

**Planning Applications Report**

**Planning Committee  
14<sup>th</sup> April 2022**

**Bolton  
Council**

Bolton Council has approved a Guide to Good Practice for Members and Officers Involved in the Planning Process. Appendix 1 of the Guide sets down guidance on what should be included in Officer Reports to Committee on planning applications. This Report is written in accordance with that guidance. Copies of the Guide to Good Practice are available at [www.bolton.gov.uk](http://www.bolton.gov.uk)

Bolton Council also has a Statement of Community Involvement. As part of this statement, neighbour notification letters will have been sent to all owners and occupiers whose premises adjoin the site of these applications. In residential areas, or in areas where there are dwellings in the vicinity of these sites, letters will also have been sent to all owners and occupiers of residential land or premises, which directly overlook a proposed development. Copies of the Statement of Community Involvement are available at [www.bolton.gov.uk](http://www.bolton.gov.uk)

The plans in the report are for location only and are not to scale. The application site will generally be in the centre of the plan edged with a bold line.

The following abbreviations are used within this report: -

CS	The adopted Core Strategy 2011
AP	The adopted Allocations Plan 2014
NPPF	National Planning Policy Framework
NPPG	National Planning Policy Guidance
PCPN	A Bolton Council Planning Control Policy Note
PPG	Department of Communities and Local Government Planning Policy Guidance Note
MPG	Department of Communities and Local Government Minerals Planning Guidance Note
SPG	Bolton Council Supplementary Planning Guidance
SPD	Bolton Council Supplementary Planning Document
PPS	Department of Communities and Local Government Planning Policy Statement
TPO	Tree Preservation Order
EA	Environment Agency
SBI	Site of Biological Importance
SSSI	Site of Special Scientific Interest
GMEU	The Greater Manchester Ecology Unit

The background documents for this Report are the respective planning application documents which can be found at:-

[www.bolton.gov.uk/planapps](http://www.bolton.gov.uk/planapps)

# Application number 13048/22



Directorate of Place  
Development Management Section

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# Bolton Council

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**Date of Meeting: 14/04/2022**

**Application Reference: 13048/22**

**Type of Application: Full Planning Application**

**Registration Date: 08/02/2022**

**Decision Due By: 09/05/2022**

**Responsible Officer: Jodie Turton**

**Location: OLD FIRWOOD SCHOOL SITE, FIRWOOD FOLD, CROMPTON WAY, BANK TOP, BRADSHAW, BOLTON, BL2 3AF**

**Proposal: VARIATION OF CONDITION 26 (APPROVED PLANS) ON APPLICATION 11534/21**

**Ward: Crompton**

**Applicant: Bolton Cares**

**Agent : Pozzoni Architecture**

## **Officers Report**

**Recommendation: Approve subject to conditions**

### **Executive Summary**

- Minor material amendment (S73) application for amendments to the design of the building.
- Amendments include:
  - Elevation design and roof form of the building as well as alterations to the fenestration. The footprint and internal layout of the building will remain as approved.
  - A further amendment is proposed to the pedestrian pathway to the front of the site to be relocated through the car park to provide a level access approach and to work with existing levels.
- The proposed amendments will not impact on: principle of development; highways and car parking; trees and biodiversity; floodrisk and the culvert; land contamination; sustainable design and construction.
- No objections received.
- The proposal has an Officer recommendation of approval.

### **Proposal**

1. Planning permission was approved by the Planning Committee in September 2021 for the erection of a single storey building on the former Firwood Special School site (11534/21). The approved building will provide day care services to adults and young people with learning and physical disabilities and will be a replacement for the Jubilee Centre on Tennyson Street.
2. The current application seeks to amend condition 24 of the approval (approved plans). The proposal is to amend the elevation design and roof form of the building as well as alterations to the fenestration. The footprint and internal layout of the building will remain as approved. A further amendment is proposed to the pedestrian pathway to the front of the site to be relocated through the car park to provide a level access approach and to work with existing levels.

3. The application is before Members for consideration as the site is Council owned and the Council has involvement in the delivery and operation of the Jubilee Centre.

