accordance with the following approved plans:

**PO2 Rev. A - Proposed Site Layout dated 20/10/16;  
PO3 Rev. A - Proposed Car Park Layout, dated 21/10/16;  
PO4 - Proposed Gatehouse Details, dated 19/10/16;  
PO5 Rev. A - Proposed Site Sections, dated 19/10/16;  
PO6 - Proposed Landscaping, dated 20/10/16;  
PO8 - Proposed Ground Floor Plan, dated 20/10/16;  
PO9 - Proposed Plans, dated 14/10/16;  
P11 - Proposed Office Layout Plans, dated 07/10/16;  
P12 - Proposed Hub Office Plans, dated 07/10/16;  
P14 Rev. A - Proposed Elevations, dated 20/10/16;  
P15 Rev. A - Proposed Roof Plan, dated 20/10/16;  
Plot E1 - Tennant Travel Plan, dated October 2016.**

Reason

For the avoidance of doubt and in the interests of proper planning.



EXISTING AREAS	
GROUND FLOOR WAREHOUSE PLAN WITH HUB OFFICE	32,117m <sup>2</sup> / 345,700 ft <sup>2</sup>
2 STOREY OFFICE	1,114m <sup>2</sup> / 12,000 ft <sup>2</sup>
TOTAL GIA	33,231m <sup>2</sup> / 357,700 ft <sup>2</sup>
TOTAL GEA	33,667m <sup>2</sup> / 362,390 ft <sup>2</sup>
PROPOSED AREAS	
FIRST FLOOR WAREHOUSE MEZZANINE AREA	28,825m <sup>2</sup> / 310,269 ft <sup>2</sup>
SECOND FLOOR WAREHOUSE MEZZANINE AREA	28,825m <sup>2</sup> / 310,269 ft <sup>2</sup>
TOTAL WAREHOUSE AREA	57,649m <sup>2</sup> / 620,538 ft <sup>2</sup>
GROUND FLOOR OFFICE/WELFARE AREA	1,665m <sup>2</sup> / 17,921 ft <sup>2</sup>
FIRST FLOOR OFFICE/WELFARE AREA	1,665m <sup>2</sup> / 17,921 ft <sup>2</sup>
SECOND FLOOR OFFICE/WELFARE AREA	1,627m <sup>2</sup> / 17,512 ft <sup>2</sup>
THIRD FLOOR OFFICE/WELFARE AREA	214m <sup>2</sup> / 2,303 ft <sup>2</sup>
TOTAL OFFICE/WELFARE AREA	5,171m <sup>2</sup> / 55,657 ft <sup>2</sup>
HUB OFFICE GROUND FLOOR	200m <sup>2</sup> / 2,152 ft <sup>2</sup>
HUB OFFICE FIRST FLOOR	200m <sup>2</sup> / 2,152 ft <sup>2</sup>
HUB OFFICE SECOND FLOOR	200m <sup>2</sup> / 2,152 ft <sup>2</sup>
HUB OFFICE THIRD FLOOR	200m <sup>2</sup> / 2,152 ft <sup>2</sup>
TOTAL HUB OFFICE	800m <sup>2</sup> / 8,608 ft <sup>2</sup>
PROPOSED SNO. ESCAPE STAIR TOWERS	160m <sup>2</sup> / 1,722 ft <sup>2</sup>
TOTAL PROPOSED GEA FLOOR AREA	63,780m <sup>2</sup> / 686,522ft <sup>2</sup>

PARKING SCHEDULE	
GROUND LEVEL CAR PARKING (INCLUDING 16 DISABLED BAYS & 30 VISITOR SPACES)	153
1ST FLOOR CAR PARKING	140
2ND FLOOR CAR PARKING	154
3RD FLOOR CAR PARKING	154
4TH FLOOR CAR PARKING	163
TOTAL CAR PARKING	794
HGV QUEUING BEFORE GATEHOUSE	10
HGV TRAILER PARKING	109

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  4. This drawing is to be read in conjunction with all the relevant Engineers', Services Engineers, Manufacturers & Architects drawings and specifications.

REVISIONS			
REV	DATE	BY	DESCRIPTION
A	21.10.16	RR	CAR PARK FFL LEVEL ADJUSTED, GF ENTRANCE RELOCATED, CAR PARK NUMBERS ADJUSTED.

CLIENT

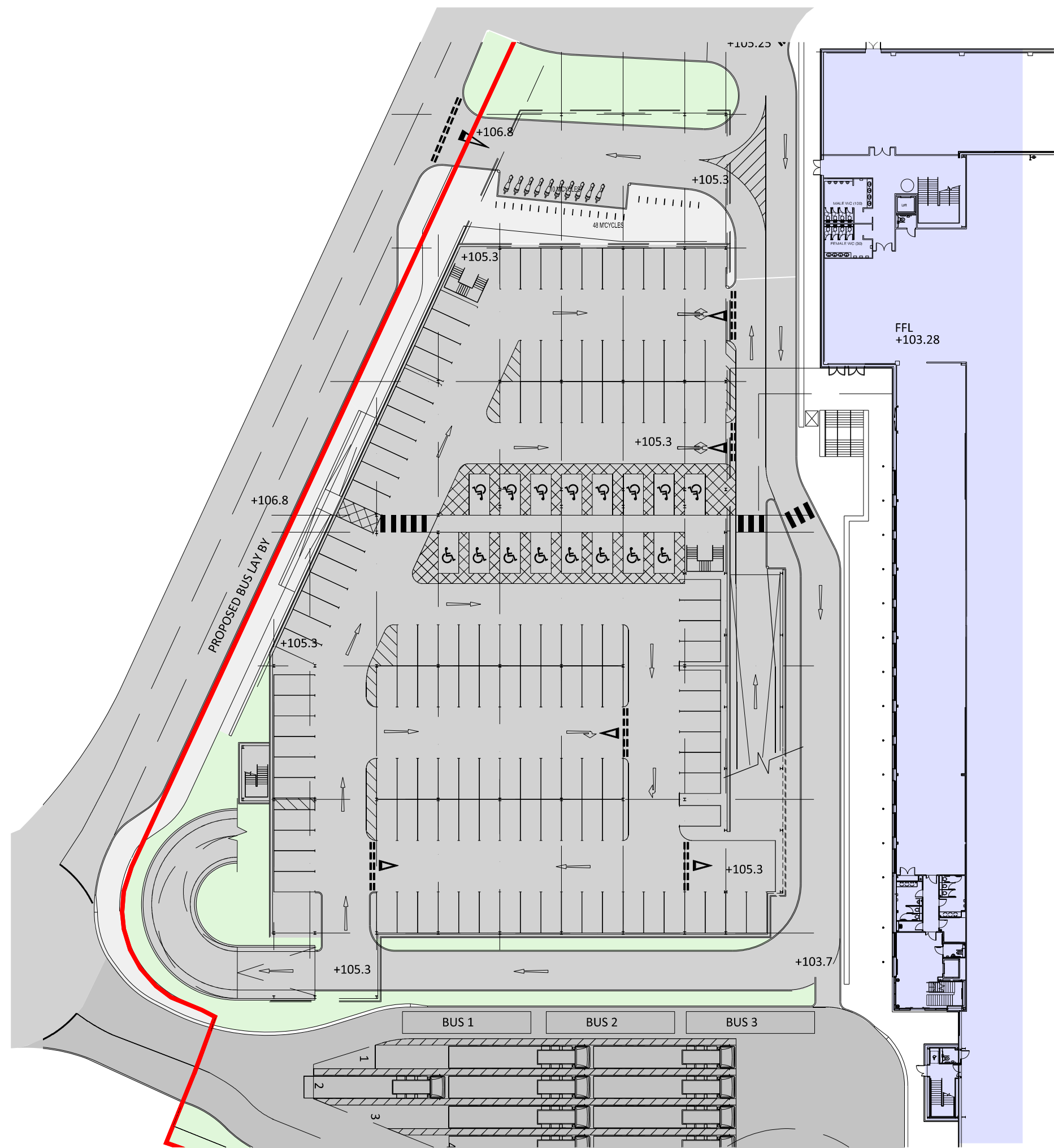
PROJECT TITLE  
**PROPOSED OFFICE & MULTI STOREY CAR PARK EXTENSION AT PLOT E1, LOGISTICS NORTH, BOLTON.**

DRAWING TITLE  
**PROPOSED SITE LAYOUT**

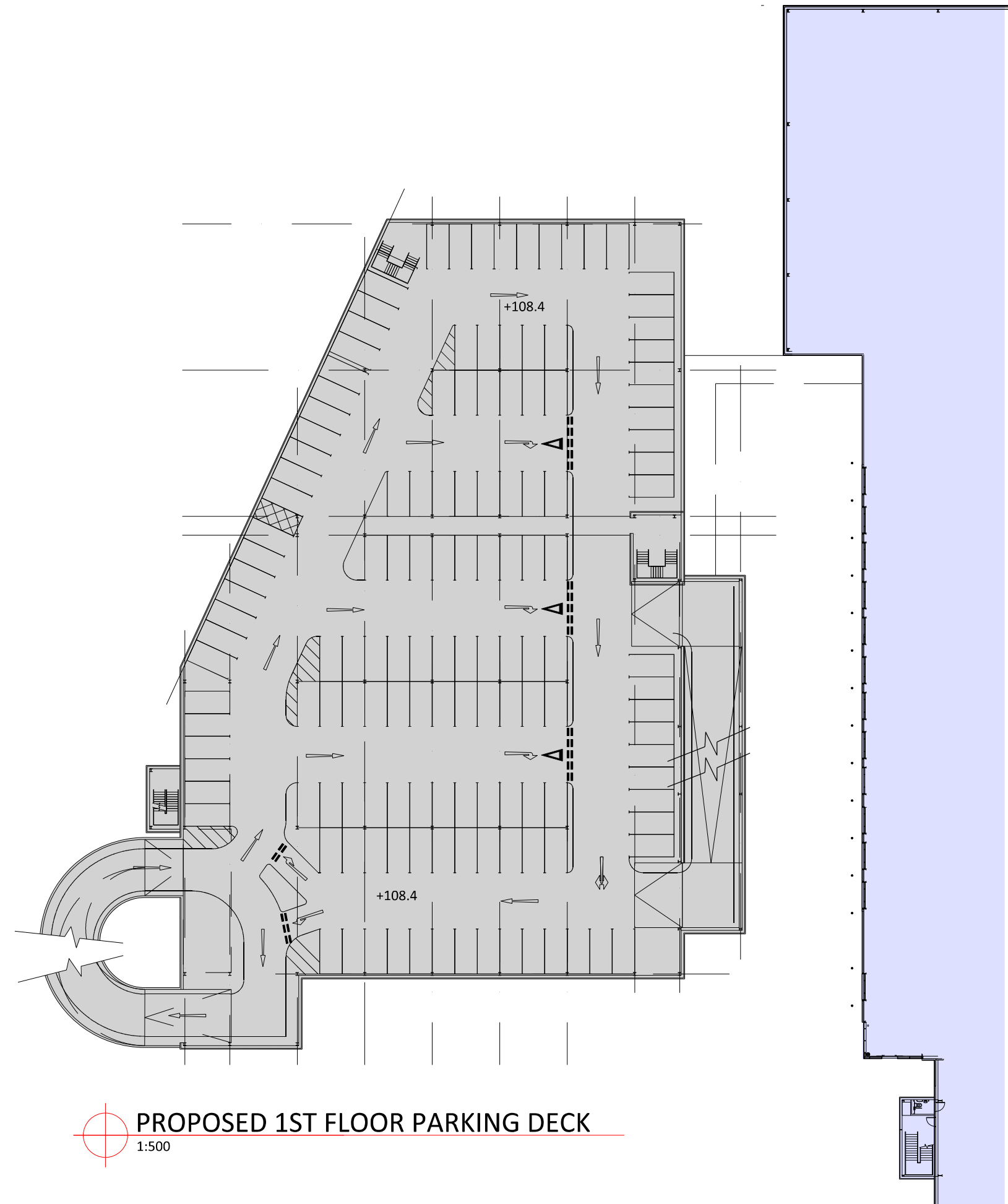
Maple House, Woodlands Business Park,  
Linford Wood West, Milton Keynes, MK14 6FG.  
Tel: +44(0)1908 049 720 Email: info@momentumpl.com

DRAWN BY <b>G.C.</b>	DATE <b>20.10.16</b>
CHECKED	DATE
APPROVED	DATE
SCALE <b>1:750</b>	SHEET <b>A1</b>
STATUS <b>PLANNING</b>	
JOB NO. <b>166-071</b>	DRAWING NUMBER <b>P02</b>
REVISION <b>A</b>	

