

**Planning Applications Report**

**Planning Committee  
14<sup>th</sup> April 2022**

**Bolton  
Council**

Bolton Council has approved a Guide to Good Practice for Members and Officers Involved in the Planning Process. Appendix 1 of the Guide sets down guidance on what should be included in Officer Reports to Committee on planning applications. This Report is written in accordance with that guidance. Copies of the Guide to Good Practice are available at [www.bolton.gov.uk](http://www.bolton.gov.uk)

Bolton Council also has a Statement of Community Involvement. As part of this statement, neighbour notification letters will have been sent to all owners and occupiers whose premises adjoin the site of these applications. In residential areas, or in areas where there are dwellings in the vicinity of these sites, letters will also have been sent to all owners and occupiers of residential land or premises, which directly overlook a proposed development. Copies of the Statement of Community Involvement are available at [www.bolton.gov.uk](http://www.bolton.gov.uk)

The plans in the report are for location only and are not to scale. The application site will generally be in the centre of the plan edged with a bold line.

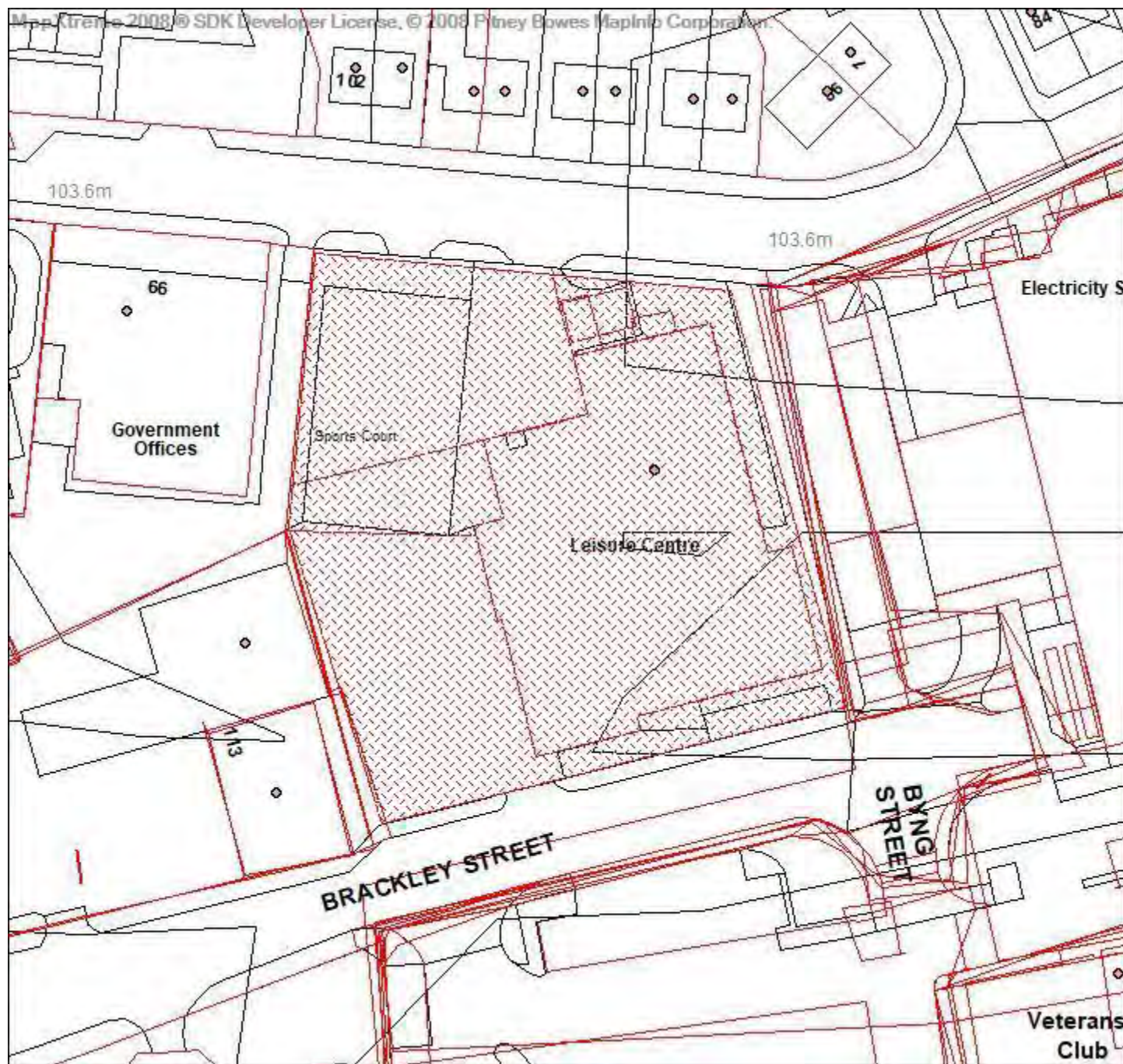
The following abbreviations are used within this report: -

CS	The adopted Core Strategy 2011
AP	The adopted Allocations Plan 2014
NPPF	National Planning Policy Framework
NPPG	National Planning Policy Guidance
PCPN	A Bolton Council Planning Control Policy Note
PPG	Department of Communities and Local Government Planning Policy Guidance Note
MPG	Department of Communities and Local Government Minerals Planning Guidance Note
SPG	Bolton Council Supplementary Planning Guidance
SPD	Bolton Council Supplementary Planning Document
PPS	Department of Communities and Local Government Planning Policy Statement
TPO	Tree Preservation Order
EA	Environment Agency
SBI	Site of Biological Importance
SSSI	Site of Special Scientific Interest
GMEU	The Greater Manchester Ecology Unit

The background documents for this Report are the respective planning application documents which can be found at:-

[www.bolton.gov.uk/planapps](http://www.bolton.gov.uk/planapps)

# Application number 13125/22



Directorate of Place  
Development Management Section

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# Bolton Council

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**Date of Meeting: 14/04/2022**

**Application Reference: 13125/22**

**Type of Application: Full Planning Application**

**Registration Date: 21/02/2022**

**Decision Due By: 17/04/2022**

**Responsible Officer: John Dupre**

**Location: FARNWORTH LEISURE CENTRE, BRACKLEY STREET,  
FARNWORTH, BOLTON, BL4 9DZ**

**Proposal:** ERECTION OF A SINGLE-STOREY EXTENSION TO EXISTING BUILDING TO ACCOMMODATE AN ENLARGED FITNESS SUITE AND NEW DANCE STUDIO TOGETHER WITH THE INTRODUCTION OF NEW WINDOWS TO EXISTING FITNESS SUITE AND NEW RAINSCREEN CLADDING TO EXISTING BUILDING TO MATCH THE EXTENSION. REMOVAL OF EXTERNAL MUGA PITCH AND RECONFIGURATION OF VEHICULAR SITE ENTRANCE AND CAR PARK.