### **Site Characteristics**

4. The site is located off Crompton Way. The site was formally occupied by the Firwood Special School, however this relocated a number of years ago and the school buildings have been demolished and the site remains vacant. Some evidence of the former car park and hard standings remain, although the site is largely overgrown.
5. To the south west of the site a small commercial terrace row backs onto the site (316 to 324 Crompton Way). The entrance to the site is in the north western corner, abutted to the north by the side of 352 Crompton Way, which is the end property in a row of residential dwellings. To the north of the site are the rear of residential properties on Hartwell Close.
6. The site is allocated for housing in the Bolton Allocations Plan (6SC).
7. The site falls within Floodzone 1, which has the lowest risk of flooding.

### **Policy**

#### **The Development Plan**

Core Strategy:

A1 Achieving Bolton, H1 Health Facilities, CG1 Cleaner and Greener, CG2 Sustainable Development, CG3 Built Environment, CG4 Compatible Uses, RA1 Inner Bolton, SC1 Housing, P5 Accessibility, S1 Safe Bolton and Appendix 3 - Parking Standards.

#### **Other material considerations**

National Planning Policy Framework (NPPF)

National Planning Policy Guidance

Living with Beauty, January 2020

Places for Everyone (draft 2021)

SPD General Design Principles

SPD Accessibility, Transport and Road Safety

SPD Sustainable Design and Construction

### **Analysis**

8. Section 38 of the Planning and Compulsory Purchase Act 2004 requires applications to be determined in accordance with policies in the Development Plan unless material considerations indicate otherwise. Applications which are not in accordance with Development Plan policies should be refused unless material considerations justify granting permission. Similarly, proposals which accord with Development Plan policies should be approved unless there are material considerations which would justify a refusal of permission.
9. Section 73 of the Town and Country Planning Act 1990 concerns the determination of applications to develop land without compliance with conditions previously attached. On such an application the local planning authority shall consider only the question of the conditions subject to which planning permission should be granted.
10. It is therefore necessary to decide whether this proposal is in accordance with the Development

Plan and then take account of other material considerations.

11. The main impacts of the proposal are:-

- \* impact on the character and appearance of the area
- \* impact on residential amenity
- \* impact on the highway/car parking

#### Impact on the Character and Appearance of the Area

12. Policy CG3 of the Core Strategy states that the Council will conserve and enhance local distinctiveness, ensuring development has regard to the overall built character and landscape quality of the area, and will require development to be compatible with the surrounding area in terms of scale, massing, grain, form, architecture, street enclosure, local materials and landscape treatment.

13. Area policy RA1 at RA1.12 seeks to, "Ensure that development has particular regard to massing and materials used, due to the predominance of red brick, slate-roofed, two-storied terraced housing."

14. Amendments are sought to the external appearance of the building:

- The distinctive roof form is to be reduced in height by up to 1.4m and a more standard roof profile has been introduced.
- Fenestration has been altered to reduce curtain walling (large floor to eaves glazed sections).
- Reduction in height of brick soldier coursing detail around the building.

15. It is understood that the amendments are required to address the rising costs of the build due to market conditions and the price of construction materials and products.

16. Having considered the amendments, the design of the building will undoubtedly lose its more distinctive and higher quality features, however the appearance of the building will remain largely the same, the footprint is unchanged and the height reduced, which will lessen the presence and impact of the building within the surrounding area.

17. Although it is considered unfortunate that these alterations to the approved design are required, these alterations are not considered to fundamentally alter the building and the function and value of the building will remain as approved.

18. The proposed amendments are not considered to be material and do comply with Core Strategy policies CG3 and RA1.

#### Impact on Residential Amenity

19. Policy CG4 of the Core Strategy states that the Council will ensure that new development is compatible with surrounding land uses and occupiers, protecting amenity, privacy, safety and security and does not generate unacceptable nuisance, odours, fumes, noise or light pollution, nor cause detrimental impacts upon water, ground or air quality.