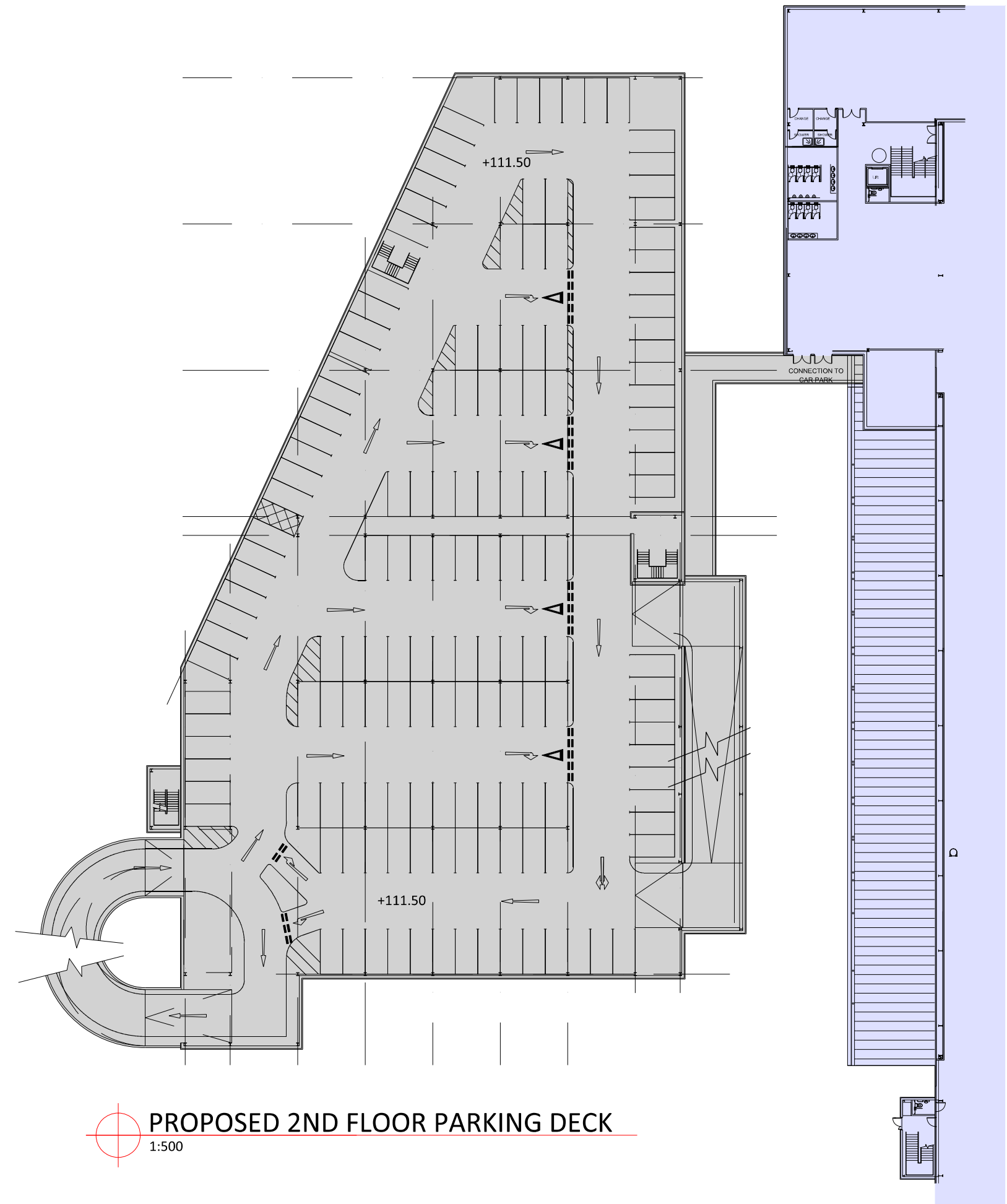




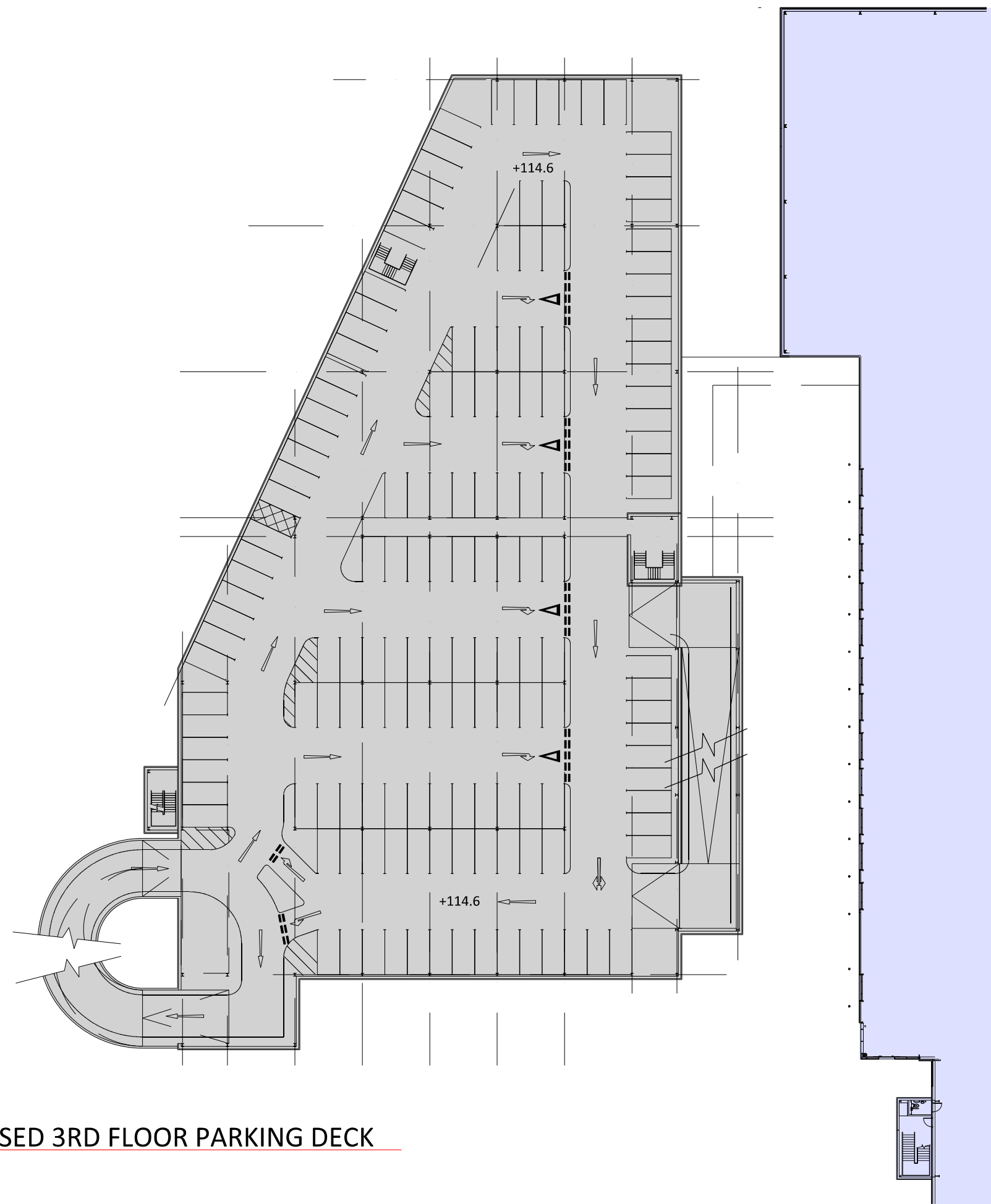
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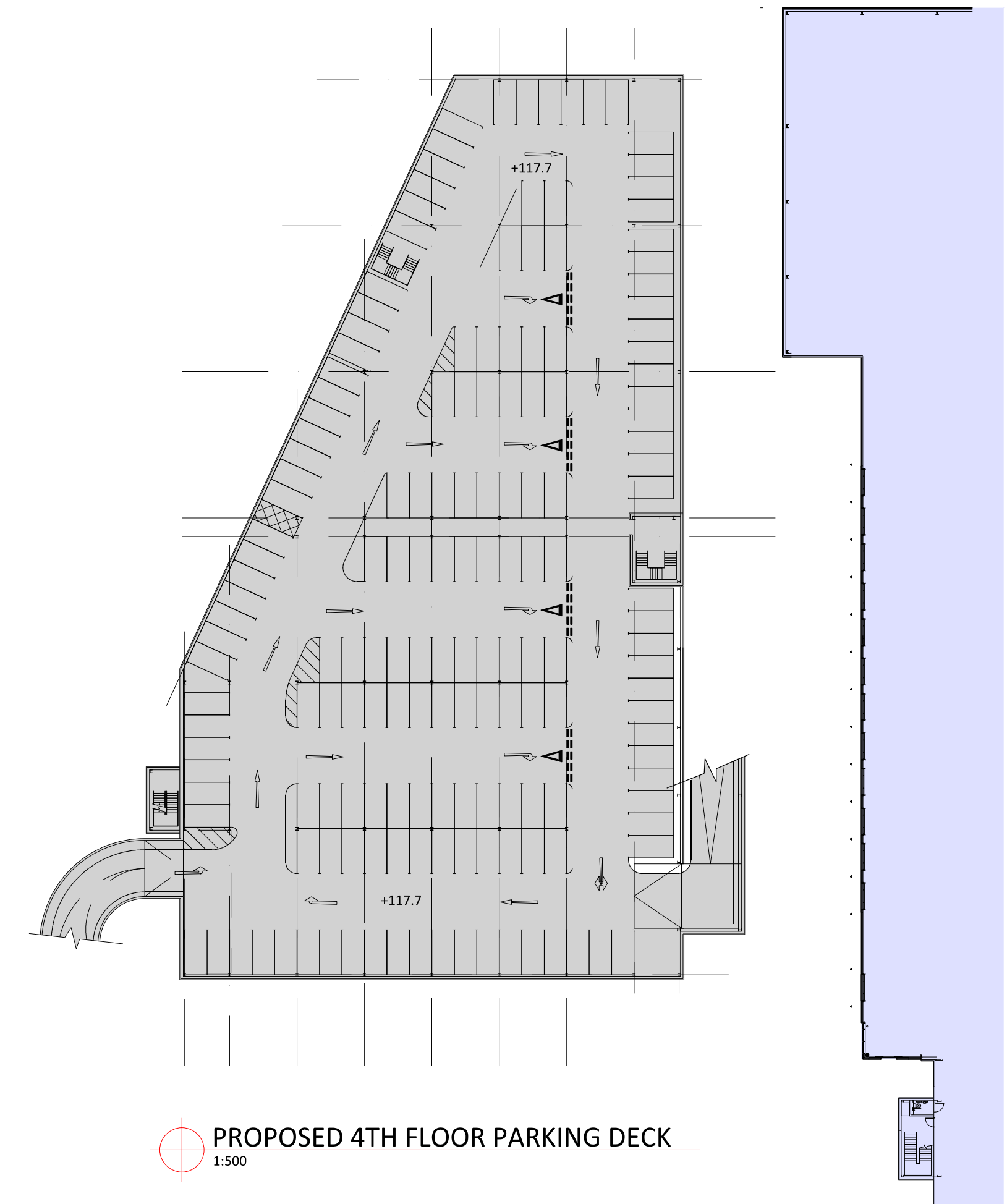
PROPOSED 1ST FLOOR PARKING DECK  
1:500



PROPOSED 2ND FLOOR PARKING DECK  
1:500



PROPOSED 3RD FLOOR PARKING DECK  
1:500



PROPOSED 4TH FLOOR PARKING DECK  
1:500

PARKING SCHEDULE	
GROUND LEVEL CAR PARKING (INCLUDING 16 DISABLED BAYS & 30 VISITOR SPACES)	153
1ST FLOOR CAR PARKING	140
2ND FLOOR CAR PARKING	154
3RD FLOOR CAR PARKING	154
4TH FLOOR CAR PARKING	163
TOTAL CAR PARKING	794

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REV	DATE	BY	DESCRIPTION
A	21.10.16	RR	GF CAR PARK ENTRANCE ADJUSTED.