**Ward: Farnworth**

**Applicant: K2 Architects**

**Agent :**

## **Officers Report**

**Recommendation: Approve subject to conditions**

### **Executive Summary**

- The application is for an extension to Farnworth Leisure Centre to provide an enlarged fitness suite and dance studio.
- Improvements to the design and appearance of the existing building are also proposed including new windows in the front elevation.
- An existing Multi Use Games Area (MUGA) is to be removed to enable a reconfiguration of the existing vehicular entrance and parking arrangements.
- The MUGA was installed in 1993 and has not been in use for around 10 years. An all-weather pitch has since been provided at Harper Green School.
- No objections have been received from consultees.
- One representation has been received from a member of the public, raising concerns that the reconfiguration of the car park access arrangement could lead to it being used as a rat run
- The facility is operated by Bolton Leisure on behalf of the Council who are the landowner, hence the requirement for the application to be determined by Committee.
- Members are recommended to approve the application subject to conditions.

### **Proposal**

1. The proposal is for the erection of a single storey extension to Farnworth Leisure Centre to

accommodate an enlarged fitness suite and dance studio.

2. New windows to the front elevation of the existing building are proposed. New rainscreen cladding is proposed to the upper sections of the front elevation of the existing building to match the extension.
3. The removal of the existing external Multi Use Games Area (MUGA) pitch and the reconfiguration of the vehicular site entrance and car park is also proposed, together with new lighting and soft landscaping.

### **Site Characteristics**

4. The site is in Farnworth Town Centre and is approximately 0.39ha and includes a Leisure Centre building to the central and eastern part of the site, car parking and access (off Brackley Street) to the southwest and the MUGA proposed to be removed is currently located on the north-western part of the site.
5. The site is bounded by King Street to the north and Brackley Street to the south, a food store to the east and commercial properties to the west. Access to service the building is off King Street. Areas of trees and soft landscaping are located to the west and eastern perimeter of the site.
6. The site is within a town centre location with a mix of uses nearby, retail, commercial and residential.

### **Policy**

#### *The Development Plan*

7. Core Strategy: RA2 Farnworth; CG1 Cleaner and Greener; CG2 Sustainable Design and Construction; CG3 Built Environment; CG4 Compatible Uses; Safe Bolton; S1 Access and Appendix 3 - Parking Standards; P3 Retail and Leisure.

#### *Other material considerations*

8. National Planning Policy Framework (NPPF), SPD General Design Principles, SPD Accessibility, Transport and Road Safety

### **Analysis**

9. Section 38 of the Planning and Compulsory Purchase Act 2004 requires applications to be determined in accordance with policies in the Development Plan unless material considerations indicate otherwise. Applications which are not in accordance with Development Plan policies should be refused unless material considerations justify granting permission. Similarly, proposals which accord with Development Plan policies should be approved unless there are material considerations which would justify a refusal of permission. It is therefore necessary to decide whether this proposal is in accordance with the Development Plan and then take account of other material considerations.

10. The main impacts of the proposal are:

- \* principle of the development
- \* impact on the character and appearance of the building and the surrounding area
- \* impact on living conditions at nearby residential properties
- \* impact on the highway network
- \* impact on trees and landscape features
- \* impact on ecology and biodiversity

- \* impact of land contamination and stability
- \* impact on flood risk
- \* other matters

#### Principle of the Development

11. Policy RA2 of the Core Strategy states that [among other things] the Council will continue to regenerate Farnworth Town Centre with a mix of retailing, leisure and employment uses.
12. The supporting text to Policy H1 of the Core Strategy states that the Council will support the development of new sporting and recreation facilities in accessible town centre locations and in renewal areas.
13. The proposal is for an extension to and the redesign of the frontage of the existing Farnworth Leisure Centre to enable the existing facilities to be upgraded.
14. The existing MUGA is to be removed to allow for a reconfiguration of the vehicular access and parking arrangements.
15. The MUGA was installed in 1993 but has not been used for around 10 years and has now fallen into disrepair. A new all-weather pitch has since been installed at Harper Green School which is available for public use. When it was in use, the MUGA was used for outdoor exercise classes; the new extension will allow these classes to be provided indoors. There will therefore be no net loss of facility to the community. For the avoidance of doubt, at 0.05 hectares, the size of the MUGA falls significantly short of the 0.2 hectares threshold at which consultation with Sport England is required.
16. It is therefore considered that the principle of the proposed development is acceptable.

#### Impact on Character and Appearance of the Surrounding Area

17. Core Strategy policy CG3.1 states that the Council expects development proposals to display innovative, sustainable designs that contribute to good urban design.
18. Core Strategy policies CG3.2 and CG3.3 require proposals to respect and enhance local distinctiveness, being compatible with the surrounding area in terms of scale, massing, grain, form, architecture and landscape details, including hard/soft landscaping and boundary treatment.
19. Core Strategy Policy RA2 of the Core Strategy states that [among other things] the Council will require proposals in Farnworth to enhance the townscape through the use of excellent quality design.
20. The proposal is for a single storey extension with flat roof to the west side of the leisure centre together with improvements to the existing building. The existing MUGA will be removed to make way for a reconfiguration of the vehicular access arrangements and parking.
21. The extension will be subordinate to the existing building and will be built from brick to match the existing centre. The front elevation will be glazed, with the lower half obscured. The upper section of the west facing elevation of the extension will be clad in dark grey rainscreen aluminium cladding. This cladding will also be retrofitted to the upper section of the front elevation of the existing centre building to provide continuation and to improve the appearance of the centre when viewed from the south.

22. Four large floor-to-ceiling windows will also be installed in the front elevation to further improve the appearance. This will have a secondary benefit of providing additional passive surveillance to the street and improving connectivity to the street.
23. An indicative landscaping plan has been submitted which shows the existing trees on boundaries of the site to be retained, together with some additional soft landscaping. It is considered that these details can be secured by condition.
24. It is considered that the proposal will have a positive impact on the character and appearance of the site and the surrounding area and will contribute towards the regeneration of Farnworth Town Centre.
25. Subject to condition it is considered that the proposal complies with Policies CG3 and RA2 of the Core Strategy.

#### Impact on Living Conditions at Nearby Residential Properties

26. Policy CG4 of the Core Strategy states that the Council will ensure that new development is compatible with surrounding land uses and occupiers, protecting amenity, privacy, safety and security and should not generate unacceptable nuisance, odours, fumes, noise or light pollution.
27. The application is for an extension to an existing leisure centre and will involve the removal of a MUGA and the reconfiguration of the parking and customer access arrangements. The nearest residential properties to the centre are Nos. 88 – 102 King Street.
28. It is not considered that the level of additional traffic generated by the extension, or the reconfiguration of the access arrangements, will be so great as to have any significant impact on the amenity of any neighbouring property.
29. With regard to the extension itself, this will be set away from residential properties. As such the extension will meet all the necessary interface distances and not cause any undue overshadowing or overlooking to neighbouring dwellings.
30. The Council's Pollution Control Officers have suggested that a condition be added to require the windows of the centre to be closed when amplified music is played, this has been added.
31. A lighting scheme has been submitted for the carpark and access roads. This has been reviewed by the Council's Pollution Control Officer who have confirmed that the lighting proposed should not have an undue impact on neighbouring amenity. A condition has been added to secure the scheme as proposed.
32. Subject to the aforementioned conditions, it is considered that the scheme complies with Policies CG4 of the Core Strategy.