20. Policy S1 of the Core Strategy seeks to ensure that the design of new development takes into account the need to reduce crime and the fear of crime. Policy RA2.17 seeks to ensure that development, "make[s] efficient use of land in inner Bolton due to existing higher levels of development density, requiring development to provide adequate privacy and amenity space and conform to the overall spatial approach."

21. The proposed amendments will not result in any greater impact to neighbouring residential amenity, in fact the reduced height of the building will lessen any impact.
22. No amendments are proposed to the hours of operation, the internal layout, or the external garden areas. The proposed pedestrian access is to be realigned, however this will not impact on any neighbouring residents.
23. Overall, the proposal is considered to comply with Bolton's Core Strategy policies CG4 and S1.

#### Impact on the Highway/Car Parking

24. Policy P5 of the Core Strategy states that the Council will ensure that developments take into account [amongst other things] accessibility by different types of transport, prioritising pedestrians, cyclists, public transport users over other motorised vehicles users, servicing arrangements, parking (including parking for cycles and powered two-wheelers, in accordance with the parking standards set out in Appendix 3), the transport needs of people with disabilities, and the requirement for a Transport Assessment and Travel Plan with major trip generating developments.
25. A proposed minor amendment to the site layout will result in the relocation of the pedestrian pathway through the car park, this is to ensure that suitable level access in the approach to the building is provided and to work with existing levels's. There will be no impact on car parking provision. Highway Engineers have assessed the proposal and consider the amendments to be minor and acceptable.

#### Other Matters

26. The following other matters were addressed in the consideration of the full application: principle of development; trees and biodiversity; floodrisk and the culvert; land contamination; sustainable design and construction.
27. The proposed amendments will not impact upon any of these issues and the considerations remain the same as the original application. Conditions addressing these matters will be reapplied.

#### Previously Imposed Conditions

28. Given the proposed amendments relate only to the design of the building, only condition 24 'Approved Plans' requires amending. The remainder of the conditions will still be relevant and reapplied to the S73 permission. It is noted that a discharge of condition application (13229/22) which seeks to address the pre-commencement conditions to allow a material start on site imminently is being considered by the LPA. Any conditions either partially or fully addressed by this tandem application have been amended accordingly.

#### Conclusion

29. For the reasons discussed above Officers recommend that this Section 73 application is approved.

## **Representation and Consultation Annex**

### **Representations**

**Letters:-** none received.

**Petitions:-** none received.

**Elected Members:-** n/a

### **Consultations**

Advice was sought from the following consultees: Highway Engineers, landscape, Design for Security, Drainage, Education, GMEU, Pollution Control, Trees.

### **Planning History**

13229/21 – discharge of condition application for the discharge of conditions 2 (construction management), 3 (tree protection), 4 (tree method statement), 5 (levels details), 6 (foul water drainage), 7 (CEMP), 8 (Japanese Knotweed), 9 (ecology), 10 (drainage), 11 (culvert), 14 (landscaping).

11534/21 – planning permission approved by the Planning Committee in September 2021 for the erection of a day care centre for adults and young people.

**Recommendation:            Approve subject to conditions**

### **Recommended Conditions and/or Reasons**

1.        COMMENCEMENT

The development hereby permitted shall be begun before the expiration of three years from the date of decision of application 11534/21 (decided on 2nd September 2021).

Reason

Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2.        CONSTRUCTION MANAGEMENT PLAN

The development hereby approved shall be carried out in full accordance with the submitted Construction Methodology, Ref: Jubilee Centre 640032, dated 04.03.22 (submitted on 04.04.22 for DOC application: 13229/22).

Reason

To ensure that adequate consideration is given to the need to minimise the impact on the road network and reduce pollution, in accordance with Policies P5 and CG4 of Bolton's Core Strategy.

3.        TREE PROTECTION MEASURES

No demolition, development or stripping of soil shall be started until:

30. The trees and hedgerows within or overhanging the site which are to be retained have been surrounded by fences of a type and location detailed in 'Method Statement for Protection of Trees During Development by Robertson, dated January 2022 and Tree Protection Measure for the Jubilee Day Care Centre, drawing no. AS01TP (uploaded to DOC 13229/22 on 22.03.22).