CLIENT

PROJECT TITLE  
**PROPOSED OFFICE & MULTI  
STOREY CAR PARK EXTENSION AT  
PLOT E1, LOGISTICS NORTH,  
BOLTON.**

DRAWING TITLE

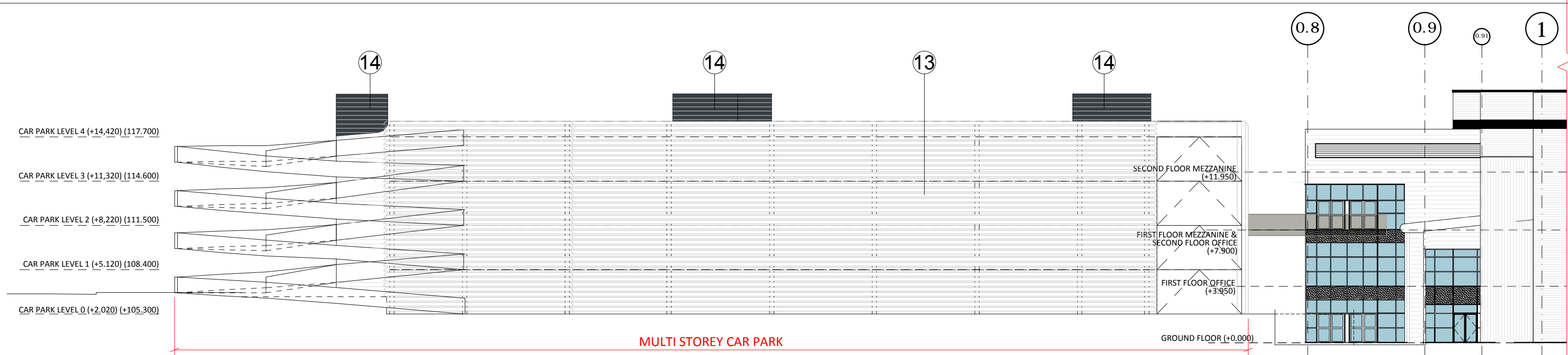
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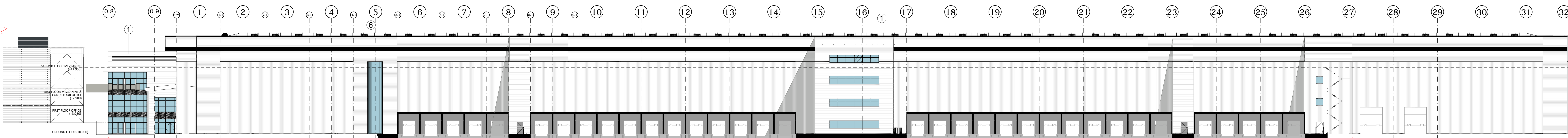
Maple House, Woodlands Business Park,  
Linford Wood West, Milton Keynes, MK14 6FG.  
Tel: +44(0)1908 049 720 Email: info@momentumpl.com

DRAWN BY <b>GC</b>	DATE <b>20.10.16</b>
CHECKED	DATE
APPROVED	DATE
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JOB NO. <b>166-071</b>	DRAWING NUMBER <b>P03</b>
REVISION <b>A</b>	

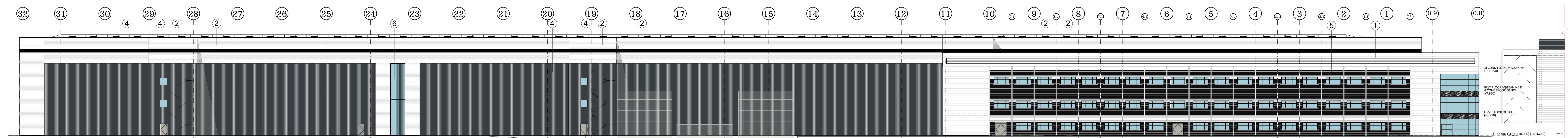




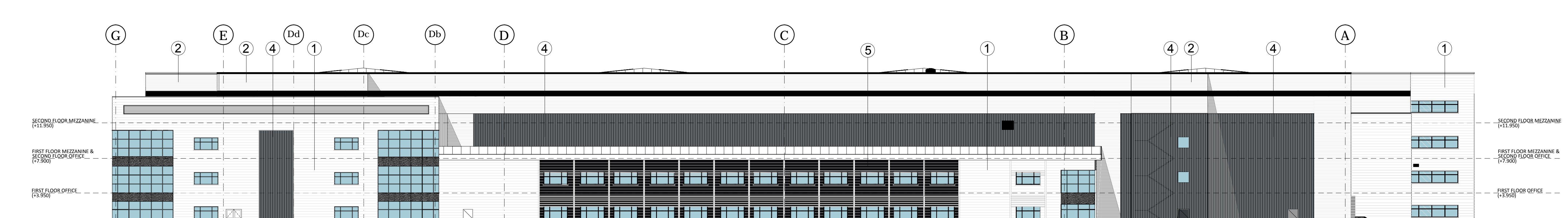
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SCALE 1:250



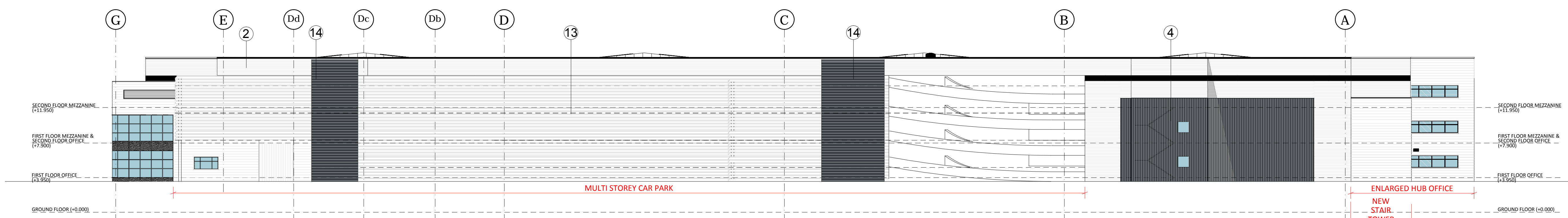
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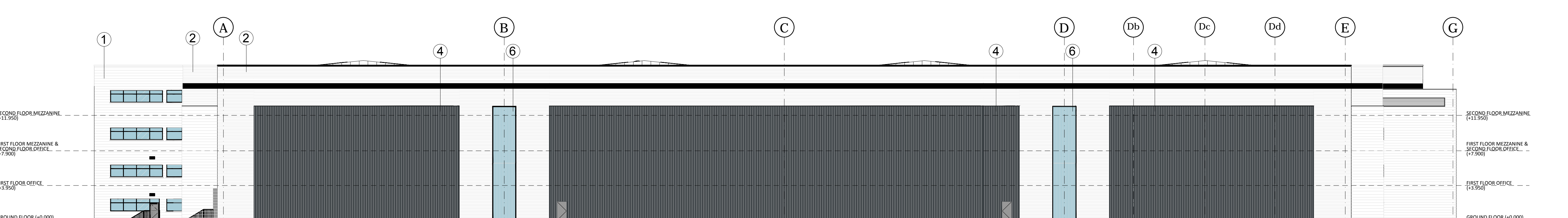
EAST ELEVATION  
SCALE 1:250



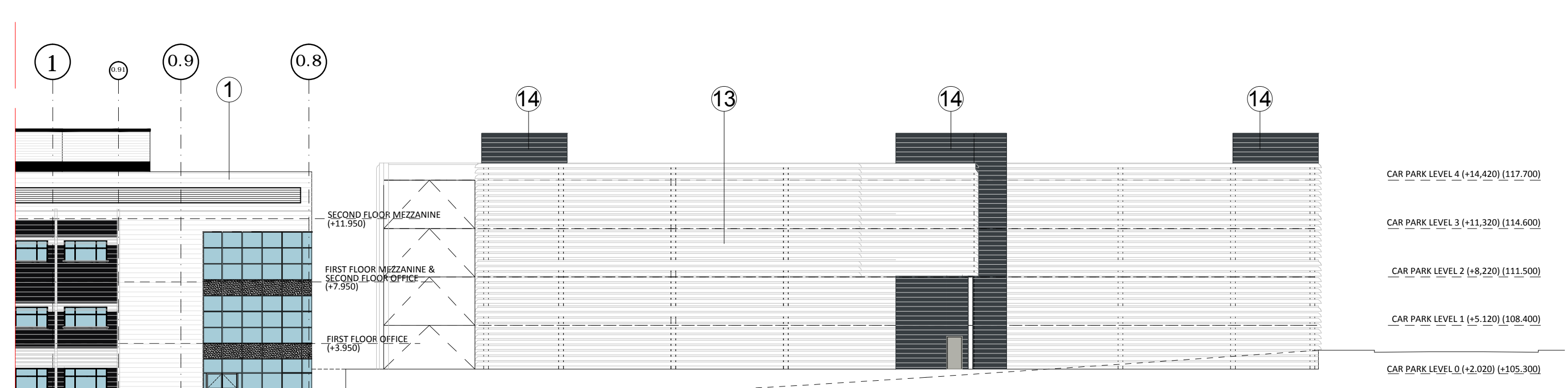
NORTH ELEVATION  
SCALE 1:250



NORTH ELEVATION - CAR PARK  
SCALE 1:250



SOUTH ELEVATION  
SCALE 1:250



EAST ELEVATION - CAR PARK  
SCALE 1:250

- Built up cladding laid horizontally CA MR300  
Colour: RAL 9003 WHITE
- Built up cladding laid horizontally CA 32  
Colour: RAL 9003 WHITE
- Feature band  
Colour: RAL 9005 BLACK
- Low Level Built up cladding laid vertically CA 32  
Colour: RAL 7016 ANTHRACITE GREY
- Offices Mid Level Built up cladding laid horizontally CA MR300  
Colour: RAL 9005 BLACK
- Warehouse glazing: Thermalight CS translucent glazing  
Colour: RAL 7016 ANTHRACITE GREY
- Roof Flashing  
Colour: RAL 7016 ANTHRACITE GREY
- Roof  
Colour: RAL 7016 Anthracite
- Roof  
Colour: RAL 7038 GOOSEWING GREY
- Bullnose, Verge, Flashings  
Colour: RAL 9003 WHITE
- Ventilation Louvers  
Colour: RAL 9003 WHITE
- Brise Soleil  
Colour: RAL 9003 WHITE
- Louvre  
Colour: RAL 7035
- Car Park Composite cladding  
Colour: RAL 7016

- White (RAL 9003)
- Black (RAL 9005)
- Anthracite (RAL 7016)
- Goosewing grey (RAL 7038)

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REV	DATE	BY	DESCRIPTION
A	21.10.16	RR	CAR PARK LEVELS AMENDED.
REVISIONS			
CLIENT			

PROJECT TITLE  
PROPOSED OFFICE & MULTI  
STOREY CAR PARK EXTENSION AT  
PLOT E1, LOGISTICS NORTH,  
BOLTON.

DRAWING TITLE  
PROPOSED ELEVATIONS

Momentum  
Projects Limited  
Maple House, Woodlands Business Park,  
Lindford Wood West, Wilton Keynes, MK14 6FG.  
Tel: +44(0)1908 049 720 Email: info@momentumpl.com

DRAWN BY	RR	DATE	20.10.16
CHECKED	GC	DATE	20.10.16
APPROVED		DATE	
SCALE	1:250	SHEET	A0
STATUS	PLANNING		
JOB NO.	166-067	DRAWING NUMBER	P14
		REVISION	A