#### Impact on the Highway Network

33. Policy P5 of the Core Strategy states that the Council will ensure that developments take into account [amongst other things] accessibility, servicing arrangements and parking. Policy S1.2 states that the Council will promote road safety in the design of new development.
34. The proposal is to provide an extension to Farnworth Leisure Centre (200 sqm of additional floorspace according to the application form) in order to provide improved facilities within the premises. The proposal will provide increased parking provision (35 spaces from 26 spaces) as well as altering accessibility/servicing provision at the site.



35. A Transport Assessment has been submitted with the application. This indicates that the potential increase in traffic associated with development will be marginal and should be accommodated with little additional detriment to road safety, amenity and the operational capacity of the surrounding local highways.
36. The in-curtilage parking numbers for the premises for both the existing and proposed development fall below the Council's maximum parking standards for these levels of use-class. A parking accumulation study has been undertaken that indicates that there will be a marginal amount of overspill parking from the site within the peak operational periods of the facility. There appears to be sufficient parking provision within Farnworth town centre area to support this overspill, while the site's accessibility to sustainable modes of transportation and the surrounding residential catchments/demographic provides additional justification to support the level of parking provision proposed.
37. It is proposed to alter accessibility to the site from the highway network. The access point from Brackley Street will be relocated whilst still accommodating an element of accessibility to an adjoining business which lies outside of the red-edge of the site. The existing service vehicle access point from King Street will be utilised to accommodate two-way vehicle movement from the highway. The access route will be one-way from Brackley Street to the parking provision/King Street enforced with appropriate signage/road markings. The existing service yard will be mostly unaffected by the amended layout and should still accommodate service vehicles satisfactorily.
38. The Council's Highways Officer has reviewed the submitted information and has confirmed that, subject to conditions to control parking and highway matters, they have no objection to the proposal. These conditions have been added.
39. A member of the public has responded and has commented that the reconfiguration of the car park may create potential for it to be used as a 'rat run' between King Street and Brackley Street. This concern has been reviewed by both the Applicant's transport consultant and the Council's Highways Officers, who have agreed that there is some merit to this concern. Therefore, to deter drivers from using the car park as a cut through, a condition has been added to require measures including, but not limited to, signage, speed bumps and an automatic barrier, to be installed in the car park prior to first use. The condition also includes a mechanism whereby the effectiveness of these measures can be kept under review by the Highways Authority and upgraded if so needed.
40. Subject to conditions, it is considered that the proposed development complies with Policies P5 and S1.2 of the Core Strategy.

#### Impact on Trees and Landscape Features

41. Core Strategy Policy CG1.2 safeguards and enhances biodiversity in the borough by protecting sites of urban biodiversity including trees, woodland and hedgerows from adverse development, and improving the quality and inter connectivity of wildlife corridors and habitats.
42. An Arboriculture Impact Assessment (Baseline) Plan has been submitted which shows trees within site and their categories. The Applicant has confirmed that the intention is to retain all the existing boundary trees and that no trees will be removed to make way for the development. Additional landscaping and planting can be secured via a landscape condition.
43. The Council's Tree & Woodland Manager has been consulted and has confirmed that they have no objection to the proposal subject to conditions requiring an Arboriculture Method Statement



and Tree Protection measures to be agreed in writing prior to the commencement of development.

44. It is therefore considered that the proposed development complies with Policy CG1.2 of the Core Strategy.

#### Impact on Ecology and Biodiversity

45. Core Strategy Policy CG1.2 safeguards and enhances biodiversity in the borough by protecting sites of urban biodiversity from adverse development and improving the quality and inter connectivity of wildlife corridors and habitats.
46. Paragraph 180 of the NPPF states that when determining planning applications, local planning authorities should require developments to integrate opportunities to improve biodiversity into their design, especially where this can secure measurable net gains for biodiversity or enhance public access to nature where this is appropriate.
47. An Extended Phase 1 Habitat Survey and Daytime Bat Survey has been submitted. This has been reviewed by the Council's Greenspace Officer who has confirmed that they are satisfied that the development would not cause any significant impact upon biodiversity in the area. They also note that Paragraph 5.2 of the Habitat Survey suggest that there is opportunity for enhancement and development of habitat with nesting boxes and perennial plants for pollinators where appropriate. It is considered that these can be secured by condition.
48. Greater Manchester Ecology Unit (GMEU) has been consulted and have confirmed they have no objection to the proposal.
49. Subject to conditions, it is considered that the proposed development complies with Policy CG1.2 of the Core Strategy and Paragraph 180 of the NPPF.

#### Impact of Land Contamination and Stability

50. Paragraphs 183 of the NPPF state that to prevent unacceptable risks from pollution and land instability, planning policies and decisions should ensure that new development is appropriate for its location and that adequate site investigation information, prepared by a competent person, is presented with applications.
51. Policy CG4.3 of the Core Strategy, in line with the NPPF, requires all new development to ensure any risk of contamination is identified and adequately managed
52. A Phase 1 Preliminary Risk Assessment and Phase 2 Site Investigation Report has been submitted with the application. This has been reviewed by the Council's Pollution Control Officers who have confirmed that subject to a condition requiring the development to be carried out in accordance with the recommendations of the Phase 2 report, they have no objections to the proposal. A condition has therefore been added to this effect.
53. The Coal Authority has been consulted and notes that the Phase 2 Site Investigation Report prepared by Clancy Consulting Ltd (dated December 2021) confirms the risks posed by potential unrecorded shallow coal mine workings is low and concludes that sufficient competent rock cover exists over all subsequent seams to afford ground stability. On this basis the Coal Authority has confirmed they have no objection to the proposal.
54. Subject to conditions, it is considered that the proposed development complies with Policy CG4.3

of the Core Strategy and Paragraph 183 of the NPPF.

#### Impact on Flood Risk

55. Section 14 of the NPPF focuses on climate change and flood risk and states that when determining planning applications, local planning authorities should seek to steer development towards areas with the lowest probability of flooding and ensure that flood risk is not increased elsewhere. All plans should apply a sequential, risk-based approach to the location of development – taking into account the current and future impacts of climate change so as to avoid, where possible, flood risk to people and property.
56. Policy CG1.5 reduce the risk of flooding in Bolton and other areas downstream by minimising water run-off from new development and ensuring a sequential approach is followed, concentrating new development in areas of lowest flood risk.
57. A Drainage Strategy Report has been submitted which includes a section on flood risk. This confirms that the development is in Flood Zone 1 and therefore the land is assessed as having a less than 1 in 1,000 annual probability of river or sea flooding (<0.1%). The surface water flooding risk and reservoir flooding risk are also low and there is no fluvial flooding shown.
58. The report states that a new separate foul and surface water drainage system shall be provided to serve the new extension and the car park with the existing building utilising the existing drainage where possible. This can be secured by condition.
59. The Council's Drainage and Technical Support team have been consulted and have no objections to the proposal.
60. It is therefore considered that the proposed development complies with Policy CG1.5 of the Core Strategy and Section 14 of the NPPF.