1. The approved fencing shall remain in the agreed location (in accordance with BS 5837:2012 Trees in Relation to Design, Demolition and Construction recommendations) until the development is completed or unless otherwise agreed in writing with the Local Planning Authority and there shall be no work, including the storage of materials, or placing of site cabins, within the fenced area(s).

Reason

To protect the health and appearance of the tree(s) and in order to comply with Bolton's Core Strategy policies CG1 and CG3.

#### 4. TREE PROTECTION METHOD STATEMENT

The development hereby approved shall be carried out in full accordance with the tree protection measures detailed in the Arboricultural Method Statement by Robertson, ref: JDC-AMS-AS01, dated 14.03.22 (submitted for DOC application 13229/22).

Reason

To ensure the safe development of the site and favourable retention of trees and in order to comply with Bolton's Core Strategy policies CG1 and CG3.

#### 5. LEVELS DETAILS

Before the approved development is commenced details of the existing and proposed ground levels within the site including spot heights and finished floor levels of all buildings and structures shall be submitted to and approved in writing by the Local Planning Authority. The approved details shall be implemented in full and retained thereafter.

Reason

To safeguard the visual appearance and or character of the area and in order to comply with Core Strategy policies CG3 and CG4.

Reason for Pre-Commencement Condition:

Any changes in land levels on site could affect the character and amenity of the area and the living conditions of nearby residents, thereby details of existing and proposed land levels must be agreed with the LPA prior to commencement.

#### 6. FOUL WATER DRAINAGE

Prior to the commencement of development (excluding demolition, site clearance and erection of hoardings) details of a foul water drainage scheme shall be submitted to and approved in writing by the Local Planning Authority. The drainage scheme must either include:

2. Revised levels of the private foul drainage system and finished floor levels of the building ensuring all levels are set above 100.84m AOD).

or

1. Incorporate mitigation measures to manage the risk of sewer surcharge.

Prior to occupation of the proposed development, the drainage scheme shall be completed in accordance with the approved details and retained thereafter for the lifetime of the development.

Reason

To promote sustainable development, secure proper drainage and to manage the risk of flooding and pollution and in order to comply with Bolton's Core Strategy policy CG1.

Pre-commencement reason

Details of drainage are required prior to any groundworks as groundworks and floor slabs could impact upon the ability to carry out the required drainage works.

7. CONSTRUCTION ENVIRONMENTAL MANAGEMENT PLAN (BIODIVERSITY)

The development hereby approved shall be carried out in full accordance with the Project Environmental Management Plan (RG-EMS-02-FOR-001-V5.0) dated 4th March 2022 (submitted for DOC application 13229/22) and the Construction Methodology Jubilee Centre: 640032, 4th March 2022 (submitted for DOC application 13229/22).

The approved CEMP shall be adhered to and implemented throughout the construction period strictly in accordance with the approved details, unless otherwise agreed in writing by the local planning authority.

Reason

To protect biodiversity, notably the adjacent SBI during the construction process and in order to comply with Core Strategy policy CG1.

8. JAPANESE KNOTWEED

The development shall be carried out in full accordance with the memo from the Head of Environmental operations, Bolton Council (4th March 2022) and the information from Knotweed Express and The Complete Package (submitted for DOC application 13229/22). The scheme shall be carried out in full accordance with the approved details approved and retained thereafter.

Reason

To ensure the safe development of the site and eradication of an invasive species and to comply with policy CG1 of Bolton's Core Strategy.

9. ECOLOGY

The development hereby approved shall be carried out in full accordance with the Construction Methodology JUBILEE CENTRE : 640032, 4th March 2022 (submitted for DOC application 13229/22). The development shall be carried out in full accordance with the approved details.

Reason

To protect biodiversity during construction and the lifetime of the development and in order to comply with Bolton's Core Strategy policy CG1.

10. DRAINAGE

The development hereby approved shall be carried out in full accordance with the drainage details contained on drawing: Proposed Drainage Strategy, no. 31024-SUT-ZZ-XX-00-DR-C-620-0001, Rev C02, dated 29.03.22 and drainage calculations by Sutcliffe Projects Ltd, file: NETWORK 29.03.22.PFD, dated 29.03.22.