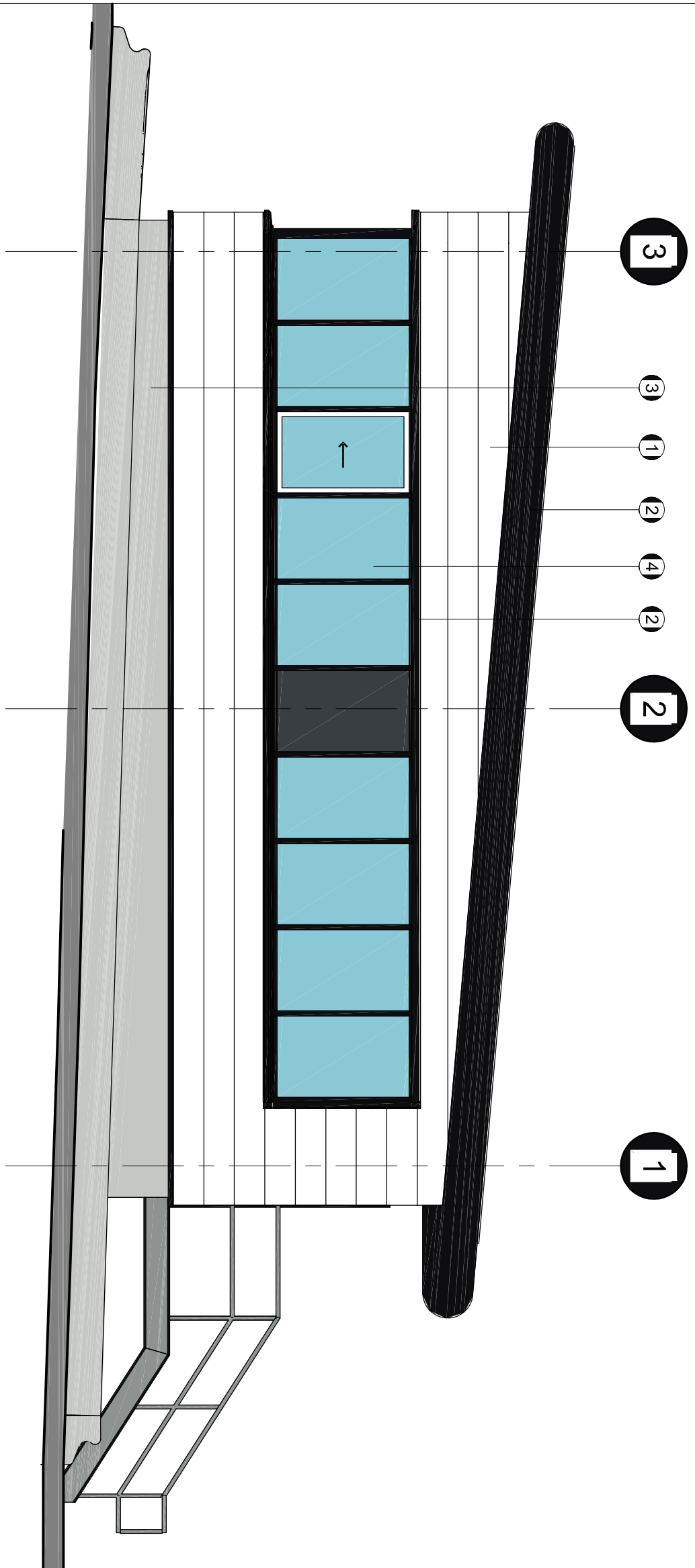


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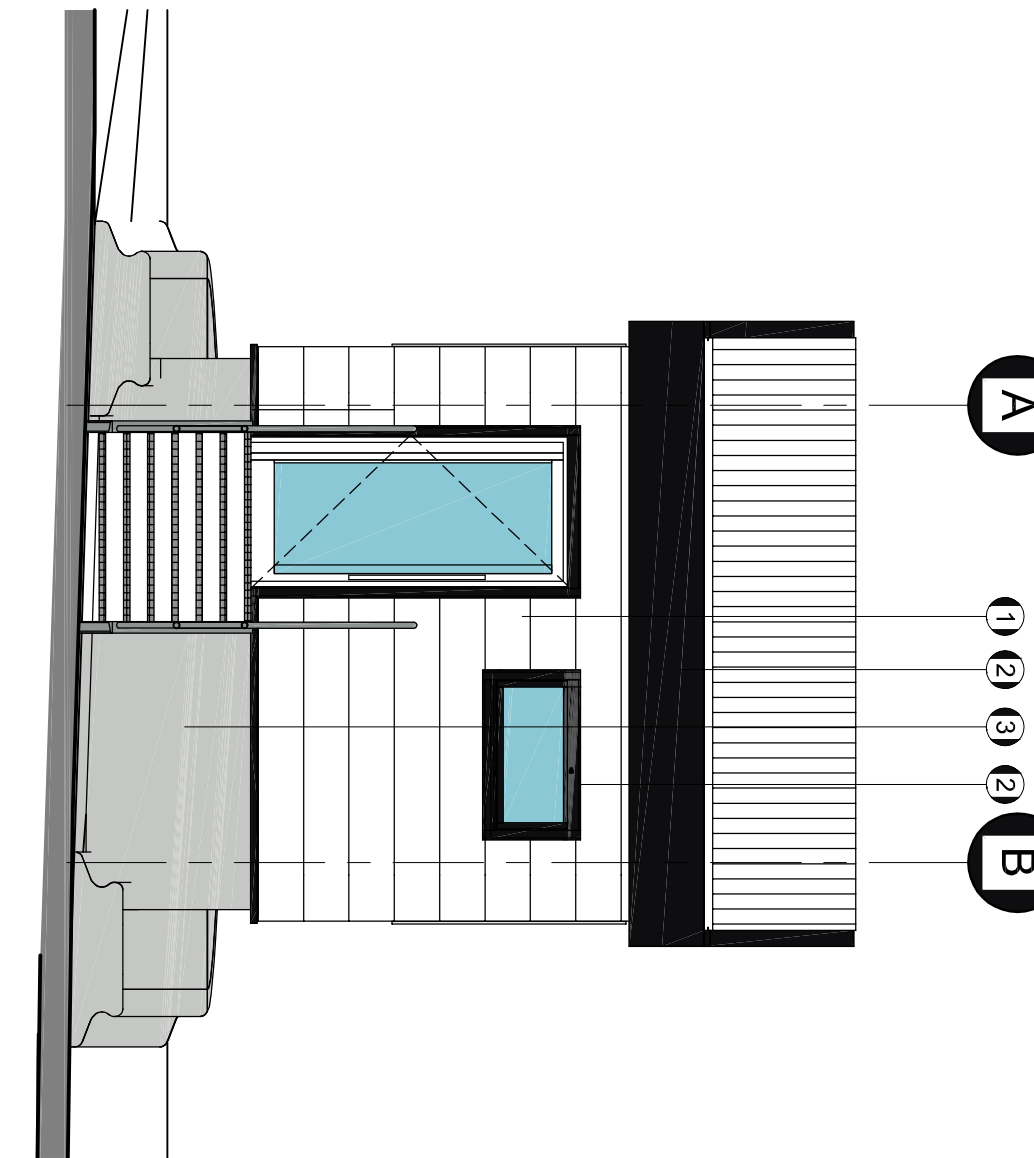
General

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4. This drawing is to be read in conjunction with all the relevant Engineers' Services Engineers, Manufacturers & Architects drawings and specifications.

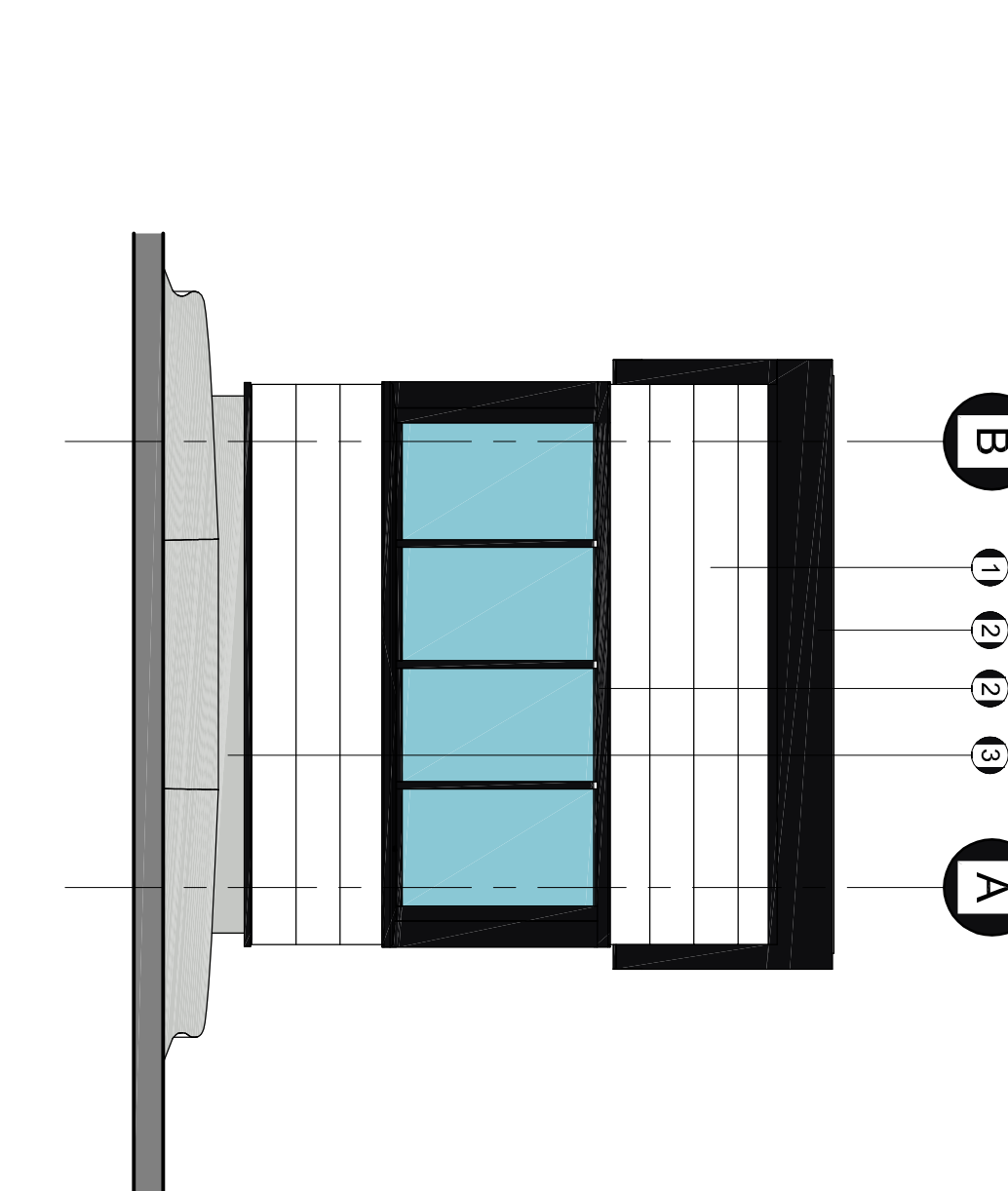
- |  |                           |
|--|---------------------------|
| 1. Built up cladding laid horizontally       | White (RAL 9003)          |
| 2. Flashing                                  | Black (RAL 9005)          |
| 3. Concrete Ferestation, Frame PFC Aluminium | Anthratic Grey (RAL 7016) |
| Colour: Anthracite Grey                      |                           |