#### Other Matters

##### *United Utilities*

61. UU have recommended that a drainage condition is attached to the decision notice, this has been added.

##### *Design for Security*

62. Consultation has been undertaken with the Design for Security team at GMP. No response has been received; however Officers note that a Crime Impact Statement is only required for "significant" extensions to existing leisure facilities and take the view (based on the lack of a response) the proposed extension is not sufficiently significant.

#### **Financial benefits of the proposal**

##### *Local finance considerations*

63. Section 70(2) of the Town and County Planning Act 1990 (as amended) provides that a local planning authority must have regard to a local finance consideration as far as it is material.
64. There are not considered to be any local financial considerations in this case.

#### **Conclusion**

65. The proposal will improve an existing community facility and will support the regeneration of Farnworth Town Centre. It is considered that the proposal will have a positive impact on the appearance of the building and the surrounding area and accords with Bolton's Development

Plan.

66. Members are therefore recommended to support the application.

## **Representation and Consultation Annex**

### **Representations**

**Letters:** One representation has been received from a member of the public, raising concerns that the reconfiguration of the car park access arrangement could lead to it being used as a rat run

**Elected Members:** None received.

### **Consultations**

Advice was sought from the following consultees: BMBC Landscape, BMBC Tree and Woodland Manager, The Coal Authority, BMBC Highways, Authority, BMBC Environmental Health, GMP Design for Security, BMBC Drainage, GMEU.  
No objections have been received.

### **Planning History**

82862/09 - Erection of two internally illuminated hanging signs – Approved with conditions

82861/09 - Removal of existing entrance canopy and erection of replacement entrance canopy – Approved with conditions

71945/05 - Erection of two no. 48 sheet hoardings - Refused

**Recommendation:**        **Approve subject to conditions**

### **Recommended Conditions and/or Reasons**

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason

Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2. Drainage Prior to the commencement of development, details of a sustainable surface water drainage scheme and a foul water drainage scheme shall be submitted to and approved in writing by the Local Planning Authority. The drainage schemes must include:  
(i) An investigation of the hierarchy of drainage options in the National Planning Practice Guidance (or any subsequent amendment thereof). This investigation shall include evidence of an assessment of ground conditions and the potential for infiltration of surface water in accordance with BRE365;  
(ii) A restricted rate of discharge of surface water agreed with the local planning authority (if it is agreed that infiltration is discounted by the investigations);  
(iii) Levels of the proposed drainage systems including proposed ground and finished floor levels in AOD;  
(iv) Incorporate mitigation measures to manage the risk of sewer surcharge where applicable; and  
(v) Foul and surface water shall drain on separate systems.

The approved schemes shall also be in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015) or any subsequent replacement national standards.

Prior to occupation of the proposed development, the drainage schemes shall be completed in accordance with the approved details and retained thereafter for the lifetime of the development.

Reason: To promote sustainable development, secure proper drainage and to manage the risk of

flooding and pollution.

Reason for precommencement condition: To promote sustainable development, secure proper drainage and to manage the risk of flooding and pollution prior to the construction of the development.

3. Contaminated Land

- i) The development hereby approved shall be carried out in full accordance with the following approved land contamination Site Investigation: Phase 2 Site Investigation, Proposed Building Extension, dated December 2021 (ref: 10/1944/002 Rev 00) by Clancy Consulting.
- ii) Where necessary a scheme of remediation to remove any unacceptable risk to human health, buildings and the environment shall be approved by the Local Planning Authority prior to implementation.
- iii) During the period of construction, should any unforeseen contamination be found on site that has not been previously identified, no further works shall be undertaken in the affected area. Prior to further works being carried out in the affected area, the contamination shall be reported to the Local Planning Authority within a maximum of 5 days from the discovery, a further contaminated land assessment shall be carried out, appropriate remediation identified and agreed in writing by the Local Planning Authority. The development shall be undertaken in accordance with the agreed remediation measures.
- iv) Prior to first use/occupation of the development hereby approved.
- v) A Verification Report shall be submitted to, and approved in writing by, the Local Planning Authority. The Verification Report shall validate that no unforeseen contamination was found and that all remedial works undertaken on site were completed in accordance with those agreed by the Local Planning Authority.

The discharge of this planning condition will be given in writing by the Local Planning Authority on completion of the development and once all information specified within this condition and other requested information have been provided to the satisfaction of the Local Planning Authority and occupation/use of the development shall not commence until this time, unless otherwise agreed by the Local Planning Authority.

Reason: To safeguard the amenity of the future occupants of the development and to comply with Core Strategy policy CG4.

Reason for pre-commencement condition: To safeguard the amenity of the future occupants of the development and to comply with Core Strategy policy CG4 prior to the construction of the development.

4. Tree protection

No demolition, development or stripping of soil shall be started until:

- 1. The trees within or overhanging the site which are to be retained have been surrounded by fences of a type to be agreed in writing with the Local Planning Authority prior to such works commencing.
- 2. The approved fencing shall remain in the agreed location (in accordance with BS 5837:2012) until the development is completed or unless otherwise agreed in writing with the Local Planning Authority and there shall be no work, including the storage of materials, or placing of site cabins, within the fenced area(s).
- 3. No development shall be started until a minimum of 14 days written notice has been given to the Local Planning Authority confirming the approved protective fencing has been erected.

Reason: To protect the health and appearance of the tree(s) and in order to comply with Bolton's Core Strategy policies CG1 and CG3

Reason for Pre-Commencement Condition: Tree protection measures must be implemented prior to the commencement of works to protect the health and appearance of the tree(s) during the construction phase.

5. Arboriculture Method Statement

Prior to the commencement of development of any works on site, the developer shall submit a method statement detailing how the following elements of the site will be constructed without causing harm or damage to the protected trees found on the site to the Local Planning Authority. The specified areas are:

#### 67. Removal of Multi Use Games Area

No development or site clearance shall take place until the Local Planning Authority has agreed the measures in writing, and these measures shall then be implemented fully in accordance with the approved details.

Reason: To ensure the safe development of the site and favourable retention of trees and in order to comply with Bolton's Core Strategy policies CG1 and CG3

Reason for Pre-Commencement Condition: Tree protection measures must be implemented prior to the commencement of works to protect the health and appearance of the tree(s) during the construction phase.

#### 6. Landscape Scheme

Trees and shrubs shall be planted on the site in accordance with a landscape scheme to be submitted and approved in writing by the Local Planning Authority prior to the development being first brought into use. The approved scheme shall be implemented in full and carried out within 6 months of the occupation of any of the buildings or the completion of the development, whichever is the sooner, or in accordance with phasing details included as part of the scheme and subsequently approved by the Local Planning Authority. Any trees and shrubs that die or are removed within five years of planting shall be replaced in the next available planting season with others of similar size and species.

Reason: To reflect and soften the setting of the development within the landscape and in order to comply with Core Strategy policies CG1 and CG3.