Before the building hereby approved is first occupied/brought into use a management and maintenance plan for the lifetime of the development which shall include the arrangements for adoption by any public authority or statutory undertaker and any other arrangements to secure the operation of the scheme throughout its lifetime shall be submitted to and approved in writing by the local planning authority.

The approved works shall be implemented in full prior to the occupation of the buildings hereby approved and those works as approved shall be retained thereafter.

Reason

To ensure the site provides satisfactory means of surface water drainage and to comply with policies CG1.5 and CG2.2 of Bolton's Core Strategy.

11. CULVERT

Land Drainage Consent has been obtained and with reference to drawing revision P05. The culvert diversion shall be completed in accordance with the approved details and within 3 months of the date of the commencement of development and retained thereafter.

Reason

To minimise the risk of flooding by ensuring the pipe is not put at risk through the location, layout and design of the proposed structure and to comply with policy CG1.5 of Bolton's Core Strategy.

12. BREEAM ACCREDITATION

With reference to the submitted BREEAM Pre-Assessment Report by Complete Sustainability Solutions, Ref: Jubilee Centre - BREEAM 2018 - Local Hub, dated 06.10.21, prior to the first use/occupation of the development hereby approved a final BREEAM Certificate certifying that BREEAM rating "very good" has been achieved for this development shall be submitted to and approved in writing by the local planning authority. The approved measures shall be implemented in full and retained thereafter.

Reason

In the interests of tackling climate change and in order to comply with Bolton's Core Strategy policy CG2.2.

13. HIGHWAY WORKS

Prior to the commencement of any above ground construction works full details of the highway works at Crompton Way comprising the introduction of a right turn pocket to safeguard turning vehicles and the marking out of the access to the site with Give Way markings shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be implemented in full prior to the development being first brought into use and retained thereafter.

Reason

In the interests of highway safety and in order to comply with Bolton's Core Strategy policies S1, P5 and Supplementary Planning Document "Accessibility, Transport and Road Safety".

14. LANDSCAPING

Trees and shrubs shall be planted on the site in accordance with a landscape scheme to be submitted to and approved in writing by the Local Planning Authority prior to the development being first brought into use. The scheme shall make provision for replacement and compensatory tree and hedgerow planting and shall also include biodiversity improvements. The approved scheme shall be implemented in full and carried out within 6 months of the occupation of any of the buildings or the completion of the development, whichever is the sooner, or in accordance with phasing details included as part of the scheme and subsequently approved by the Local Planning Authority. Any trees and shrubs that die or are removed within five years of planting shall be replaced in the next available planting season with others of similar size and species.

Reason

To reflect and soften the setting of the development within the landscape and in order to comply with Core Strategy policies CG1 and CG3.

15. MATERIALS

Notwithstanding any description of materials in the application no above ground construction works

shall take place until samples or full details of materials to be used externally on the building(s) have been submitted to and approved in writing by the Local Planning Authority. Such details shall include the type, colour and texture of the materials. The approved materials shall be implemented in full thereafter.

Reason

To ensure the development reflects local distinctiveness and to comply with policy CG3 of Bolton's Core Strategy.

16. ELECTRIC VEHICLE CHARGING POINTS

Prior to the commencement of any works to the car park, details of electric vehicle charging points shall be submitted to and approved in writing by the local planning authority. Provision should be made for a minimum of 1 electric vehicle 'fast charge' point. Furthermore, appropriate cable routes should be included in the scheme design to prepare for increased demand in future years (this would normally be cable routing for EV points for one in five parking spaces). The EV charging points shall be provided in accordance with the approved scheme prior to the building being first brought into use and shall be retained thereafter.

Reason

To safeguard the amenity of the occupiers of the proposed development in respect of atmospheric pollution and to contribute to the sustainability of the proposed development in compliance with policies CG2 and CG4 of Bolton Core Strategy and Supplementary Planning Document "Sustainable Design and Construction".