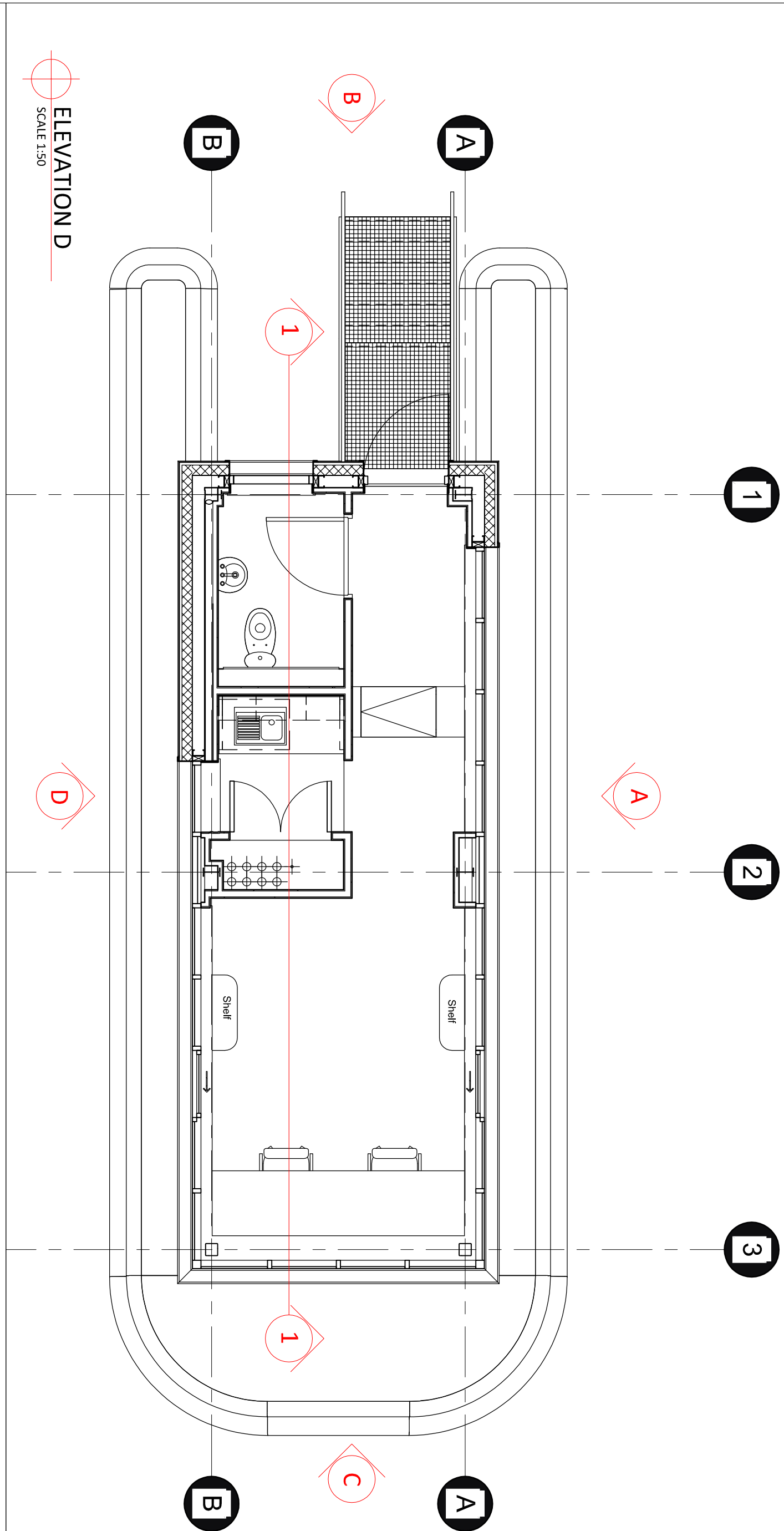
ELEVATION A  
SCALE 1:50



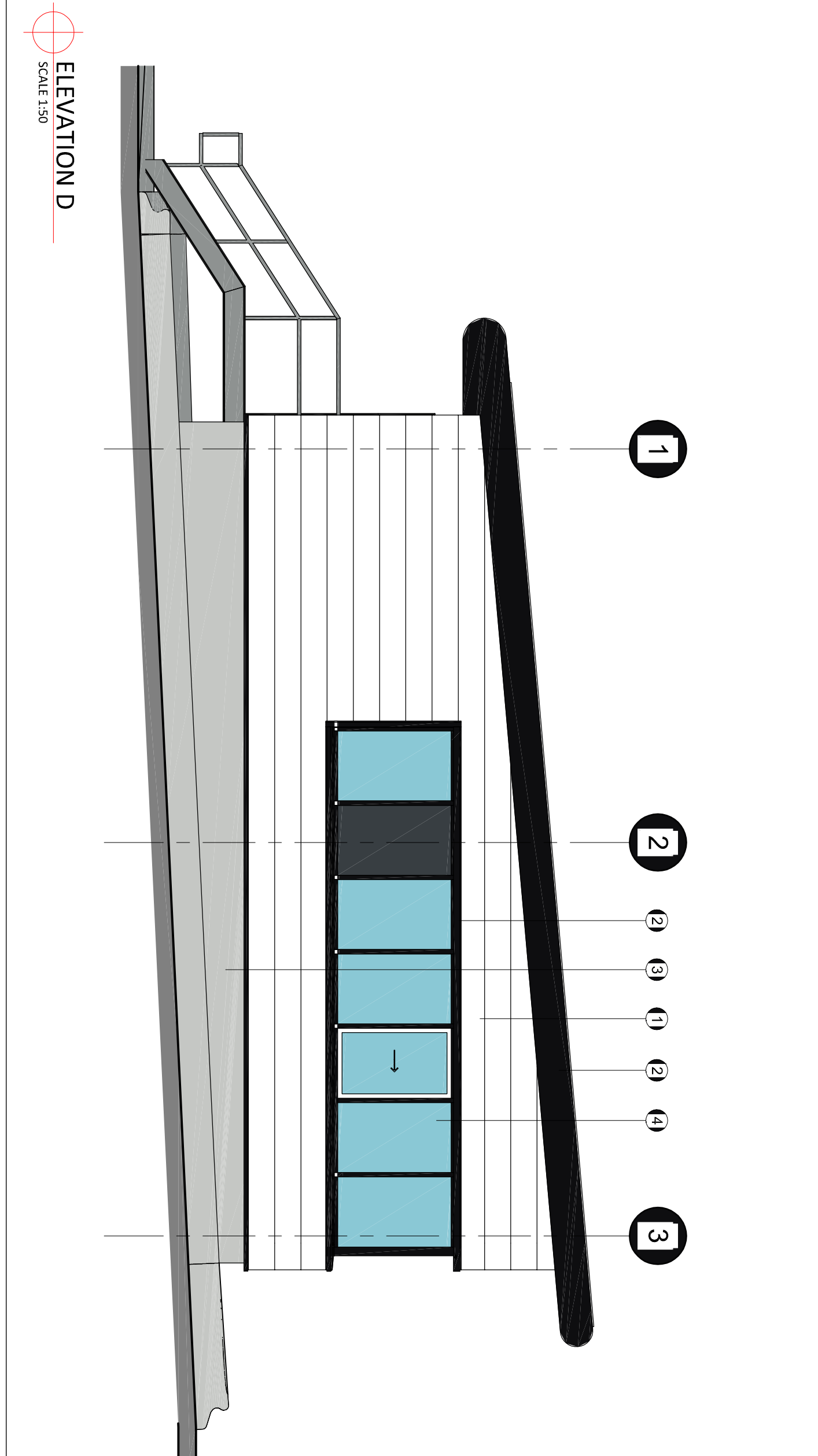
ELEVATION B  
SCALE 1:50



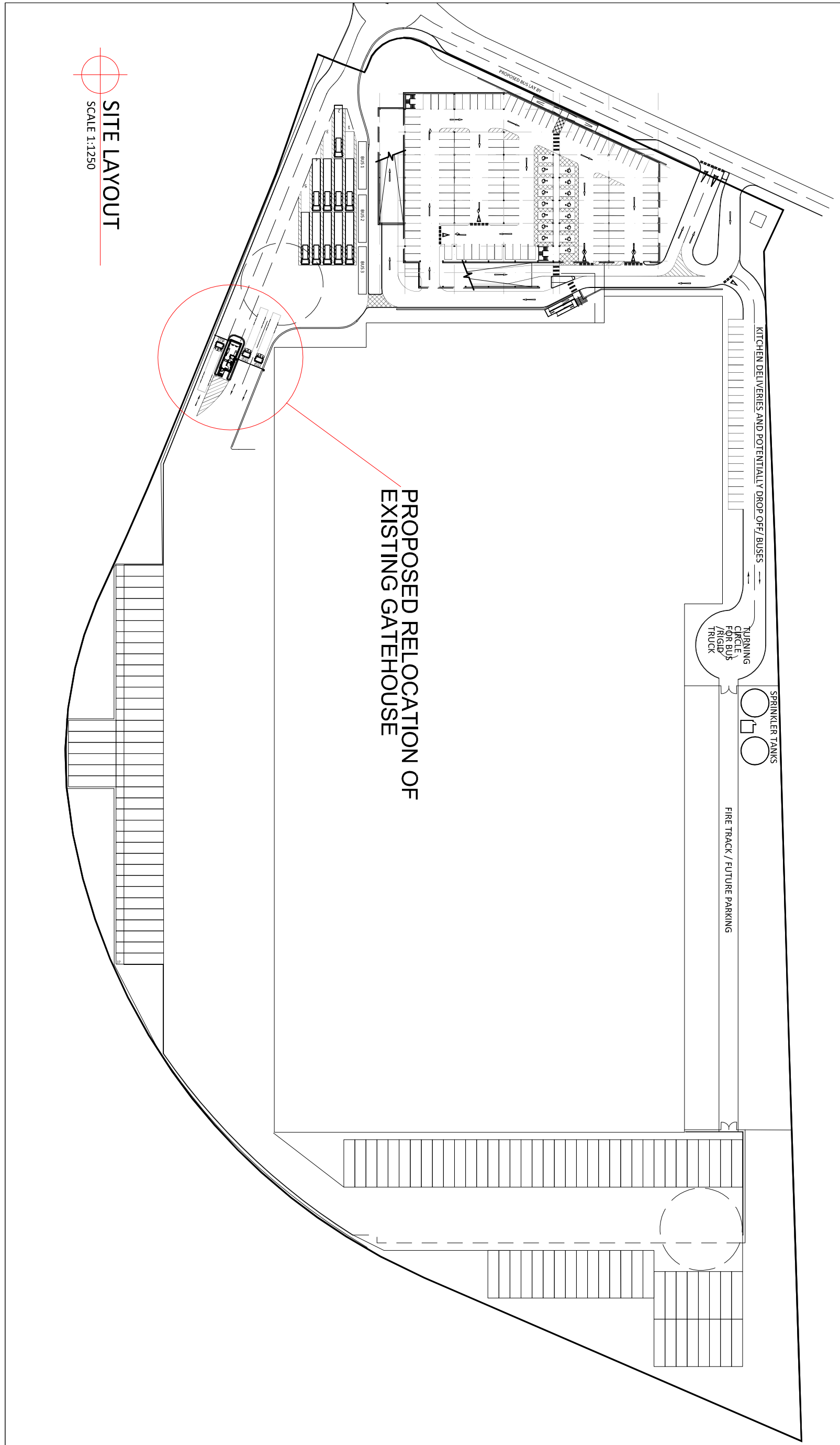
ELEVATION C  
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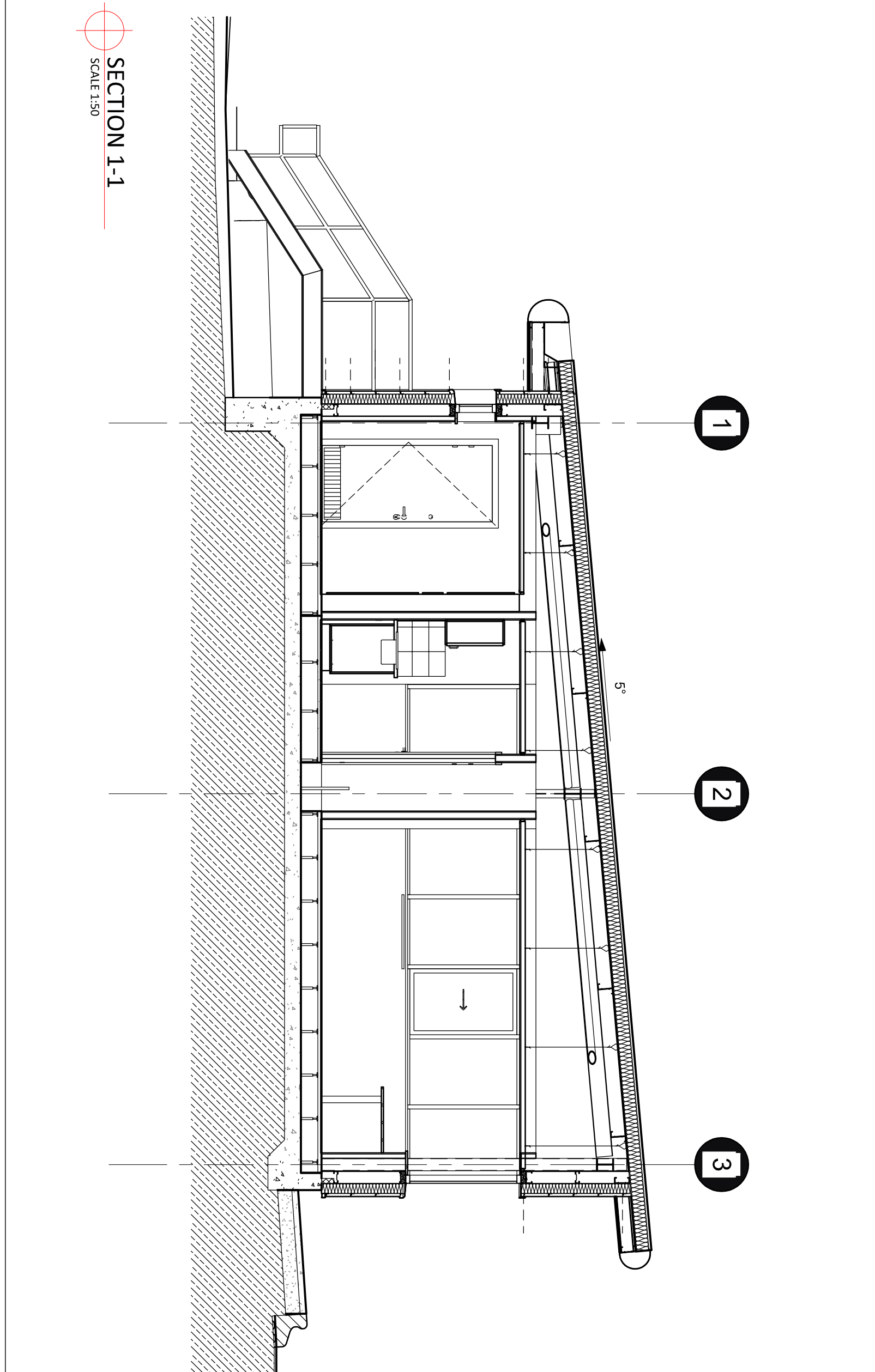
ELEVATION D  
SCALE 1:50