#### 7. Biodiversity Enhancements

No above ground development shall take place until a scheme of appropriate biodiversity enhancements including the type and location of enhancement has been agreed in writing with the LPA. The approved scheme shall be implemented in full and retained and maintained thereafter.

Reason: To ensure the proposal safeguards and enhances biodiversity in the borough and delivers a biodiversity net gain in line with Policy CG.2 of the Bolton's Core Strategy and Paragraph 180(d) of the NPPF 2021.

#### 8. Vehicular Entrance

Prior to the development hereby approved/permitted being first occupied or brought into use the means of vehicular access to the site from Brackley Street shall be constructed to a minimum width of 4m metres in accordance with the drawing ref **Proposed Site Plan - Drwg. Ref 510-K2A-B1-S0- 90-100 Rev P08 - dated 31.01.22**

Reason: In the interests of highway safety and in order to comply with Bolton's Core Strategy policies S1, P5 and Supplementary Planning Document 'Accessibility, Transport and Road Safety'.

#### 9. Existing Vehicular Access Closure

Prior to the development hereby approved/permitted being first occupied or brought into use the existing vehicular access onto Brackley Street shall be closed to vehicles and the existing highway (kerbing and footway) made good to Be adoptable footway standards.

Reason: In the interests of highway safety and in order to comply with Bolton's Core Strategy policies S1, P5 and Supplementary Planning Document 'Accessibility, Transport and Road Safety'.

#### 10. Roads and Footways

The extension hereby permitted/approved shall not be used until the associated access road and footways have been constructed and completed in accordance with the following approved drawing:

**Proposed Site Plan - Drwg. Ref 510- K2A-B1-S0- 90-100 Rev P08 - dated 31.01.22**

Reason: In the interests of highway safety and in order to comply with Bolton's Core Strategy policies S1, P5 and Supplementary Planning Document 'Accessibility, Transport and Road Safety'.

11. Parking Spaces

Before the approved/permitted development is first brought into use no less than 35 car parking spaces with minimum dimensions of 2.4 metres by 4.8 metres shall be marked out and provided within the curtilage of the site, inP accordance approved plan **Proposed Site Plan - Drwg. Ref 510- K2A-B1-S0- 90-100 Rev P08 - dated 31.01.22**. Such spaces shall be made available for the parking of cars at all times when the premises are in use.

Reason: To ensure that adequate provision is made for vehicles to be left clear of the highway and in order to comply with Bolton's Core Strategy policies S1, P5 and Appendix 3

12. Parking Area

Prior to the development hereby approved being first occupied or brought into use, a scheme detailing how parts of the site to be used by vehicles are to be laid out, constructed, surfaced, drained and lit shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be implemented in full and thereafter made available for the use of vehicles at all times the development is in use.

Reason: To encourage drivers to make use of the parking and circulation areas provided and in order to comply with Core Strategy policies S1 and P5 and Supplementary Planning Document 'Accessibility, Transport and Road Safety'.

13. Signage

Before first occupation of the development hereby approved / permitted details of the signing scheme within the site to inform drivers of the proposed one way route through the site including TSRGD 2016 access / egress signage for private carpark shall be submitted to and approved by the Local Planning Authority. The approved signing scheme shall be implemented in full before the development hereby approved is first occupied or brought into use and retained thereafter.

Reason: In the interest of Highway Safety and in order to comply with Bolton's Core Strategy policies S1, P5 and Supplementary Planning Document "Accessibility, Transport and Road Safety".

14. Highway Works

Before the commencement of any above ground works full details of the highway works at Brackley Sreet including:

1. Closure of redundant access point on Brackley Street (restringing of kerblin/making up of footway) and
2. Formation of access point as indicated on the submitted site plan (full-carriageway construction, 3.0m radii, relocation of street-lighting apparatus)

shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be implemented in full prior to the development being first brought into use and retained thereafter.

Reason: In the interests of highway safety and in order to comply with Bolton's Core Strategy policies S1, P5 and Supplementary Planning Document "Accessibility, Transport and Road Safety".

15. Traffic Control

Before any above ground construction of the development hereby approved / permitted is commenced a scheme including but not limited to signage, speed bumps or an automatic exit barrier to deter non leisure centre traffic from using the carpark as a means of access between Brackley Street and King Street shall be submitted to and agreed in writing by the Local Planning Authority (LPA). The approved scheme shall be installed before the development is first occupied or brought into use. Once implemented, the scheme shall be subject to review by the Highways Authority for a period of 3 years. In the event that the measures installed are deemed by the Highways Authority not to be sufficiently effective at controlling traffic the LPA will notify the operator of the car park of such and a revised scheme shall be submitted to and agreed in writing by the Local Planning Authority



within one month of that notification. The approved scheme shall be installed within 1 month of the date of that approval or other such timeframe as agreed in writing with the LPA.

Reason: In the interests of highway safety and to avoid the carpark being used as a means of access between Brackley Street and King Street and to comply with Bolton's Core Strategy policies S1, P5 and Supplementary Planning Document 'Accessibility, Transport and Road Safety'.

16. External Lighting

The development hereby approved shall be carried out in full accordance with the lighting details submitted to and approved in the **External Lighting scheme for Farnworth Leisure Centre, Project Number C4C, dated 25th January 2022, by Whitecroft Lighting**. The lighting shall be designed to an illumination value of no more than 5 lux at the nearest residential property. The approved scheme shall be implemented in full before the development is first brought into use and retained thereafter.

Reason: To safeguard the character and appearance of the locality and to prevent light pollution and in order to comply with policy CG4 of Bolton's Core Strategy.

17. Amplified Music

The windows and doors to the development hereby permitted shall be closed when amplified music is played inside.