17. SUSTAINABILITY AND ENERGY STRATEGY

The development hereby approved shall be carried out in accordance with the recommendations of the submitted Sustainability and Energy Strategy by ESD, ref: M2873 SES, dated 1<sup>st</sup> June 2021, demonstrating a minimum reduction of 10% of carbon emissions (to be calculated by reference to a baseline for the predicted carbon emissions of the development as defined in the Building Regulations Part L standards current at the time of commencement of development) through the use of a fabric approach, passive design measures and incorporation of energy efficient building services, and installation of solar PV (circa 40sqm). Within 3 months of occupation, a verification report shall be submitted to the LPA for approval confirming that the above measures have been implemented and that a 10% betterment on CO2 levels above the Part L requirement has been achieved. The measures shall be retained as approved thereafter.

Reason

In the interests of tackling climate change and in order to comply with Bolton's Core Strategy policy CG2.

18. DETAILS OF BIN, BIKE STORE AND POLYTUNNEL

Before the development is first brought into use a detailed scheme shall be submitted to and approved by the Local Planning Authority showing the design and size of the following structures:

2. Bin Store,
1. Bike Shed,
2. External store/shed,
3. Polytunnel.

The approved scheme shall be implemented in full prior to first use of the building or in accordance with phasing details to be submitted to and approved in writing by the local planning authority and retained thereafter.

Reason

To ensure satisfactory provision is made for the storage of waste materials, cycle provision and to secure the appropriate design of the other structures and in order to comply with Bolton's Core Strategy policy CG3.

19. NOISE FROM FIXED PLANT AND MACHINERY

The rating level, as defined in BS4142:2014+A1:2019, shall not exceed the measured daytime and/or night time background sound level at the closest residential properties at any time.

A noise assessment shall be carried out and a report submitted to, and approved in writing by, the Local Planning Authority prior to the construction phase of the development. The report shall have regard to the submitted noise report by JPM Acoustics Ltd (ref: 0292021) and include all the information specified in Clause 12 of BS4142:2014+A1:2019 and details of any mitigation proposed to achieve the rating level. The approved details shall be carried out in full and retained thereafter.

Reason

To minimise the impact of noise on the general and residential amenity from the increase and alteration of commercial and/or industrial uses in the area and in order to comply with Core Strategy policy CG4.

20. SOIL TESTING METHODOLOGY

No soil or soil forming materials shall be brought to the site until a testing methodology including testing schedules, sampling frequencies, allowable contaminant concentrations (as determined by appropriate risk assessment) and source material information has been submitted to and approved in writing by the Local Planning Authority. The approved testing methodology shall be implemented in full during the importation of soil or soil forming material.

Prior to the development being first brought into use or occupied a verification report including soil descriptions, laboratory certificates and photographs shall submitted to and approved in writing by the Local Planning Authority.

Reason

To ensure the site is safe for use and in order to comply with Core Strategy policy CG4.

21. LIGHTING DESIGN STRATEGY

Notwithstanding the submitted plans, prior to the occupation/first use of the school building hereby permitted, a "lighting design strategy for biodiversity" for the dark corridors along key habitat features shall be submitted to and approved in writing by the local planning authority. The strategy shall:

4. Identify those areas/features on site that are particularly sensitive for bats, badgers and other crepuscular animals and that are likely to cause disturbance in or around their breeding sites and resting places or along important routes used to access key areas of their territory, for example, for foraging; and
1. Show how and where external lighting will be installed (through the provision of appropriate lighting contour plans and technical specifications) so that it can be clearly demonstrated that areas to be lit will not disturb or prevent the above species using their territory or having access to their breeding sites and resting places.

All external lighting shall be installed in accordance with the specifications and locations set out in the strategy, and these shall be maintained thereafter in accordance with the strategy. The lighting shall be designed to an illumination value of no greater than 5 lux at the nearest residential property. The beam angle of any lights directed towards any potential observer should be kept below 70 degrees. Spill shields should also be fitted. Under no circumstances should any other external lighting be installed without prior consent from the local planning authority.

Reason

To safeguard biodiversity and the character and appearance of the locality and to prevent light pollution and in order to comply with Bolton's Core Strategy policies CG3 and CG4.