ELEVATION E  
SCALE 1:50



SITE LAYOUT  
SCALE 1:250



SECTION 1-1  
SCALE 1:50

PROJECT TITLE  
**PROPOSED OFFICE & MULTI  
STOREY CAR PARK  
EXTENSION AT PLOT E1,  
LOGISTICS NORTH, BOLTON.**

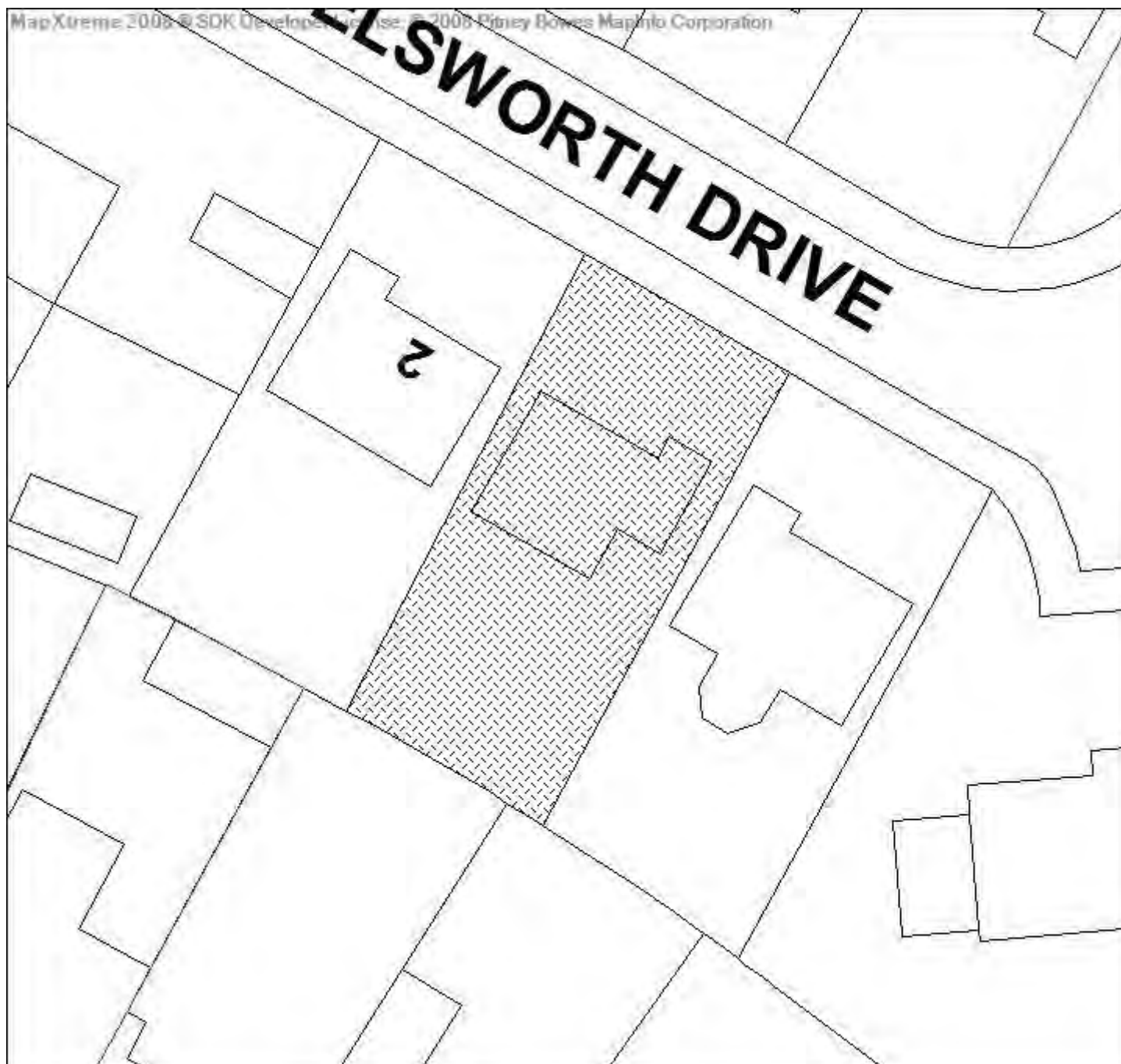
DRAWING TITLE

**PROPOSED GATEHOUSE DETAILS**

**Momentum**  
Projects Limited  
Maple House, Woodlands Business Park,  
Linton Wood West, Milton Keynes, MK14 6FG.  
Tel: +44(0)1908 049 720 Email: info@momentumpj.com

DRAWN BY	AT	DATE	19.10.16
CHECKED	RR	DATE	19.10.16
APPROVED		DATE	
SCALE	1:50	SHEET	A1
STATUS	PLANNING		
JOB NO.	166-071	DRAWING NUMBER	P04
		REVISION	

**Application number**  
**97788/16**



**Development & Regeneration Dept**  
**Development Management Section**

Town Hall, Bolton, Lancashire, BL1 1RU  
Telephone (01204) 333 333

**Bolton**  
**Council**

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**Date of Meeting: 24/11/2016**

**Application Reference: 97788/16**

**Type of Application: Non-Material Change to Existing Appn**  
**Registration Date: 31/10/2016**  
**Decision Due By: 27/11/2016**  
**Responsible Officer: Lauren Kaye**

**Location: 4 ELSWORTH DRIVE, BOLTON, BL1 8TE**

**Proposal:** NON MATERIAL AMENDMENT TO APPLICATION 94934/15 ALTERATIONS TO FRONT WINDOW, REPLACEMENT OF BRICK COLUMN WITH A PILLAR COLUMN ON FRONT ELEVATION. WIDENING OF KITCHEN WINDOW. REMOVAL OF WINDOW IN DAY ROOM AND REPLACEMENT OF DOOR WITH FRENCH DOORS. LENGTHENING OF DAY ROOM AND INSTALLATION OF SEPARATE W.C.

**Ward: Astley Bridge**

**Applicant: Ms ISMAIL**  
**Agent : RA Design & Project Management Ltd**

## **Officers Report**

**Recommendation: Approve subject to conditions**

### **Proposal**

Permission was granted under application 94934/15 for the erection of two storey extension at side and rear to this detached dwelling. A non-material amendment is now sought to planning approval 94934/15 for the following alterations:

- front window (where garage is) has been lengthened to reflect the length of the bay window.
- front elevation is held up by a brick column that will be replaced with a pillar column.
- the kitchen window (facing no. 2 Elsworth Drive) has been widened from 1200mm to 1500mm.
- window in the day room has been removed (facing no. 6 Elsworth Drive) and the door in the rear elevation has been replaced with a french door to provide wheelchair access.
- alteration to internal layout of lounge and kitchen to provide a larger day room.
- a separate toilet has been added to downstairs layout.
- changes to first floor layout.

This application is presented to members as the applicant is an Elected Member.

### **Site Characteristics**

This is a detached property situated within a cul-de-sac location containing similar sized/type dwellings, some of which have been extended at first floor level to the side.

The property at number 2 has a main room lounge/dining room window at ground floor and a main

bedroom window at first floor within its rear elevation closest to the application property.

The property at number 6 has a kitchen window, a modest sized conservatory off the dining room and a wet room and bathroom window at first floor. This property has a first floor side extension which is set back from the front.

To the rear are properties sited on Crompton Way. The properties are currently in excess of 26 metres away.

### **Legislation**

Section 96A of the Town and Country Planning Act 1990

### **Analysis**

Section 96A of the Town and Country Planning Act 1990 states that a local planning authority may make a change to any planning permission if they are satisfied that the change is not material. In deciding whether a change is material, a local planning authority must have regard to the effect of the change, together with any previous changes made under this section, on the planning permission as originally granted.

As a non-material amendment application the judgement has to be whether the changes are material to the extent that a separate planning application ought to be submitted as a result of the scale of the development and the potential impact on neighbouring properties.

In this case the proposal involves the removal of the window (in the side elevation facing no. 6 Elsworth Drive) and replacing the standard door with french doors serving the day room and providing wheelchair access. Also, the window serving the kitchen (in the side elevation facing no. 2 Elsworth Drive) will be widened from 1200mm to 1500mm and the window in the front elevation would be lengthened to reflect the bay window. The changes are minor in scale and in particular the removal of the window represents an improvement on the existing approved scheme. The changes do not materially affect the setting nor any nearby property.

The existing dwelling has a brick column to the front elevation which will be replaced with a pillar column with a stone-effect. Examples of this can be seen on other properties within the development including the neighbouring property, no. 2 Elsworth Drive. It is considered that it would not affect the visual appearance of the proposal or the outlook and living conditions of the neighbouring properties.

The proposal includes alterations to the internal layout of the dwelling. To the ground floor, the lounge and kitchen will be altered to allow the additional space to the day room along with the introduction of an additional separate toilet. Also to the first floor the bedroom sizes will be altered. It is considered that these changes will not affect the outlook and living conditions of the neighbouring properties as the interface distances from the rear bedroom windows to the neighbouring properties are over 26 metres.

### **Local finance considerations**

Section 70(2) of the Town and County Planning Act 1990 (as amended) provides that a local planning authority must have regard to a local finance consideration as far as it is material. It is not considered that there are any material local financial considerations which are relevant to the determination of this case.

### **Conclusion**

It is not considered that the proposed alterations would be material, as they will not affect the overall

appearance of the extended dwelling and will have no material affect on the amenity of neighbouring residents. Members are therefore recommended to approve this application.