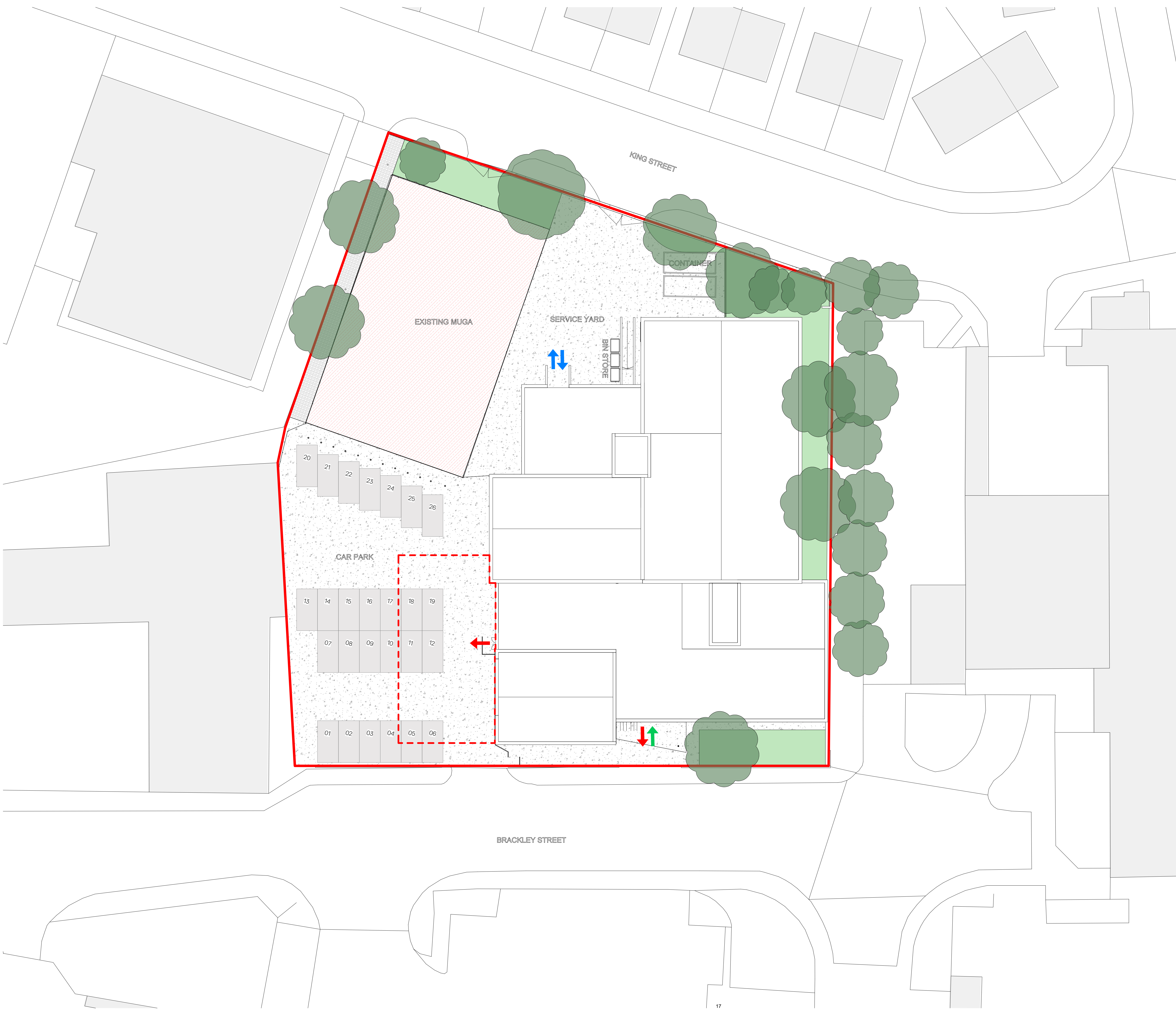
Reason: To ensure that the amenity of neighbouring residents and future uses of the site is satisfactory in accordance with the provisions of Core Strategy Policy CG4 and the National Planning Policy Framework.

18. Approved Drawings

The development hereby permitted shall be carried out in complete accordance with the following approved plans:

**Proposed Site Plan - Drwg. Ref 510- K2A-B1-S0- 90-100 Rev P08 - dated 31.01.22**  
**Proposed Elevations - Drwg. Ref 510- K2A-B1-ZZ- 20-200 Rev P05 - dated 31.01.22**  
**Proposed Floor Plan - Drwg. Ref 510- K2A-B1-00- 20-100 Rev P09 - dated 31.01.22**  
**Proposed Roof Plan - Drwg. Ref 510- K2A-B1-R1- 20-101 Rev P03 - dated 31.01.22**  
**Proposed Section - Drwg. Ref 510- K2A-B1-ZZ- 20-300 Rev P04 - dated 31.01.22**

Reason: For the avoidance of doubt and in the interests of proper planning.



Revision	Description	By	Date
P03	Submitted for planning application	SG	31.01.22
P02	RIBA Stage 2 Issue	AS	22.10.21
P01	Issued for approval	AS	12.05.21

**Key**

- Site boundary
- Proposed Extension
- Entrance
- Exit
- Service
- Hardscape
- Soft Landscape/ Planting
- Existing Trees
- Tree RPA (Root Protection Area)
- Slate Chippings
- Car parking (26 Parking Spaces)
- Multi-Use Games Area

**Hazard Identification No.**  
Refer to CDM Hazard and Risk Management Register

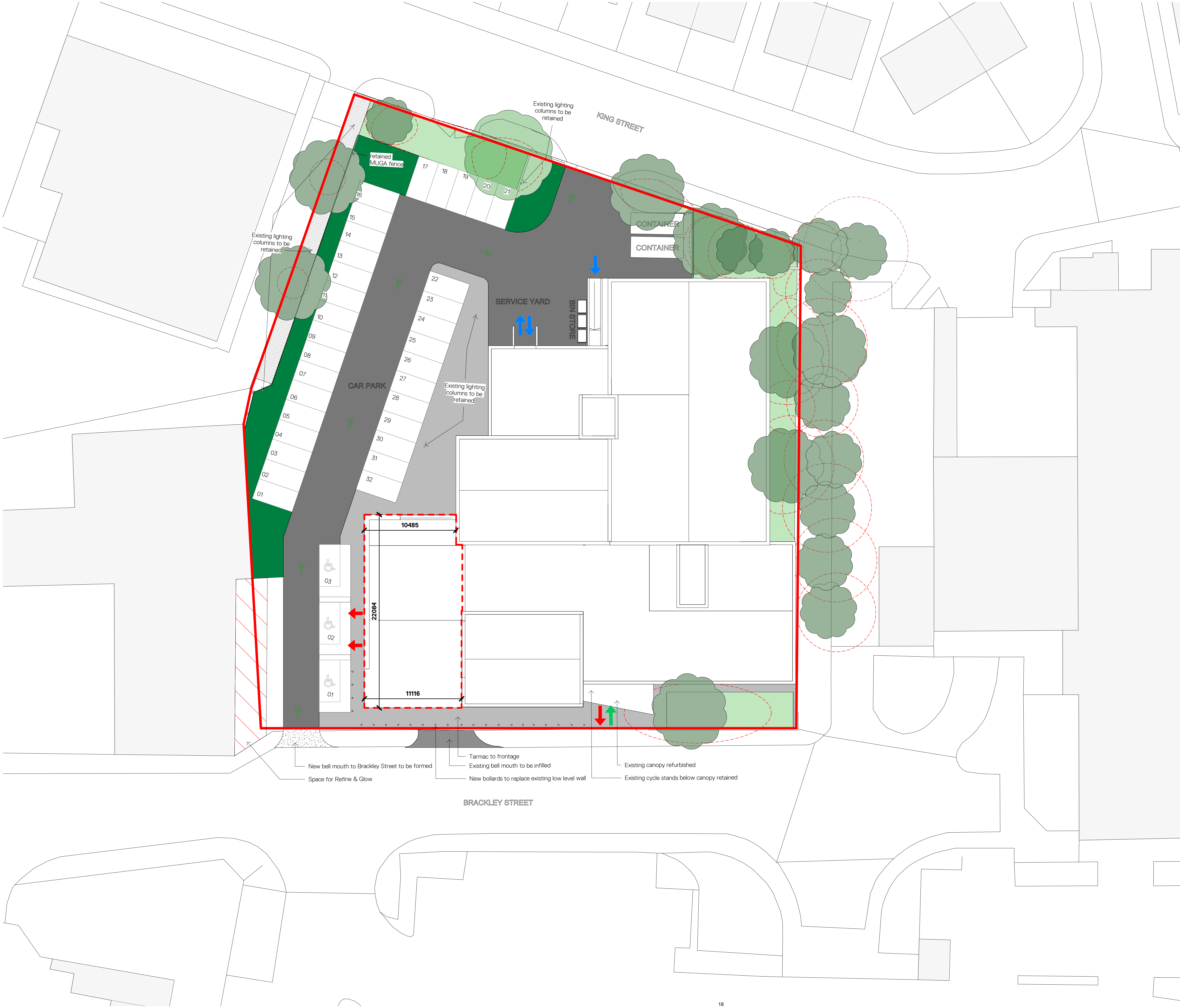
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Drawn	AS	12/05/21	
Checked	SG	12/05/21	
Approved	KH	12/05/21	
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Project	Farnworth Leisure Centre 136 Brackley Street, Farnworth, Bolton BL4 9DZ	Status	Preliminary
Drg Title	Existing Site Plan	Scale	As indicated
Drg No.	510- K2A- B1- S0- DR- A- 90- 002	Revision	P03