22. SITE ACCESS

Prior to the development hereby approved/permitted being first occupied or brought into use the means of vehicular access to the site from Crompton Way shall be constructed in accordance with the drawing ref: Proposed Site Plan, 5625\_1200, rev P4, dated 20.08.21. The access shall be retained as approved thereafter.

Reason

In the interests of highway safety and in order to comply with Bolton's Core Strategy policies S1, P5 and Supplementary Planning Document 'Accessibility, Transport and Road Safety'.

23. PARKING

Before the approved/permitted development is first brought into use no less than 26 car parking spaces with minimum dimensions of 2.4 metres by 4.8 metres and 9 disabled parking spaces, shall be marked out and provided within the curtilage of the site, in accordance approved plan drawing ref Proposed Site Plan, 5625\_1200, rev P4, dated 20.08.21. Such spaces shall be made available for the parking of cars at all times the premises are in use.

Reason

To ensure that adequate provision is made for vehicles to be left clear of the highway and in order to comply with Bolton's Core Strategy policies S1, P5 and Appendix 3.

24. VEHICLE AREAS

Prior to the development hereby approved being first occupied or brought into use, a scheme detailing how parts of the site to be used by vehicles are to be laid out, constructed, surfaced, drained and lit shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be implemented in full and thereafter made available for the use of vehicles at all times the development is in use.

Reason

To encourage drivers to make use of the parking and circulation area(s) provided and in order to comply with Core Strategy policies S1 and P5 and Supplementary Planning Document 'Accessibility, Transport and Road Safety'.

25. BOUNDARY TREATMENT

Notwithstanding the submitted plans, prior to the development being first occupied or brought into use, details (including a brick or masonry specification and colour scheme) of the treatment to all boundaries of the site shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be implemented in full within 21 days of the Local Authorities approval or in accordance with a timescale submitted and agreed with the Local Planning Authority and retained as approved thereafter.

Reason

To ensure adequate standards of privacy and amenity are obtained and the development reflects the landscape and townscape character of the area and in order to comply with policies CG3 and CG4 of

Bolton's Core Strategy.

26. LAND CONTAMINATION

The development hereby approved shall be carried out in full accordance with the following approved Site Investigation: Old Firwood School Site, Bolton, dated July 2021 (ref: 31024-Sut-ZZ-00-RP-G-702-0002 by Sutcliffe).

2. Where necessary a scheme of remediation to remove any unacceptable risk to human health, buildings and the environment shall be approved by the Local Planning Authority prior to implementation.
1. During the period of construction, should any unforeseen contamination be found on site that has not been previously identified, no further works shall be undertaken in the affected area. Prior to further works being carried out in the affected area, the contamination shall be reported to the Local Planning Authority within a maximum of 5 days from the discovery, a further contaminated land assessment shall be carried out, appropriate remediation identified and agreed in writing by the Local Planning Authority. The development shall be undertaken in accordance with the agreed remediation measures.
2. Prior to first use/occupation of the development hereby approved:
3. A Verification Report shall be submitted to, and approved in writing by, the Local Planning Authority. The Verification Report shall validate that no unforeseen contamination was found that all remedial works undertaken on site were completed in accordance with those agreed by the Local Planning Authority.

The discharge of this planning condition will be given in writing by the Local Planning Authority on completion of the development and once all information specified within this condition and other requested information have been provided to the satisfaction of the Local Planning Authority and occupation/use of the development shall not commence until this time, unless otherwise agreed by the Local Planning Authority.

General Note to Applicant: The responsibility to properly address contaminated land issues, including safe development and secure occupancy, irrespective of any involvement by this Authority, lies with the owner/developer of the site.

Reason

To safeguard the amenity of the future occupants of the development and to comply with Core Strategy policy CG4.

27. HOURS OF OPENING

The premises subject of this consent shall not be open outside the following hours:-

08:30 - 22:00 Mondays – Saturdays

No opening shall take place on Sundays or Bank Holidays.

Reason

To safeguard the living conditions of residents and the amenity and character of the area with regard to noise and/or disturbance and in order to comply with Bolton's Core Strategy policies CG3 and CG4.