## **Representation and Consultation Annex**

### **Representations**

**Letters:-** None

**Elected Members:-** None

### **Consultations**

Advice was sought from the following consultees: None

### **Planning History**

94934/15 - ERECTION OF TWO STOREY EXTENSION AT SIDE AND REAR - AC

**Recommendation:**           **Approve subject to conditions**

### **Recommended Conditions and/or Reasons**

1. The development hereby permitted shall be carried out in complete accordance with the following approved plans:

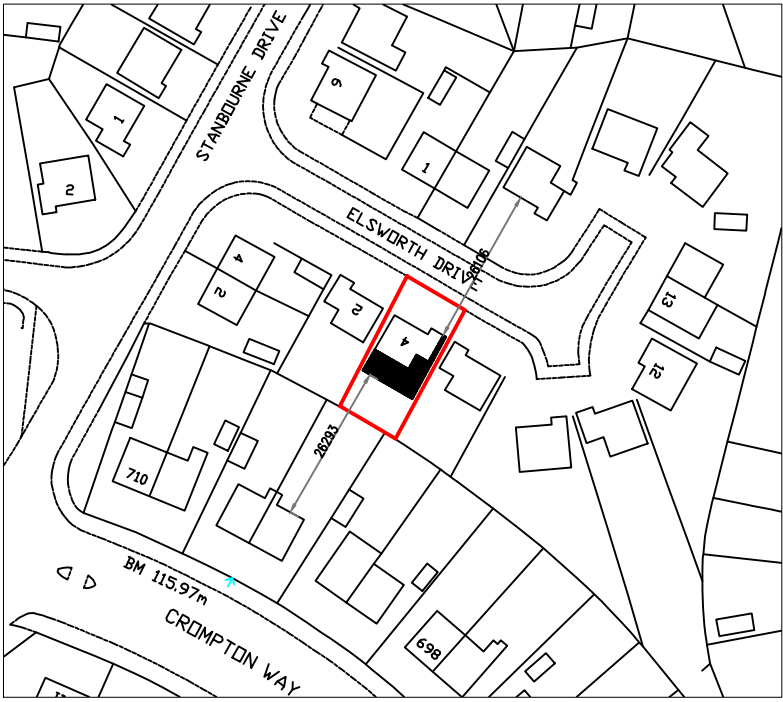
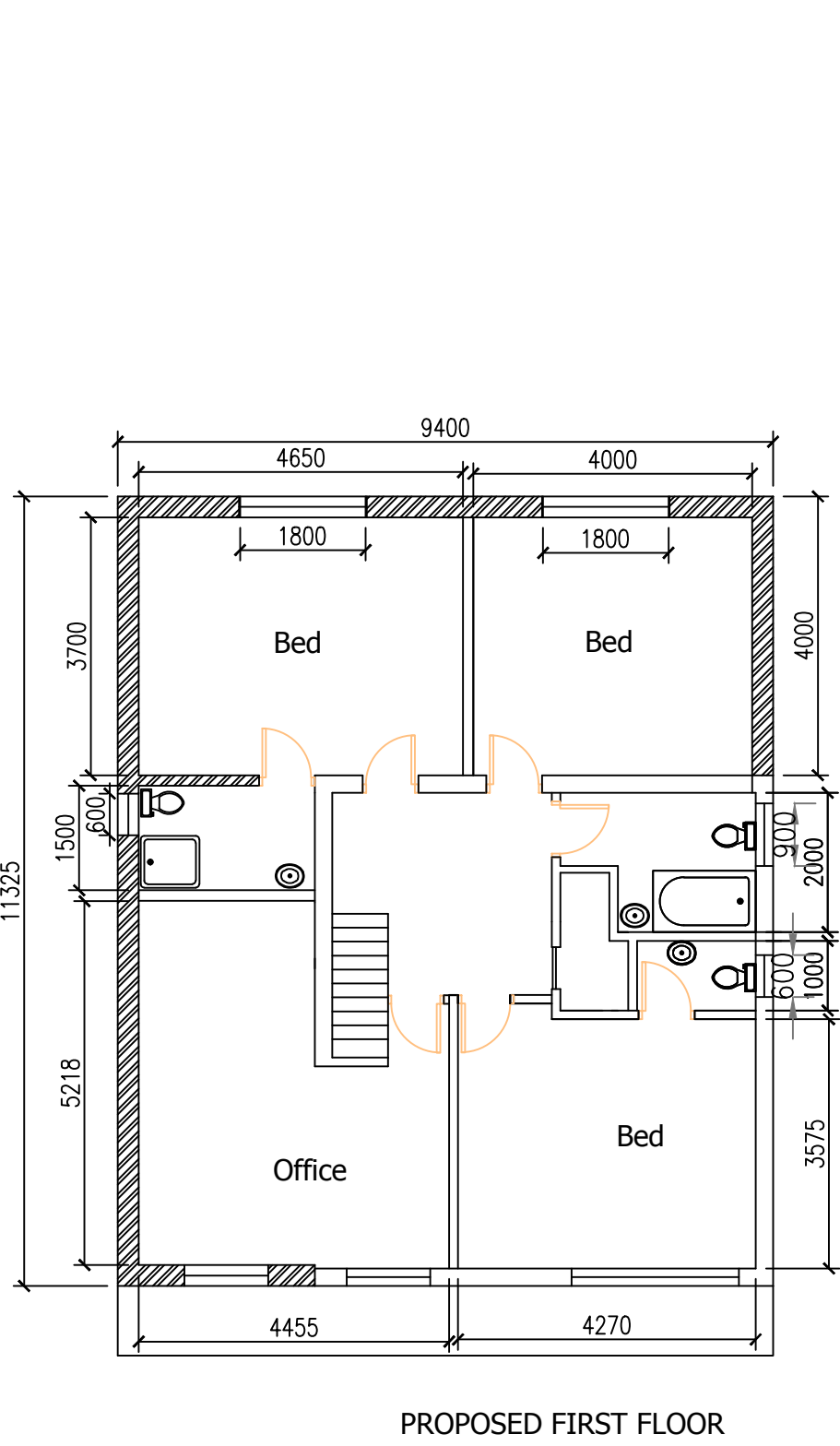
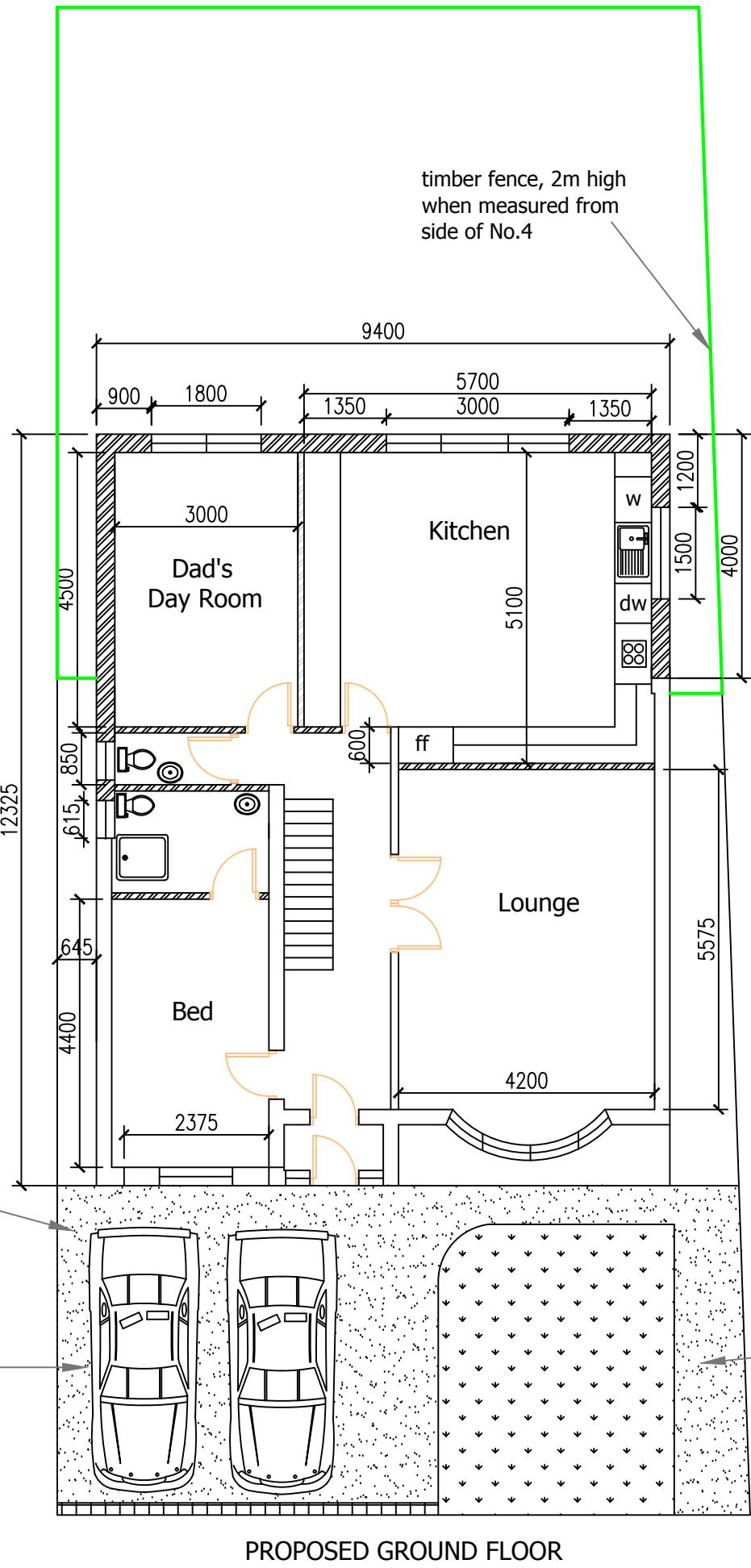
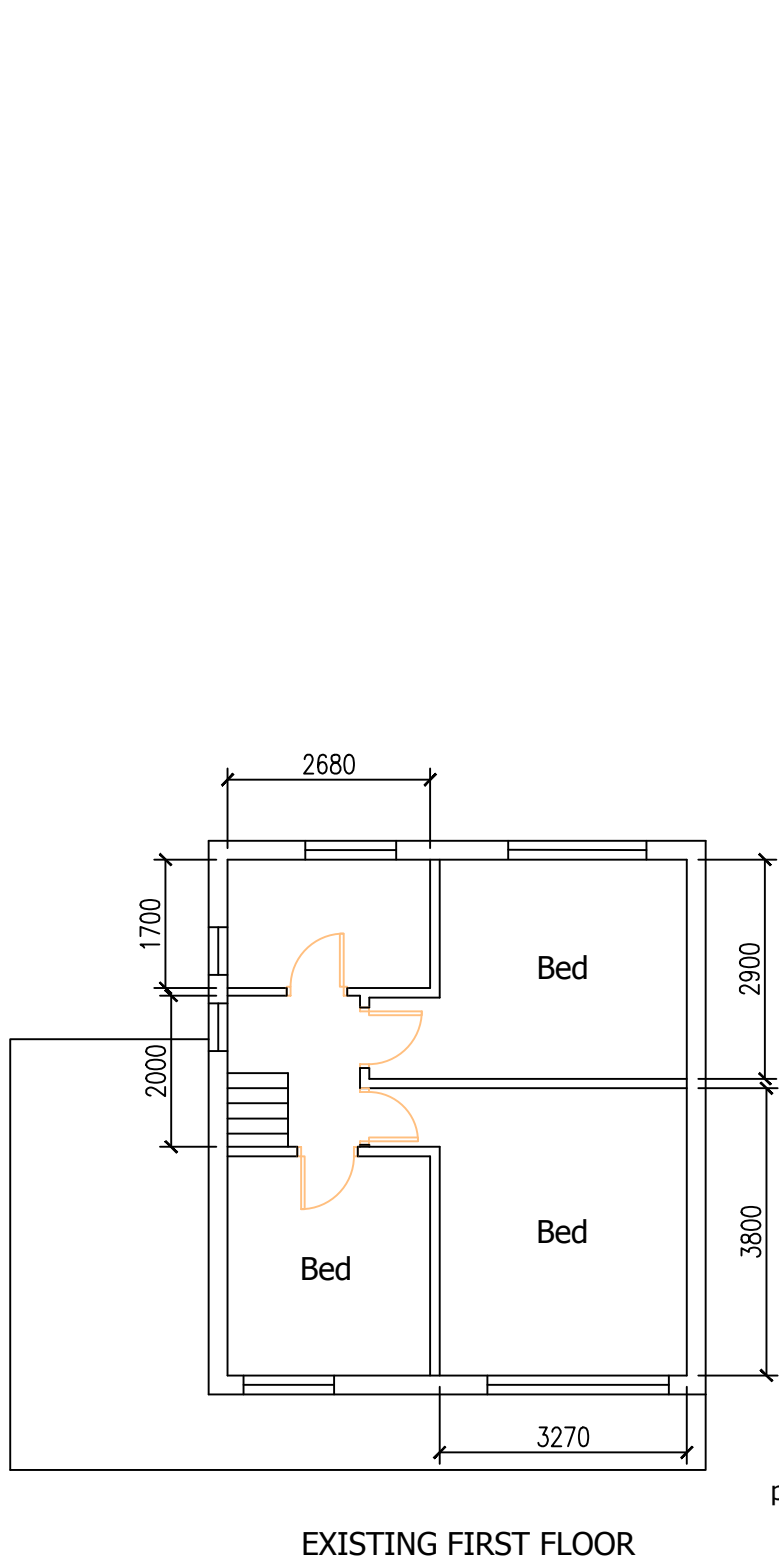
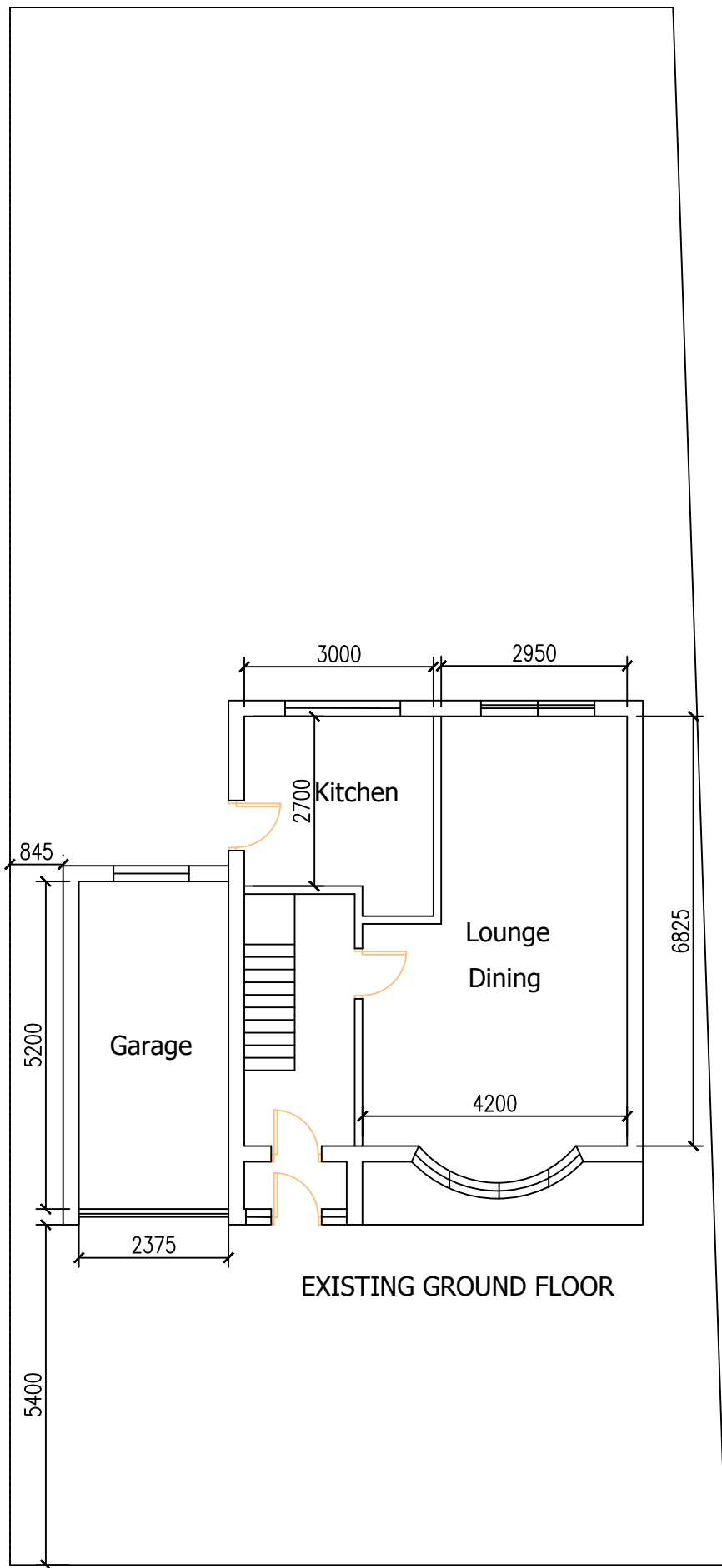
**Existing and Proposed Plans and Elevations with Site Location and Block Plan - Drawing number RAD/1262/15/1/REVD scanned on 10th November 2016**