Revision	Description	By	Date
P08	Submitted for planning application	SG	31.01.22
P07	Service yard amended, existing bin store indicated	SG	19.01.22
P06	Existing bell mouth retained on King Street	AS	12.01.22
P05	RIBA Stage 2 comments incorporated	AS	02.12.21
P04	RIBA Stage 2 issue	AS	22.10.21
P03	Car Park layout amended to retain existing exit to King Street, boundary updated	SG	20.09.21
P02	Proposed layout updated as per clients request	AS	17.05.21
P01	Issued for approval	AS	12.05.21

Key	
	Site boundary
	Proposed Extension
	Entrance
	Exit
	Service
	Tarmac (pedestrian walkway)
	Existing Landscape/ planting
	Existing Trees
	Tree RPA (Root Protection Area)
	Vehicular Road
	Car parking (32 Spaces + 3 Accessible Spaces)
	New Landscape/ planting

**Hazard Identification No.**  
Refer to CDM Hazard and Risk Management Register

1:200

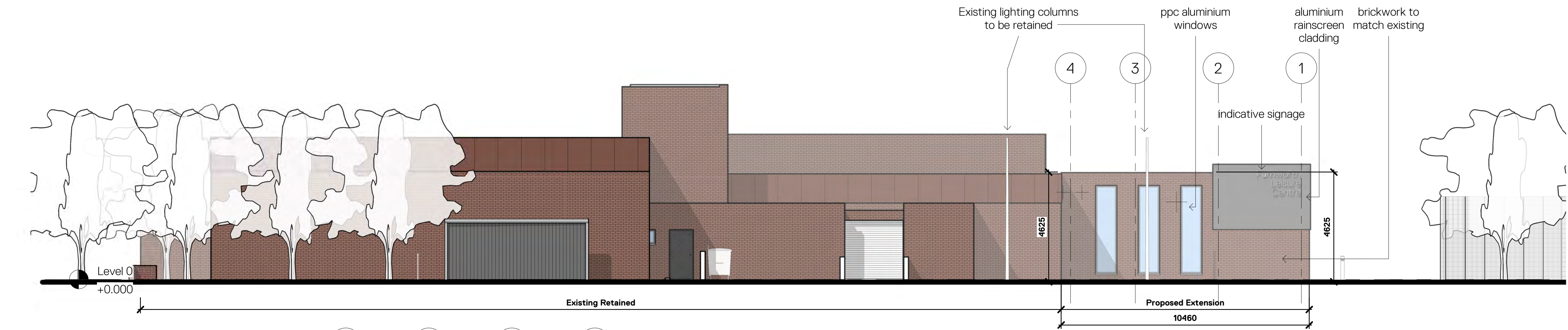
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Drawn	AS	12/05/21
Checked	SG	12/05/21
Approved	KH	12/05/21

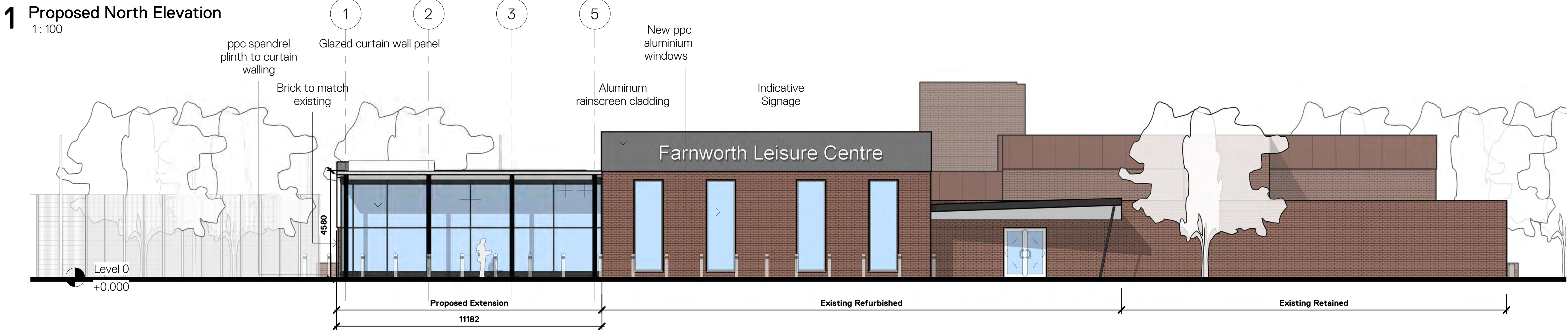
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Project	Farnworth Leisure Centre 136 Brackley Street, Farnworth, Bolton BL4 9DZ	Status	Preliminary
Drg Title	Proposed Site Plan	Scale	A1 Sheet As indicated
Drg No.	510- K2A- B1- S0- DR- A- 90- 100	Revision	P08