28. APPROVED DRAWINGS

The development hereby permitted shall be carried out in complete accordance with the following approved plans:

**Proposed Site Plan, 5625\_1200, rev A, dated 28.01.22**

**Proposed Ground Floor Plan, 5625\_1201, rev P3, dated 20.08.21**

**Proposed Elevations, 5625\_1300, rev P4, dated 18.01.22**

**Proposed Sections, 5625\_1400, rev P4, dated 31.01.22**

Reason

For the avoidance of doubt and in the interests of proper planning.





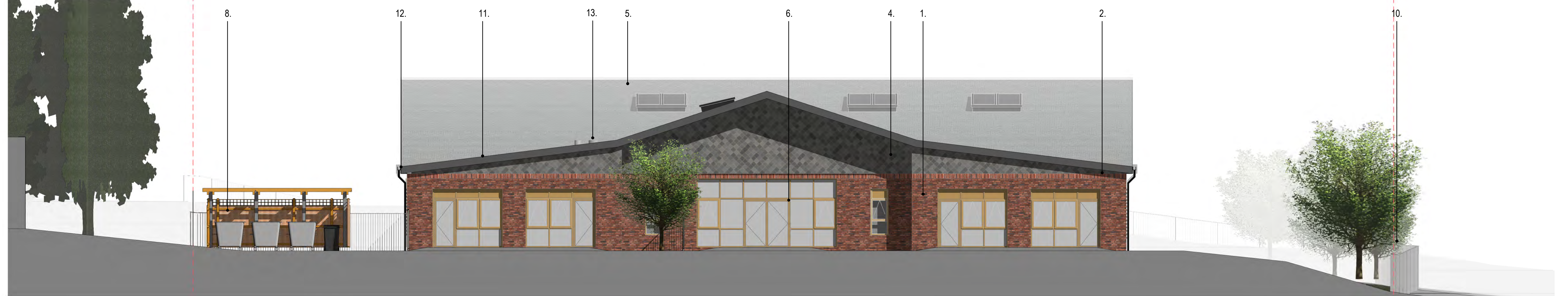
West Elevation (Front) - PLANNING  
1 : 100



East Elevation - PLANNING  
1 : 100



North Elevation - PLANNING  
1 : 100



South Elevation - PLANNING  
1 : 100

**Notes**  
The Contractor is to check all dimensions and conditions on site before commencing. Do not scale from this drawing.  
This drawing remains the copyright of POZZONI Architecture Ltd.

**Scale Bars** TO BE USED ONLY AS GUIDANCE

1:100	mm	0	1000	2000	3000
1:200	mm	0	1000	2000	3000
1:500	m	0	10	20	30
1:1000	m	0	10	20	30

**KEYPLAN**

- MATERIALS KEY**
1. Red multi brick
  2. Red multi brick soldier course
  3. Red multi brick protruding brick detail
  4. Slate hanging tile (diamond shape)
  5. Slate effect roof tile
  6. Bronze aluminium doors and curtain walling - RAL tbc
  7. Bronze louvred panel to match fenestration
  8. Close boarded timber fencing and gate
  9. UPVC Windows
  10. 2.4m high anti-climb, ridged-panel, welded wire mesh fencing and gates to perimeter
  11. Single ply roof to flat roof areas
  12. Black rainwater goods and fascias
  13. Indicative roof cowl and extract locations - detailed design and sizing tbc
  14. Indicative building signage - final design tbc

P4	VE proposal	PAL	18.01.22
P3	Planning resubmission with red line boundary amendment to north elevation, relocation of room for people with autism entrance, front boundary amendment in line with landscape and Crime impact statement comments	RW	20.06.21

P2	Planning Issue	RW	11.06.21
P1	Draft Planning Issue	RW	04.06.21

Rev	Description	By	Date
1	Bolton Cares		

Job	P5625 - Jubilee Centre
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Drawing	Proposed Elevations
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5625 1300	Rev	P4
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Date	04.06.21	Scale	As indicated	Approved	ET
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Planning	Tender	Construction
Design	Contract	As Built

**pozzoni**

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