Reason

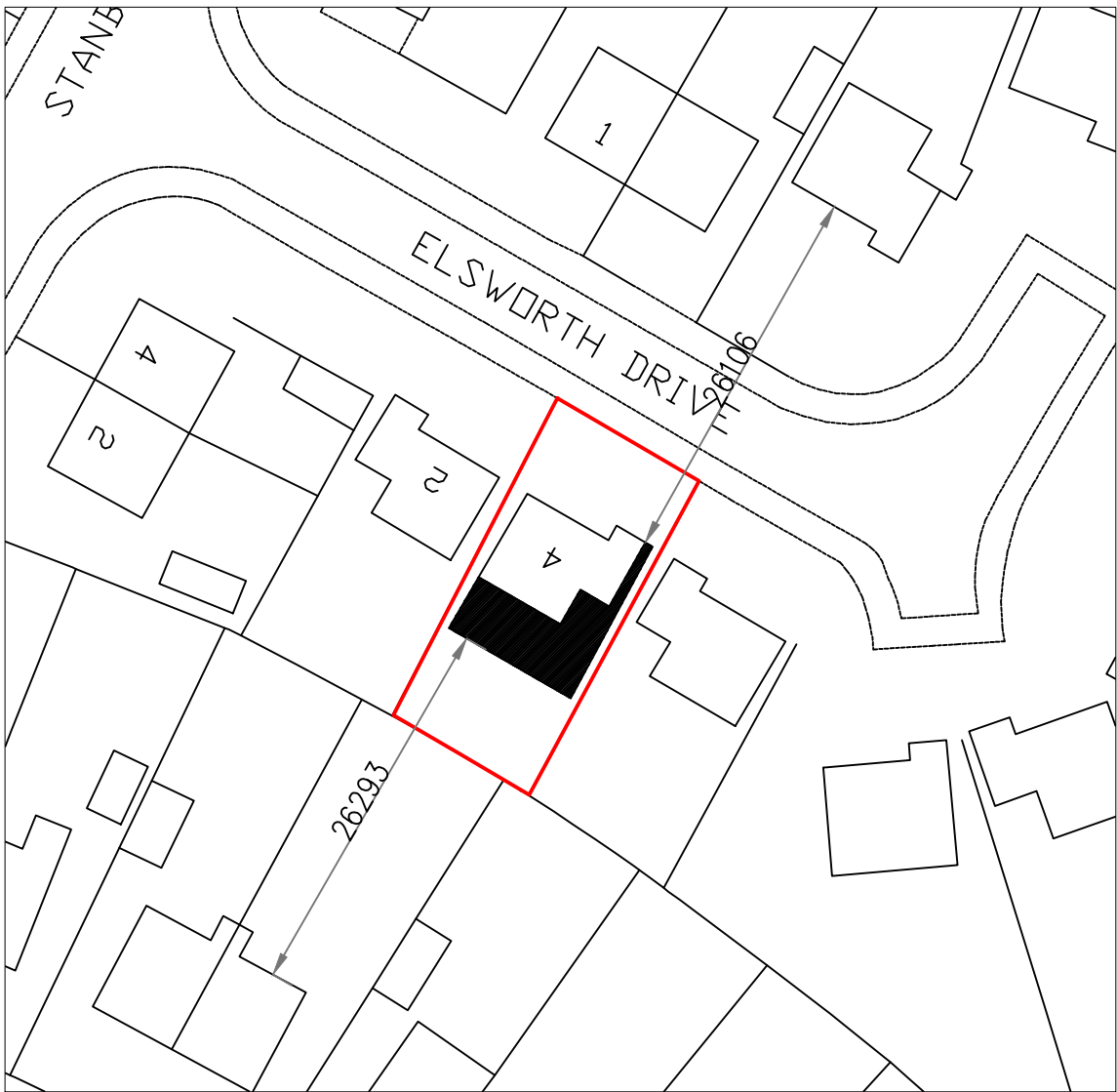
For the avoidance of doubt and in the interests of proper planning.







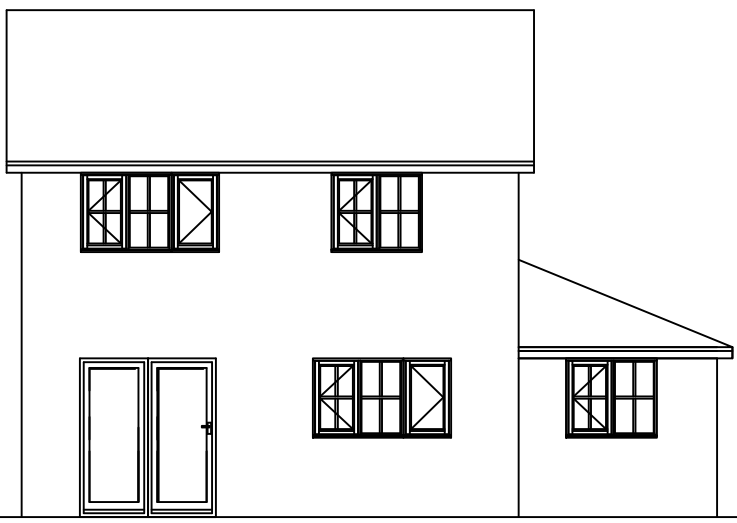
LOCATION PLAN (1:1250)  
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Ordnance Survey 0100031673



BLOCK PLAN (1:500)



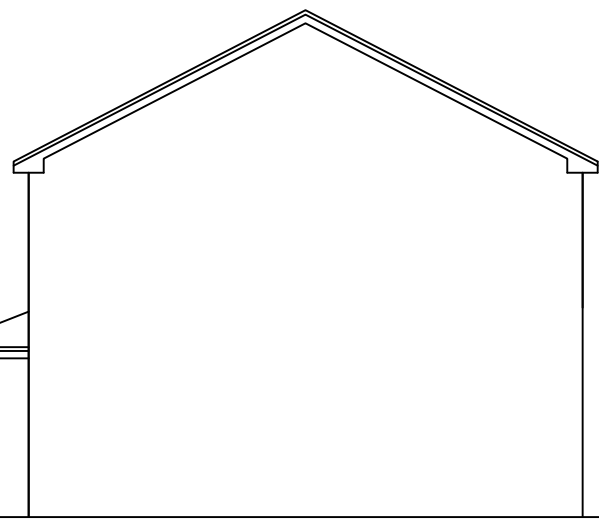
EXISTING FRONT ELEVATION



EXISTING REAR ELEVATION



EXISTING SIDE 1 ELEVATION



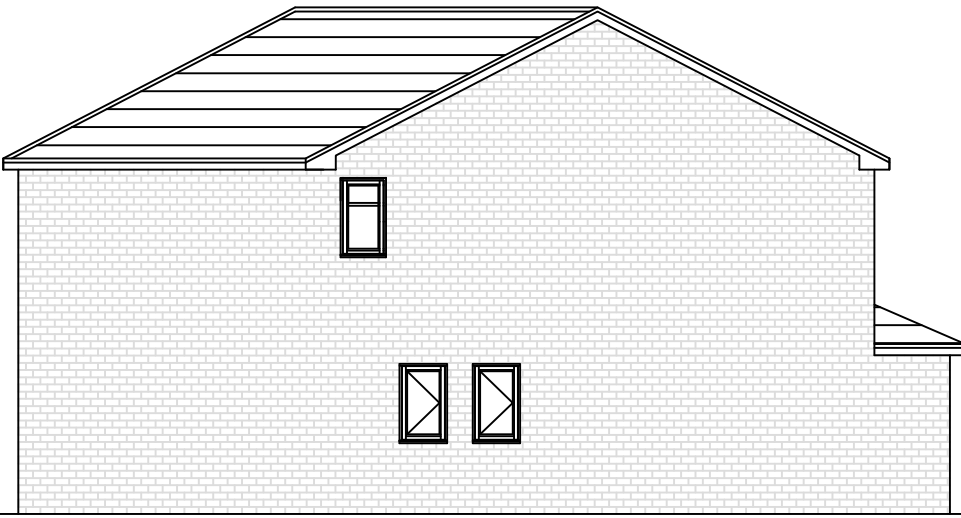
EXISTING SIDE 2 ELEVATION



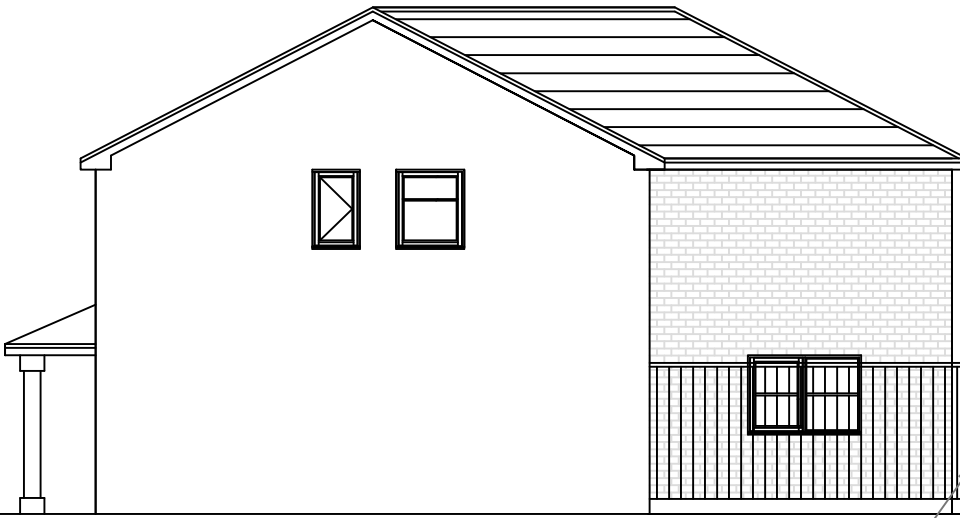
PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION

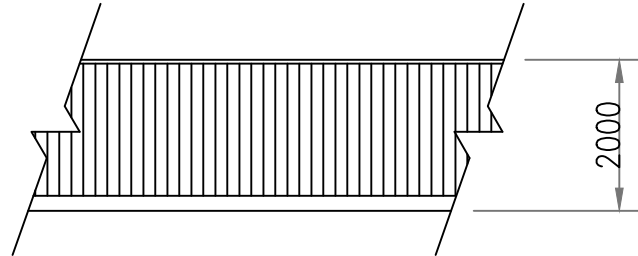


PROPOSED SIDE ELEVATION (Facing No.6)



PROPOSED SIDE ELEVATION (Facing No.2)

ROOF : GREY TILE  
WALLS : BRICK  
DOORS/WINDOWS : UPVC



PROPOSED FENCE ELEVATION

Date	Rev.		Initials
17/11/15	A.	2m high fence added to boundary	RA
17/11/15	B.	2m high fence to whole of rear	RA
15/10/16	C.	Various amendments	RA
10/11/16	D.	Stone pillar added to canopy	RA

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Figured dimensions take precedence over scaled measurements from the drawing. All dimensions to be checked by Contractor and discrepancies clarified with the Client prior to commencement.  
The whole of the works to comply with current Building Regulations. No work to commence without Building Regulations approval.

Notes

**RAD**  
The White House,  
42-44 Chorley New Road,  
Bolton  
BL1 4AP  
Tel : 01204 322196  
Fax : 01204 214110  
Mob: 07790 361104  
Email: info@radesignprojects.co.uk

Project	4 ELSWORTH DRIVE BOLTON BL1 8TE
Title	EXISTING & PROPOSED PLANS

Client	Ms. BILKIS ISMAIL
Drawn	RA
Date	SEPTEMBER 2015
Scale	1:100
Drawing Number	RAD/1262/15/1/RevD