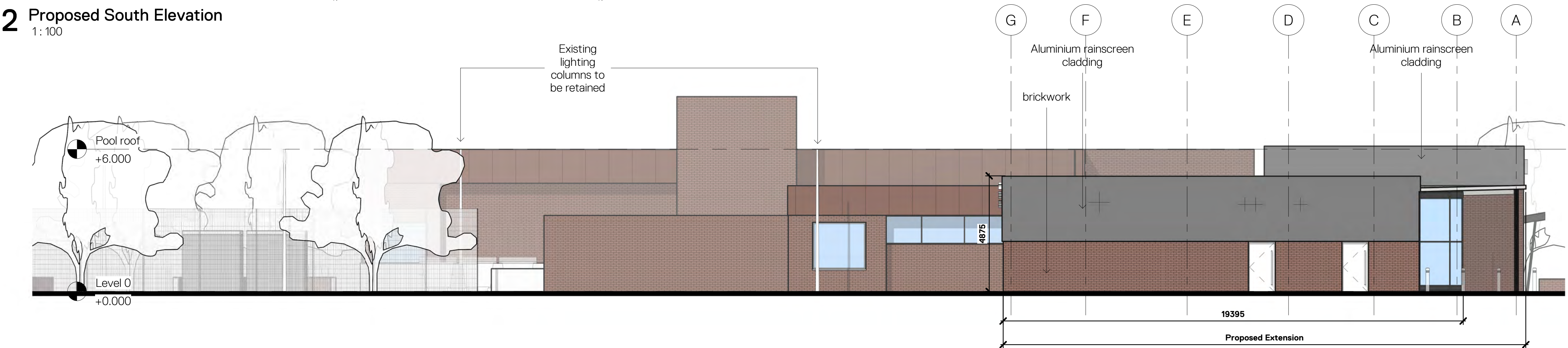




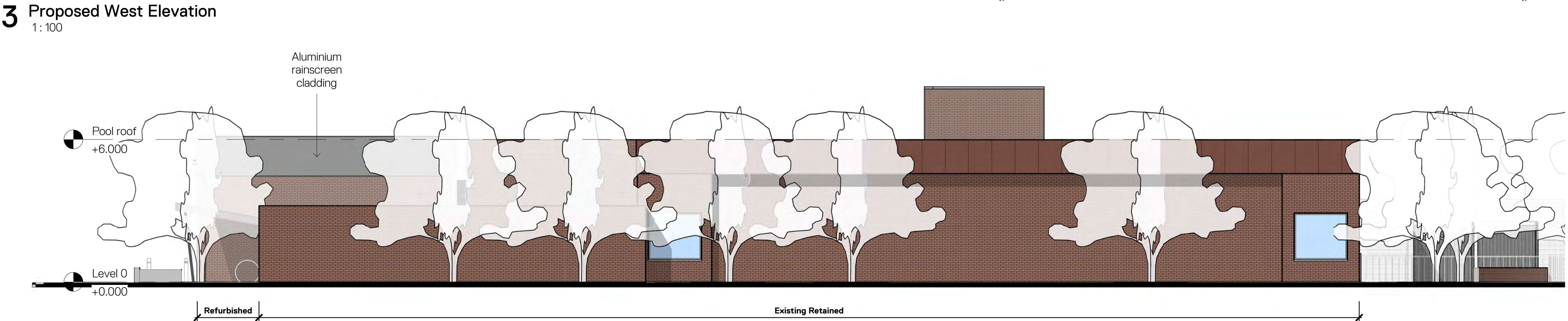
1 Proposed North Elevation  
1:100



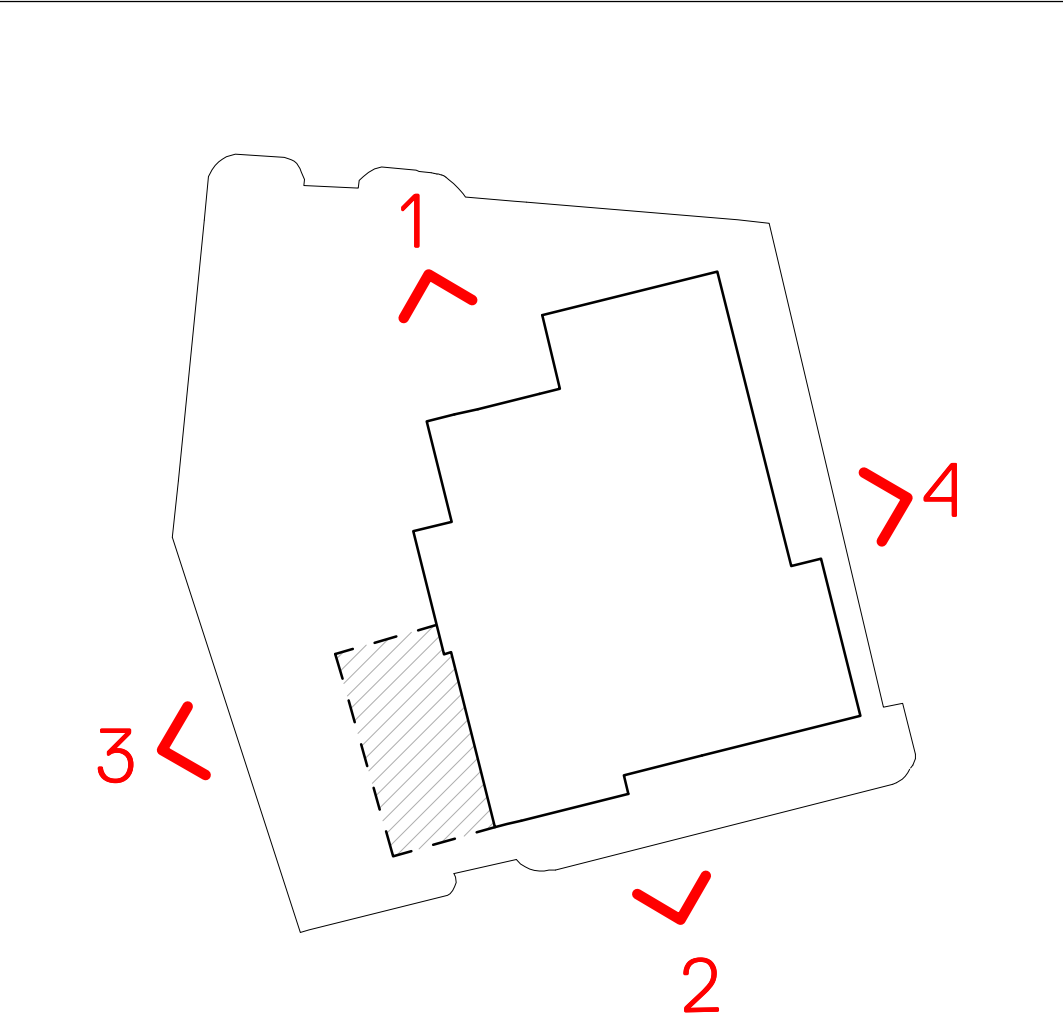
2 Proposed South Elevation  
1:100



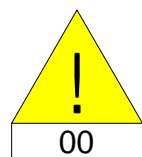
3 Proposed West Elevation  
1:100



4 Proposed East Elevation  
1:100




Revision	Description	By	Date
P05	Submitted for planning application	SG	31.01.22
P04	Amendments following client feedback 05.01.22	SG	18.01.22
P03	RIBA Stage 2 comments incorporated	AS	02.12.21
P02	RIBA Stage 2 issue	AS	22.10.21
P01	WIP issue to design team	SG	22.09.21



Hazard Identification No.  
Refer to CDM Hazard and Risk Management Register

1:100



Notes:  
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Drawn	AS	22/10/21	
Checked	SG	22/10/21	
Approved	KH	22/10/21	
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Project	Farnworth Leisure Centre 136 Brackley Street, Farnworth, Bolton BL4 9DZ	Status	Preliminary
Drg Title	Proposed Elevations	Scale	As indicated
Drg No.	510- K2A-B1-ZZ- DR-A-20-200	Revision	P05